

PROJECT INFO .

OWNER :

AGDL INVESTMENTS LLC.  
8218 Casa Verde Rd.  
St. 1009  
Laredo, Tx 78041  
956-857-4028

CONTRACTOR :

HDL CONSTRUCTION LLC.  
315 Calle del Norte  
Ste 1009  
Laredo, Tx 78041  
956-763-3598

LEGAL DESCRIPTION :

BLK.914LOT.7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.

ANALYSIS/ CODE INFORMATION.

TYPE OF CONSTRUCTION : TYPE 1  
OCCUPANCY GROUP : RESIDENCIAL  
USE ZONE : R-3  
OCCUPANT LOAD : 12 APARTMENTS-2BEDROOMS E/U

PARKING SPACES : 12X2 = 24 Cars

TDLR - ADA

TDLR Registration Number:

Texas 811 Locate Request:

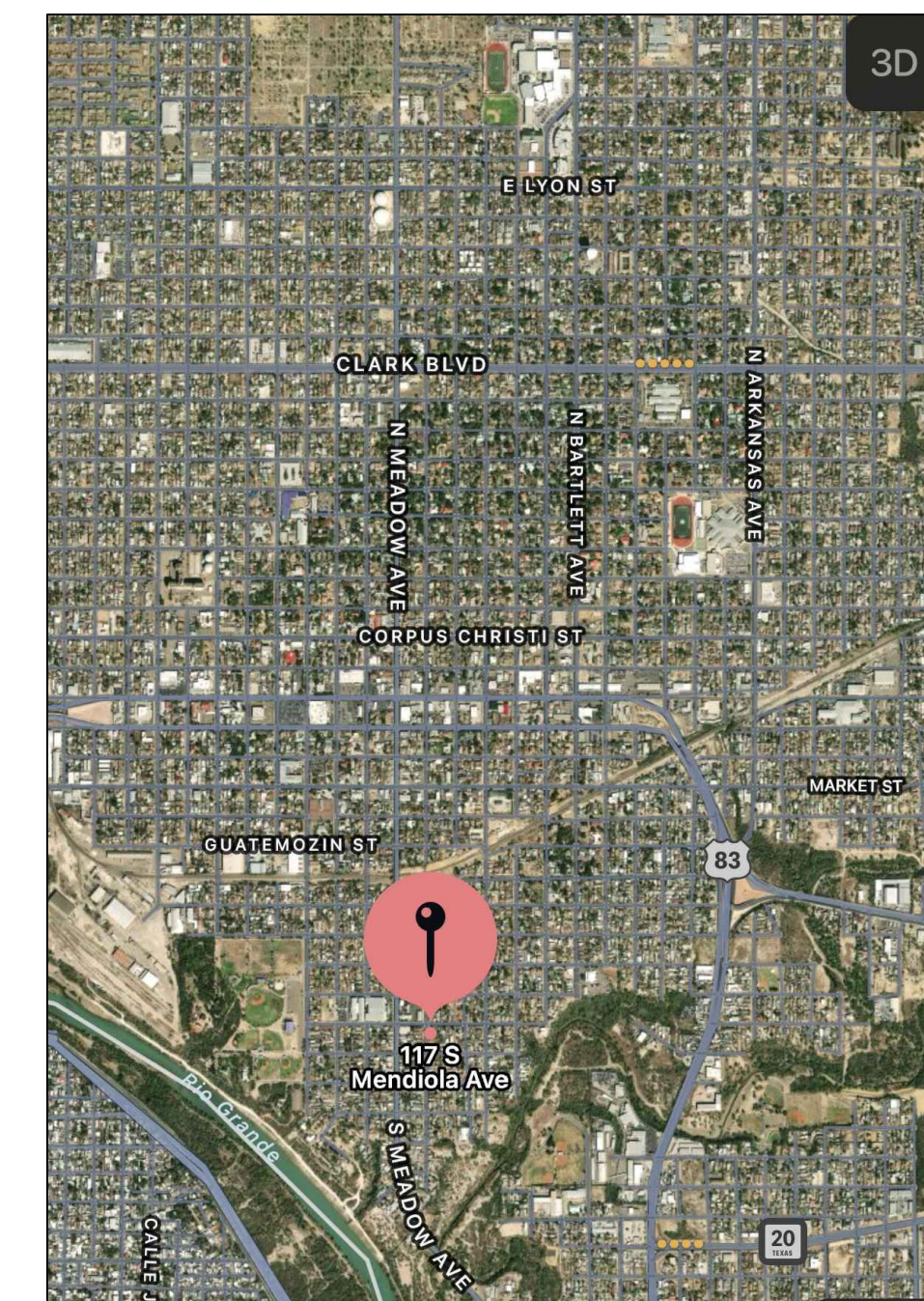
Ticket Number:

Phone: 1-(800)-344-8377

DRAWING INDEX .  
NEW CONSTRUCTION  
- SAN JOSE APARTMENTS -

ARCHITECTURAL

NUMBER	SHEET NAME
A00	INDEX SHEET LOCATION MAPS
A01	ARCHITECTURAL SITE PLAN
A02	FLOOR PLAN - 4 UNITS -
A03	ELECTRICAL PLAN - 4 UNITS-
A04	ROOF PLAN & ELEVATIONS - 4 UNITS-
A05	FLOOR PLAN - 8 UNITS -
A06	ELECTRICAL PLAN - 8 UNITS -
A07	ROOF PLAN & ELEVATIONS -8 UNITS-
A08	ELEVATIONS,CROSS SECTION& CABINETS DET.-8UNITS-
A09	FOUNDATION PLAN



LOCATION MAP

SAN JOSE  
APARTMENTS

PROJECT

HDL CONSTRUCTION,LLC

8218 Casa Verde Rd. Ste.1009  
956-763-3598  
Laredo, Tx 78041

BUILDER

DRAWINGS

INDEX SHEET

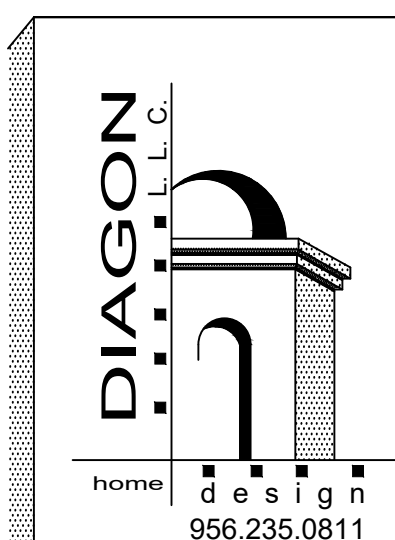
MAY22

P.DIAZ

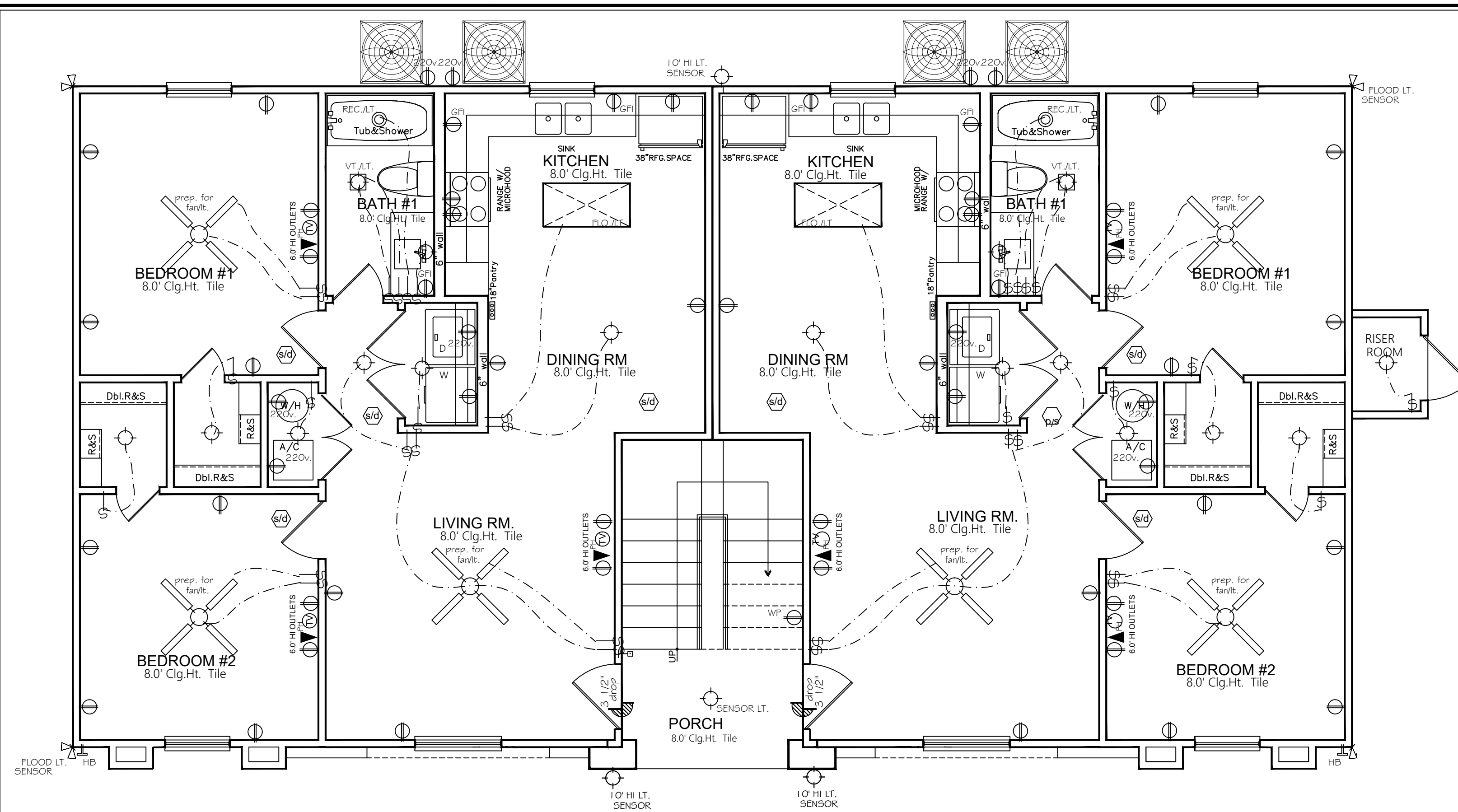
SHEET A-00

SHEET COUNT 1 OF 10

BLK.914 LOT.7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.







ELECTRICAL PLAN - scale 1/4" = 1' - 0"  
1ST. LEVEL 4 UNITS

ELECTRICAL SYMBOLS -

[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	110 DUPLEX OUTLET
[Symbol]	WEATHER PROOF DUPLEX OUTLET
[Symbol]	DUPLEX OUTLET W/GROUND FAN L.L. INT.
[Symbol]	220 VOLT DUPLEX OUTLET
[Symbol]	TELEVISION CABLE OUTLET
[Symbol]	TELEPHONE CABLE
[Symbol]	SURFACE MOUNT CEILING FIXTURE
[Symbol]	VENT/LIGHT CEILING FIXTURE
[Symbol]	6" RECESSED CEILING FIXTURE
[Symbol]	WALL MOUNT LIGHT FIXTURE
[Symbol]	244 FLUORESCENT LIGHT FIXTURE
[Symbol]	FAN/LIGHT COMBINATION
[Symbol]	FLOOD LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	CHIME
[Symbol]	FRESH BUTTON DOOR BELL
[Symbol]	3" RECESSED CEILING FIXTURE

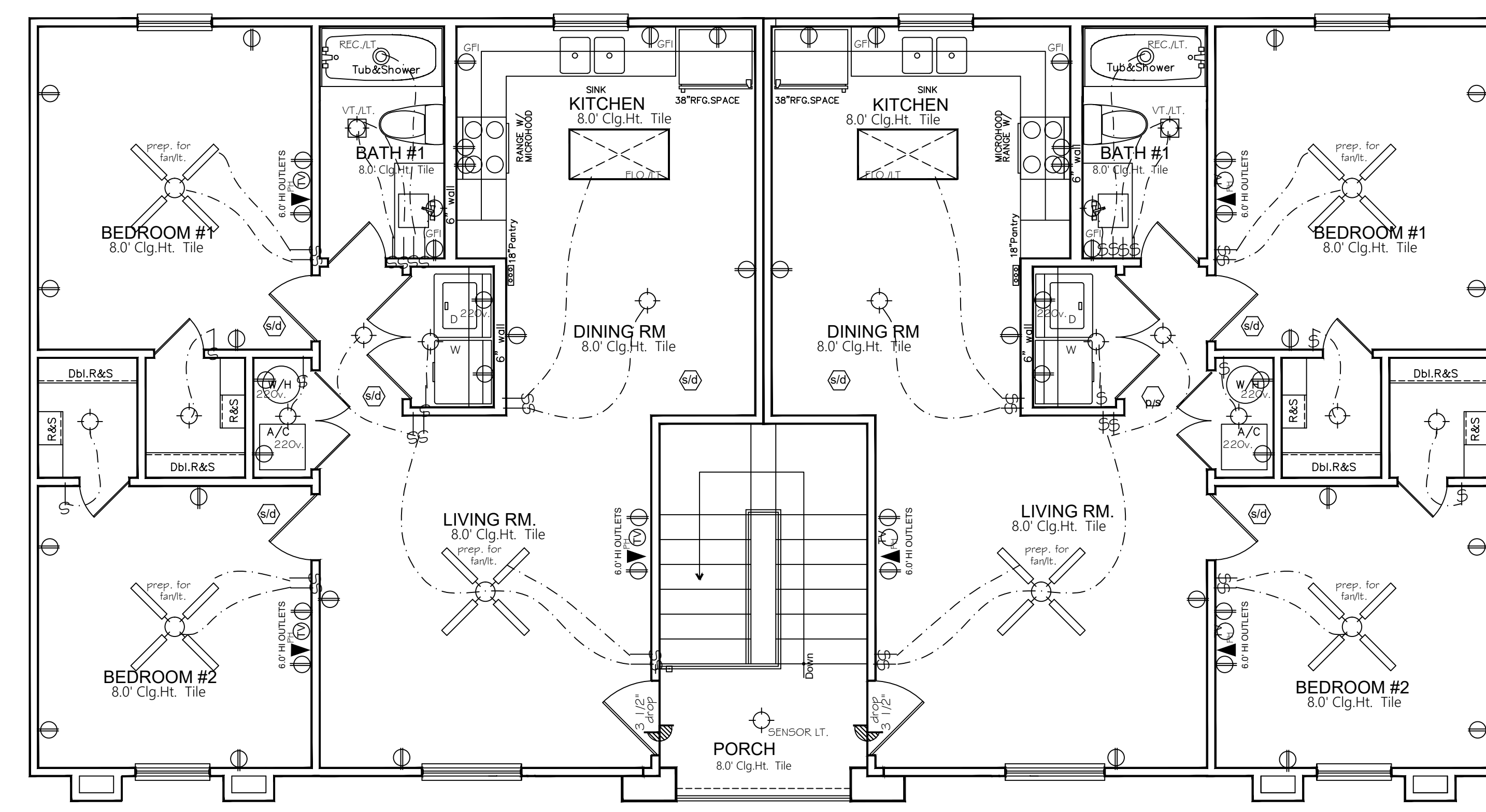
SAN JOSE  
APARTMENTS  
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BUILDER

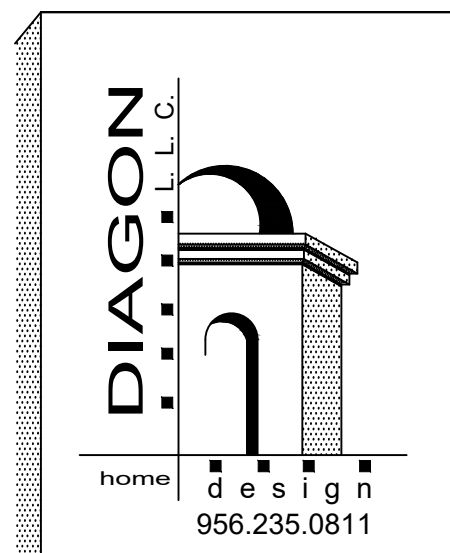
DRAWINGS	
ELECTRICAL PLAN	
4 UNITS -	
JULY/22	P. DIAZ
SHEET A-03	
SHEET COUNT 4 OF 10	

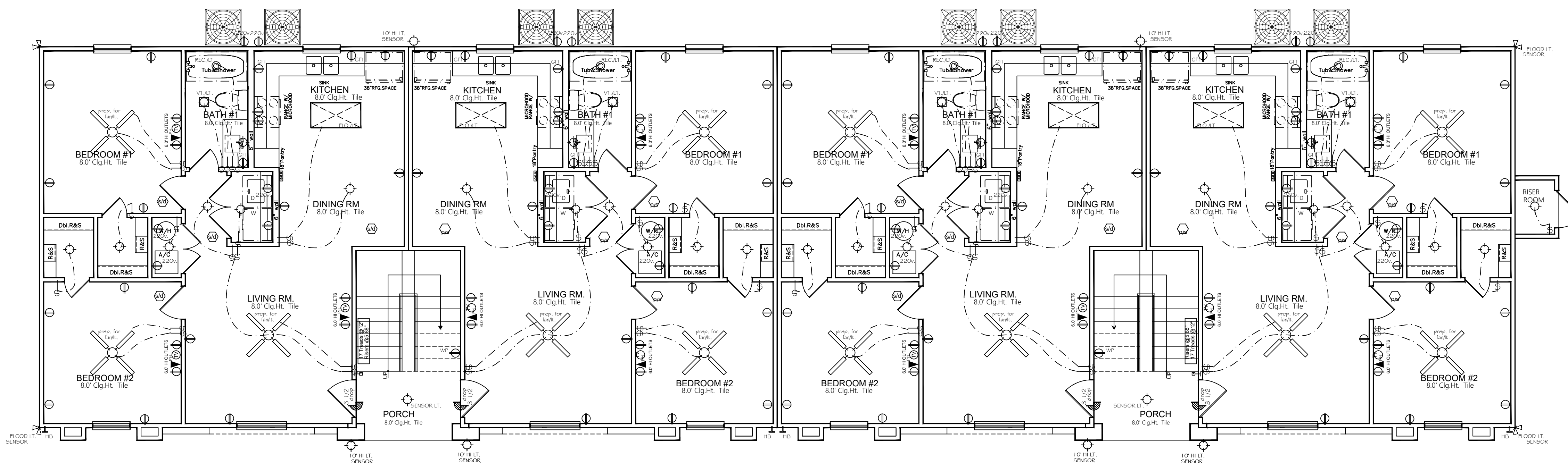
BLK. 914 LOT. 7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.



ELECTRICAL PLAN - scale 1/4" = 1' - 0"  
2ND. LEVEL 4 UNITS

- 2012 INTERNATIONAL FIRE CODE
- 2012 BUILDING CODE
- 2012 MECHANICAL CODE
- 2012 PLUMBING CODE
- 2015 ENERGY CODE
- 2011 N.E.C.
- 2012 TEXAS ACCESSIBILITY STANDARD

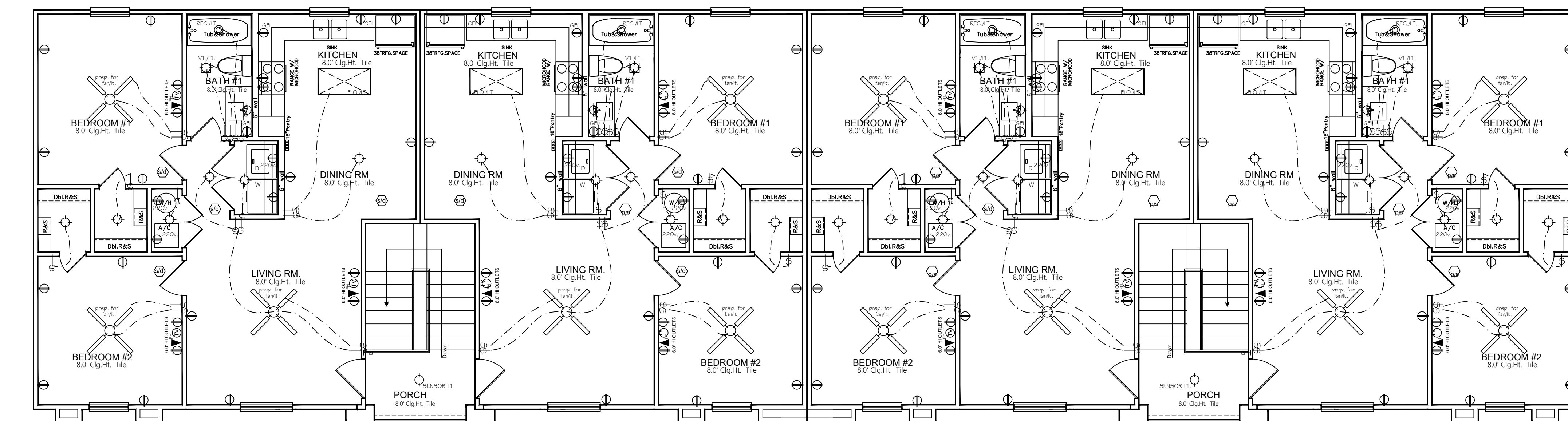




ELECTRICAL SYMBOLS

[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	110 DUPLEX OUTLET
[Symbol]	WEATHER PROOF DUPLEX OUTLET
[Symbol]	DUPLEX OUTLET W/GRAND FAN LT. INT.
[Symbol]	220 VOLT DUPLEX OUTLET
[Symbol]	TELEVISION CABLE OUTLET
[Symbol]	TELEPHONE CABLE
[Symbol]	SURFACE MOUNT CEILING FIXTURE
[Symbol]	VENT LIGHT CEILING FIXTURE
[Symbol]	6" RECESSED CEILING FIXTURE
[Symbol]	WALL MOUNT LIGHT FIXTURE
[Symbol]	2x4 FLUORESCENT LIGHT FIXTURE
[Symbol]	FAN/LIGHT COMBINATION
[Symbol]	FLOOD LIGHT
[Symbol]	SMOKE DETECTOR
[Symbol]	CHIME
[Symbol]	PUSH BUTTON DOOR BELL
[Symbol]	3" RECESSED CEILING FIXTURE

ELECTRICAL PLAN . - ■ scale 3/16" = 1' - 0"  
1ST. LEVEL 8 UNITS



ELECTRICAL PLAN . - ■ scale 3/16" = 1' - 0"  
2ND. LEVEL 8 UNITS

- 2012 INTERNATIONAL FIRE CODE
- 2012 BUILDING CODE
- 2012 MECHANICAL CODE
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SAN JOSE APARTMENTS  
PROJECT  
**HDL CONSTRUCTION, LLC**  
8218 Casa Verde Rd, Ste. 1009  
956-763-3596  
Laredo, Tx 78041

BUILDER

DRAWINGS

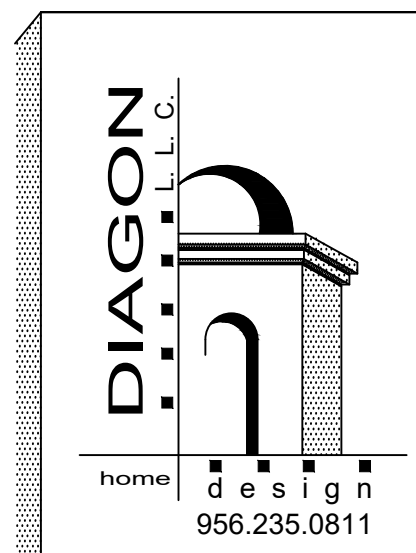
ELECTRICAL PLAN  
- 8 UNITS -

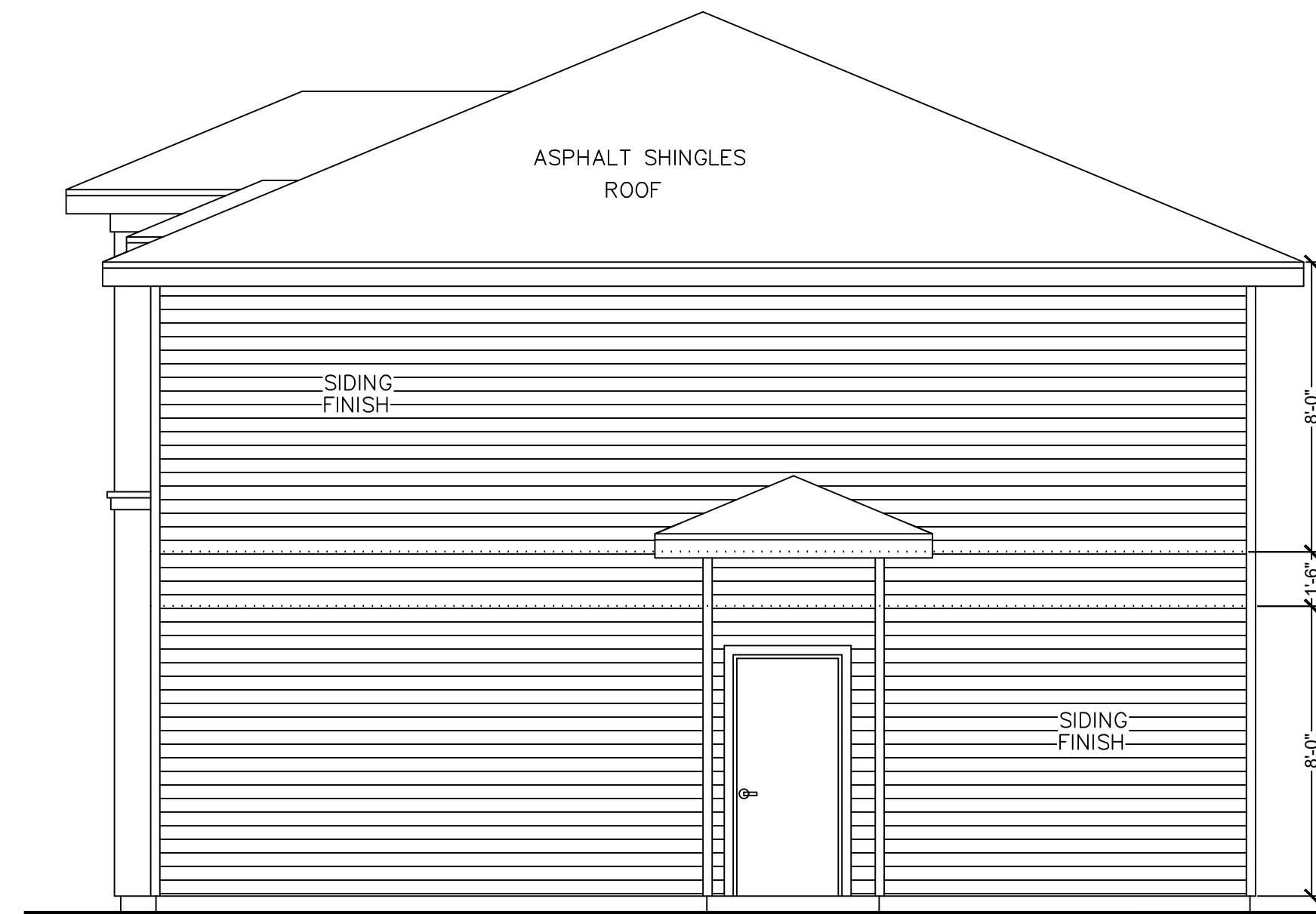
JULY/22	P. DIAZ
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SHEET A-06

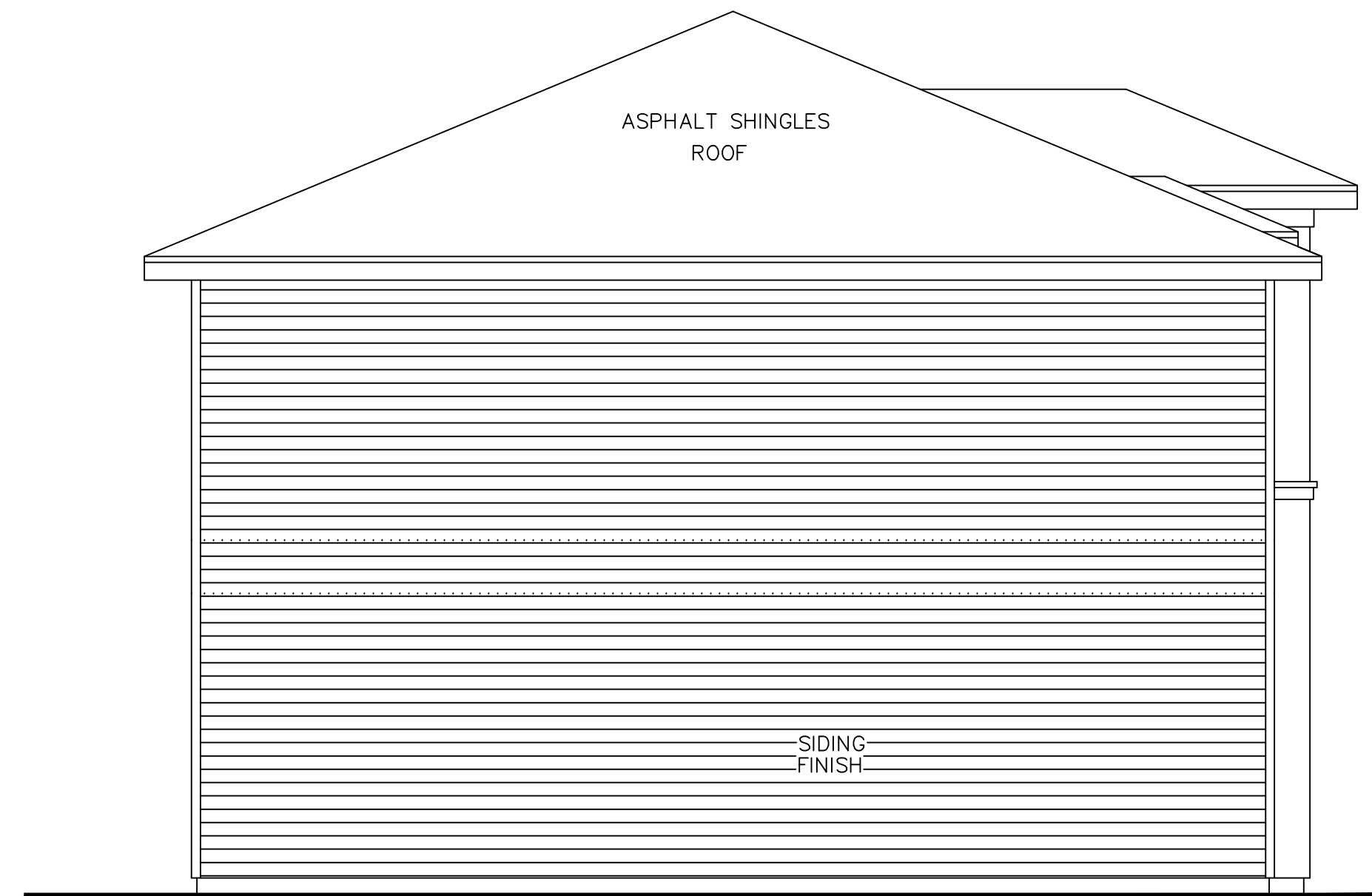
SHEET COUNT 7 OF 10

BLK. 914 LOT. 7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.

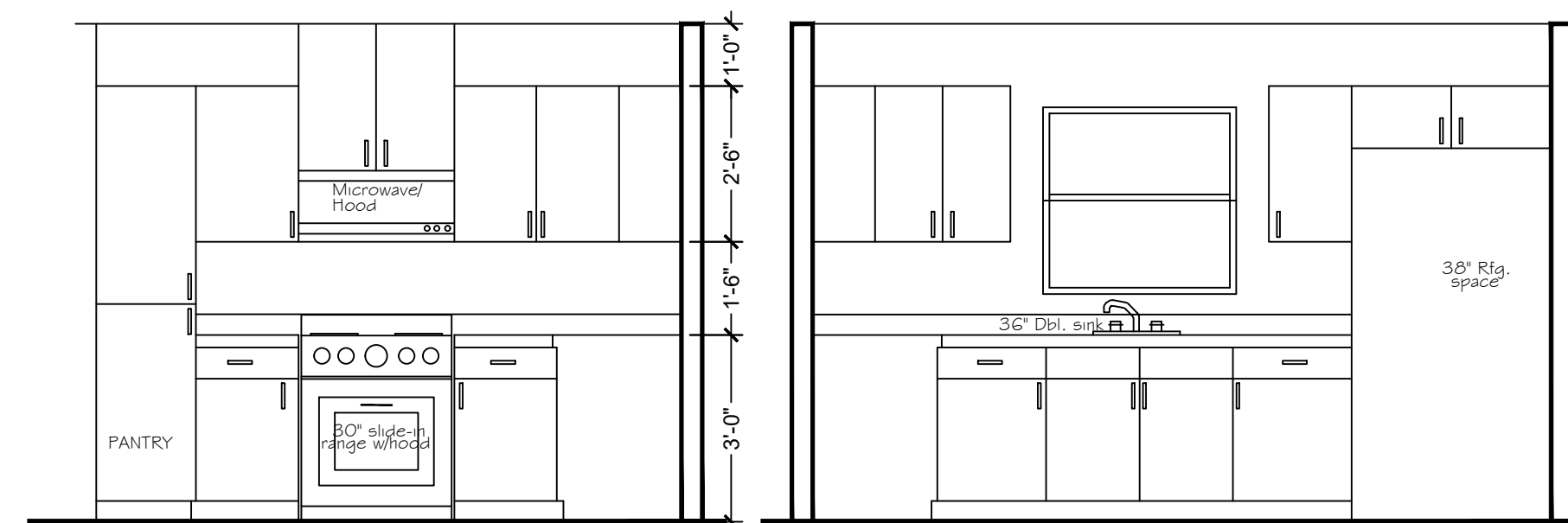




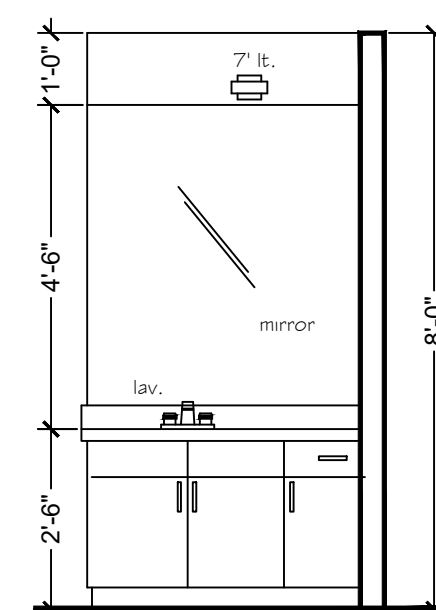
SOUTH ELEVATION ■ SC. 1/4" = 1'-0"



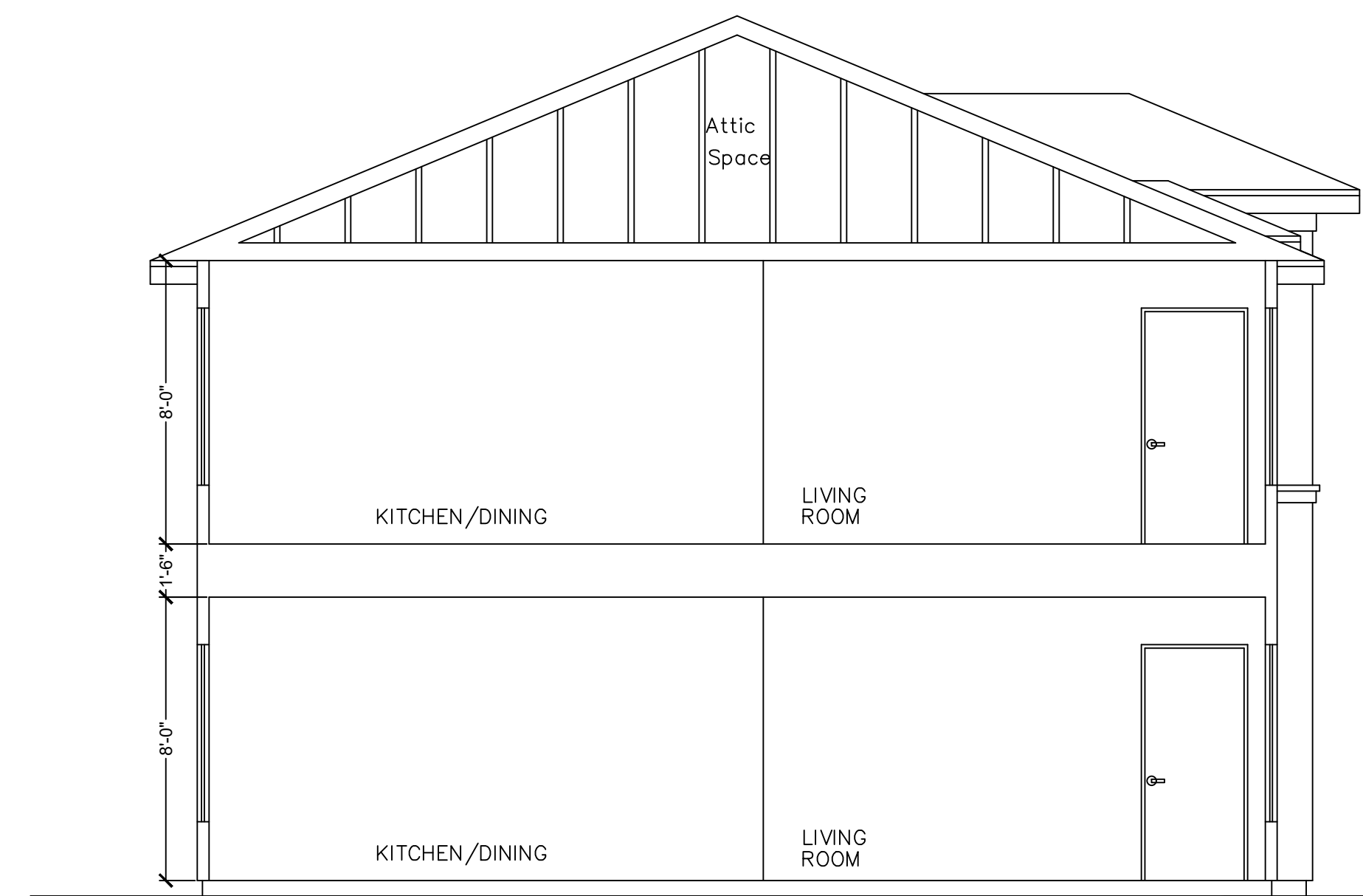
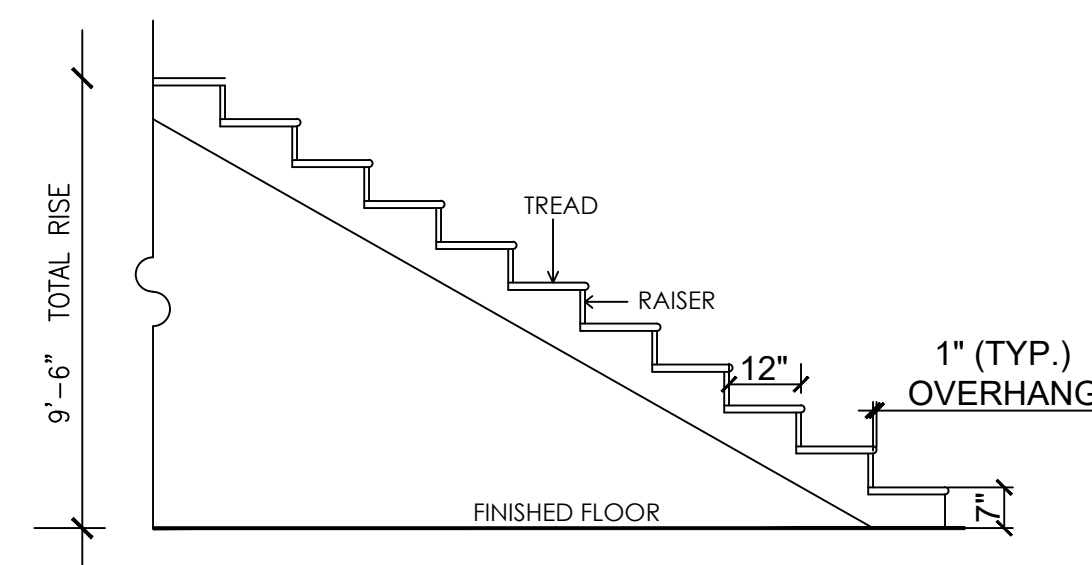
NORTH ELEVATION ■ SC. 1/4" = 1'-0"



KITCHEN CABINETS .- ■ scale 3/8" = 1' - 0"



BATH #1 .- ■ scale 3/8" = 1' - 0"

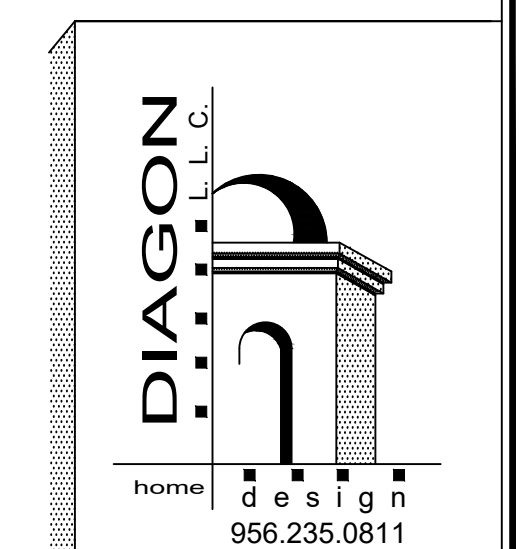


CROSS SECTION .- ■ SC. 1/4" = 1'-0"

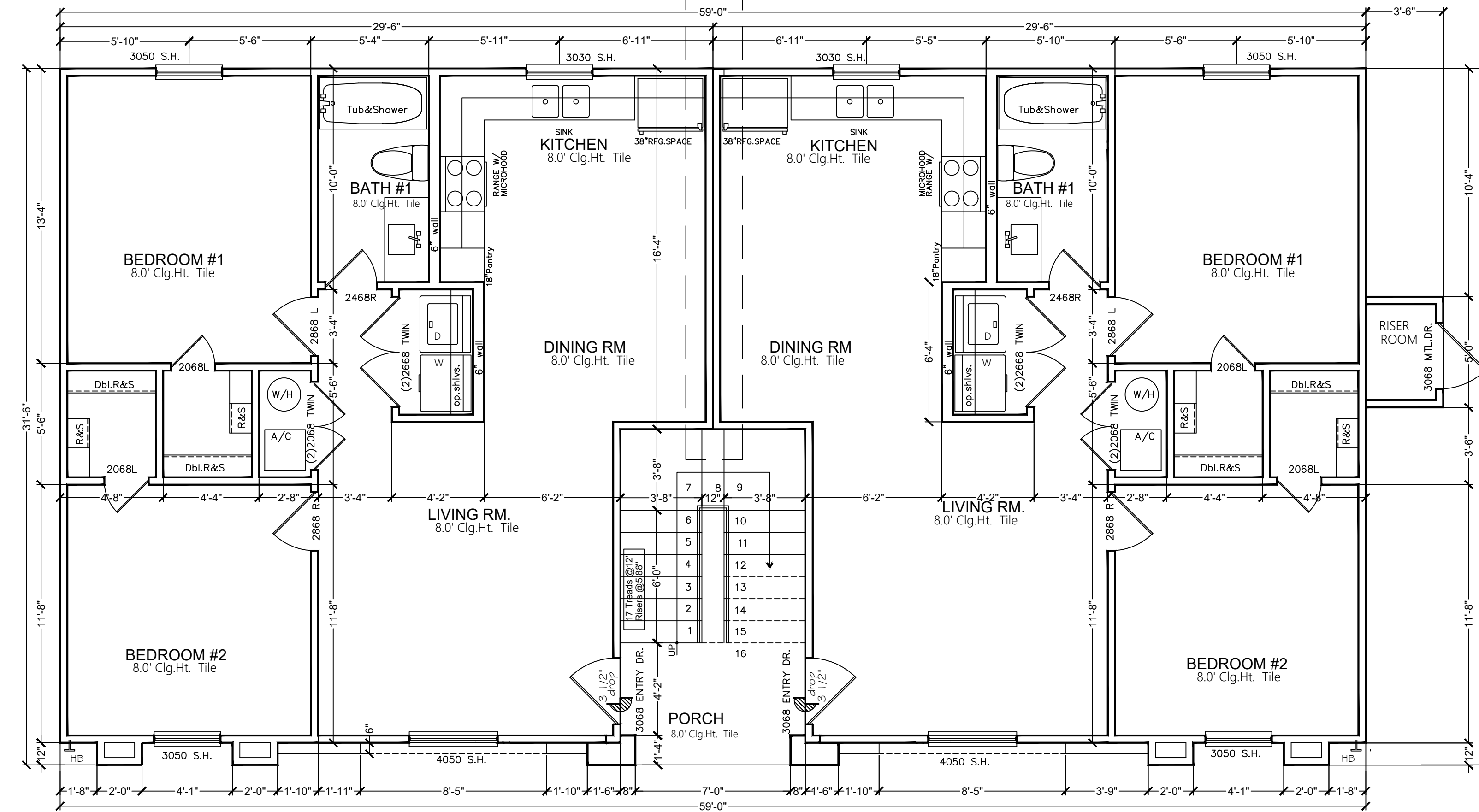
SAN JOSE APARTMENTS  
PROJECT  
HDL CONSTRUCTION, LLC  
8218 Casa Verde Rd, Ste. 1009  
Laredo, Tx 78041  
956-763-3598

DRAWINGS	
ELEVATIONS	
CABINETS DET.	
8 UNITS	
CROSS SECT.	
JULY/22	P. DIAZ
SHEET A-08	
SHEET COUNT 9 OF 10	

BLK. 914 LOT. 7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.



TWO HOUR RATED WALL ASSEMBLY (ONE -HOUR EACH APARTMENT) :  
 2- LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE  
 OF 3 1/2" WALL STUDS AT 16" ON CENTER WITH  
 R-13 INSULATION BATTS EXTEND PARTITION TO BOTTOM  
 OF DECK AND SEAL WITH FIRE CAULK

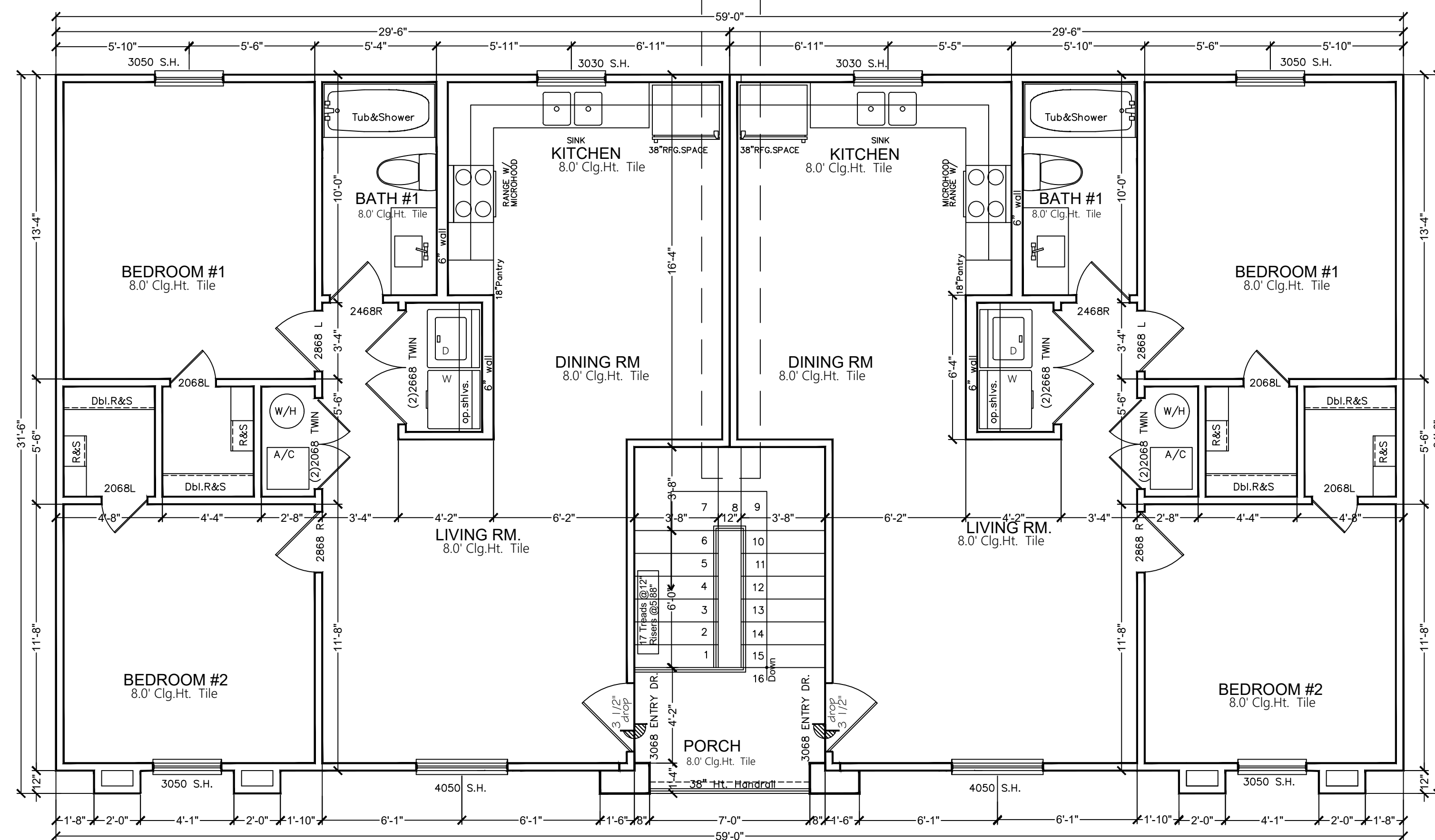


FLOOR PLAN .- scale 1/4" = 1' - 0"  
 1ST. LEVEL 4 UNITS

AREAS :

LIVING AREA APARTMENT (1-12)	10,080.0 SQ.FT.
EACH APT.	840.0 SQ.FT.
PORCH UNITS (1ST. LEVEL)	390.0 SQ.FT.
EACH PORCH	130.0 SQ.FT.
PORCH UNITS (2ND. LEVEL)	144.0 SQ.FT.
EACH PORCH	48.0 SQ.FT.
<b>TOTAL CONSTRUCTION AREA:</b>	<b>10,614.0 SQ.FT.</b>

- WALLS .**  
 INTERIOR: SMOOTH / PAINT  
 EXTERIOR: STUCCO FINISH W/PAINT FINISH  
 EXTERIOR: SIDING FINISH
- CEILINGS.**  
 INTERIOR: SHEET ROCK TEXTONE/PAINT FINISH  
 EXTERIOR(PORCH) : GYPSUM BOARD PLASTER W/ PAINT
- FLOOR .**  
 GENERAL HOUSE : PORCELAN FLOOR (16 X 16 )  
 BATH : CERAMIC TILE  
 EXTERIOR : SMOOTH CONCRETE  
 SIDEWALK : EXPOSED CONCRETE 1% SLOPE



FLOOR PLAN .- scale 1/4" = 1' - 0"  
 2ND. LEVEL 4 UNITS

2012 INTERNATIONAL FIRE CODE  
 2012 BUILDING CODE  
 2012 MECHANICAL CODE  
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SAN JOSE  
 APARTMENTS

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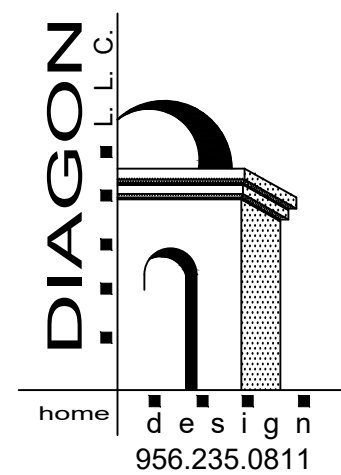
BUILDER

FLOOR PLAN  
 4 UNITS -  
 JULY/22 P. DIAZ

SHEET A-02

SHEET COUNT 3 OF 10

BLK.914 LOT.7-8-9  
 117 S. MENDIOLA AVE.  
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 LAREDO, TX.



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PROJECT

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BUILDER

DRAWINGS

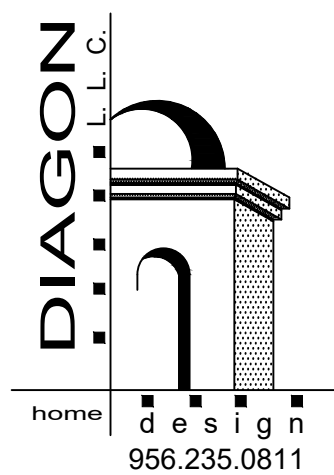
FLOOR PLAN  
-8 UNITS -

JULY/22 P. DIAZ

SHEET A-05

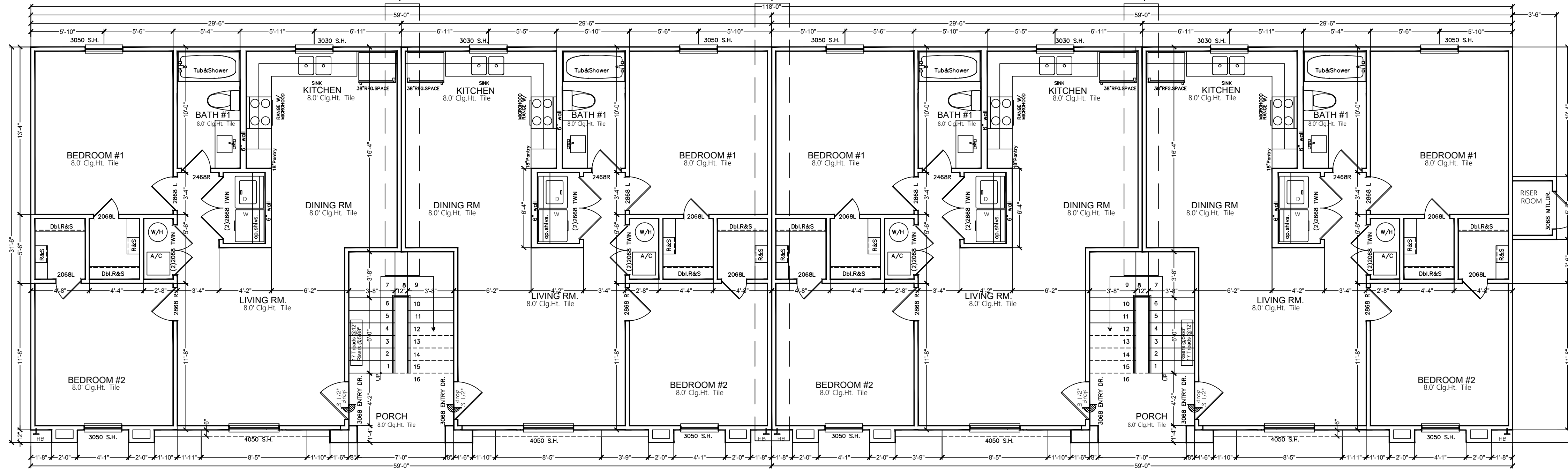
SHEET COUNT 6 OF 10

BLK.914 LOT.7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.

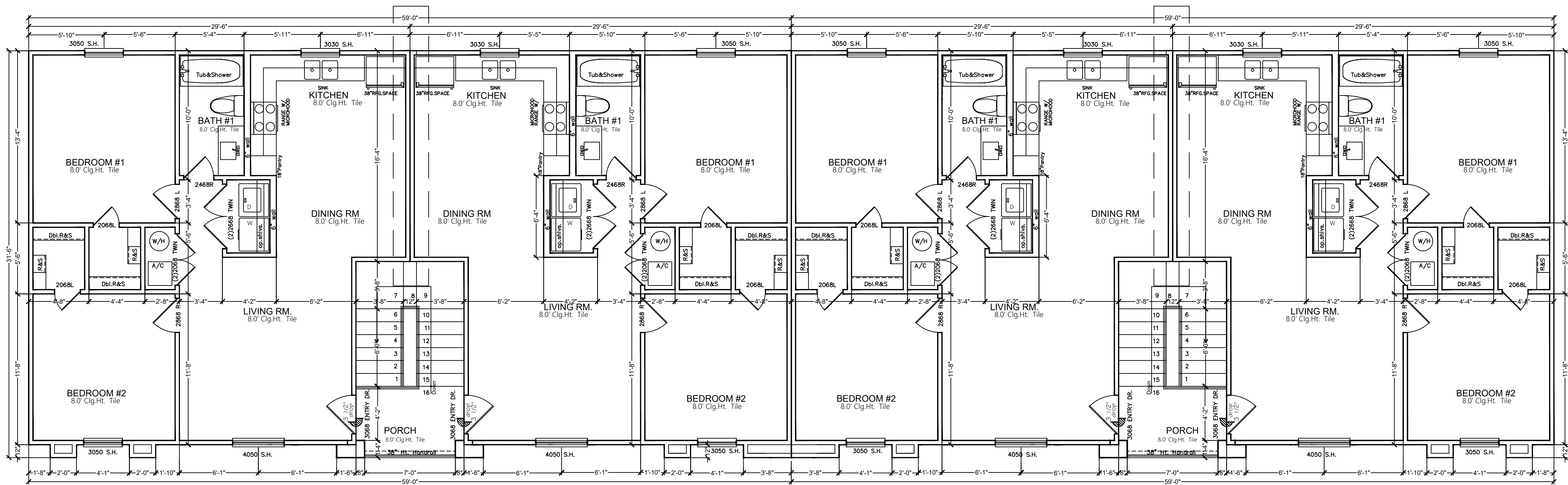


2012 INTERNATIONAL FIRE CODE  
2012 BUILDING CODE  
2012 MECHANICAL CODE  
2012 PLUMBING CODE  
2015 ENERGY CODE  
2011 N.E.C.  
2012 TEXAS ACCESSIBILITY STANDARD

TWO HOUR RATED WALL ASSEMBLY (ONE - HOUR EACH APARTMENT) :  
2- LAYERS OF 5/8" TYPE "X" GYPSUM BOARD ON ONE SIDE  
OF 3/12" WALL STUDS AT 16" ON CENTER WITH  
R-13 INSULATION BATT'S EXTEND PARTITION TO BOTTOM  
OF DECK AND SEAL WITH FIRE CAULK

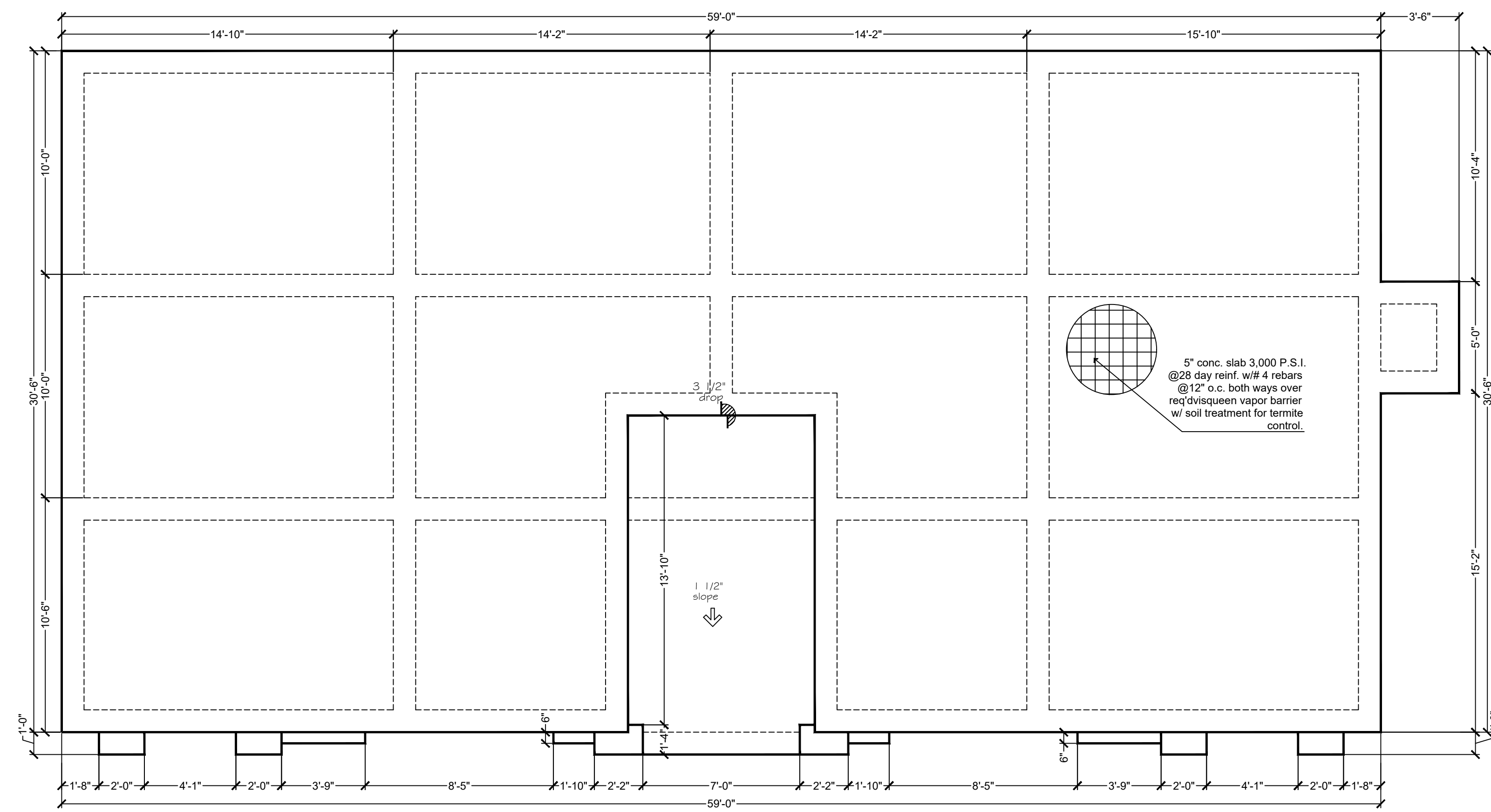


FLOOR PLAN .- scale 3/16" = 1' - 0"  
1ST. LEVEL 8 UNITS

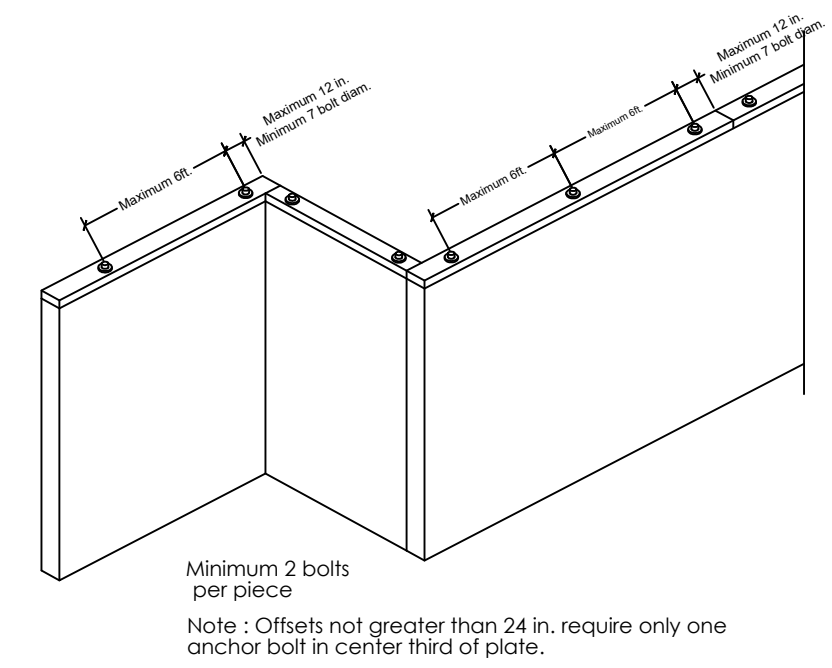


FLOOR PLAN .- scale 3/16" = 1' - 0"  
2ND. LEVEL 8 UNITS

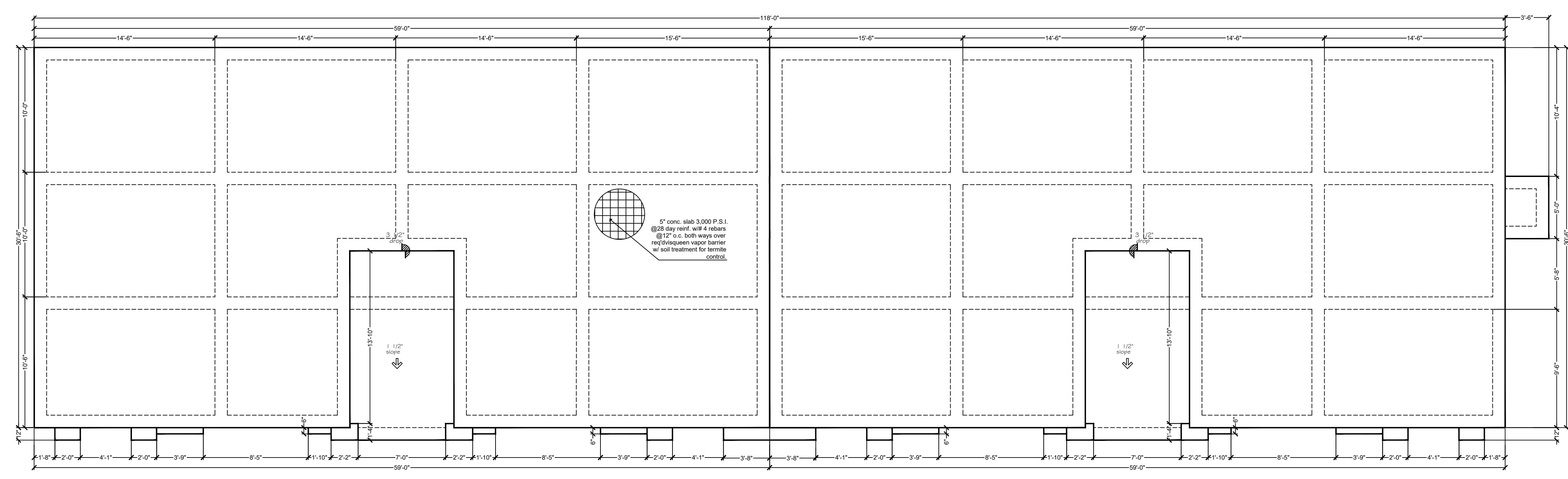
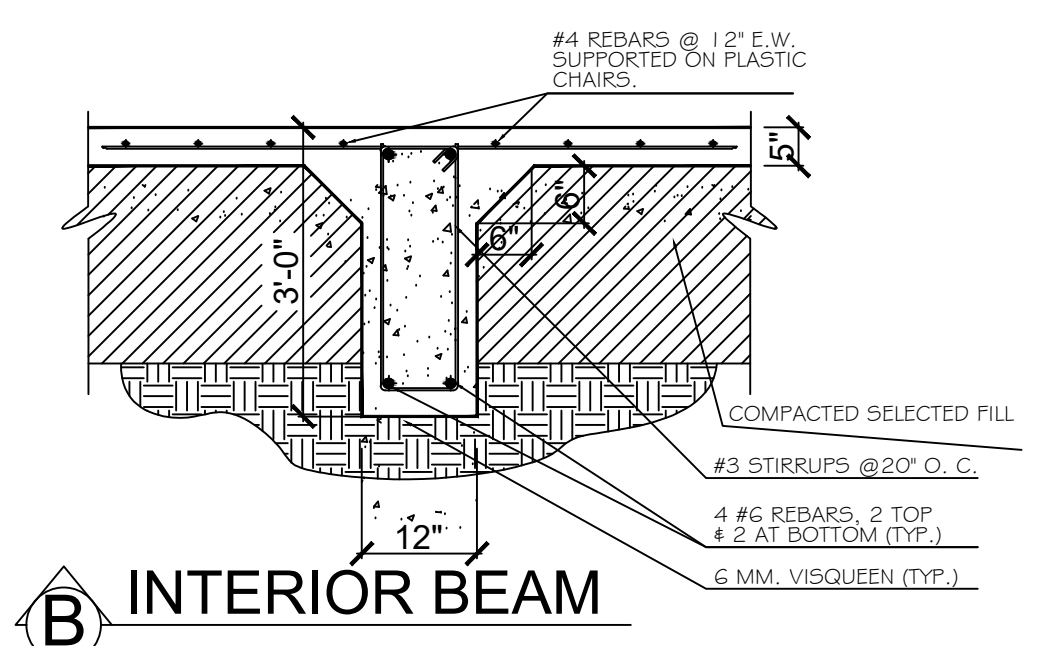
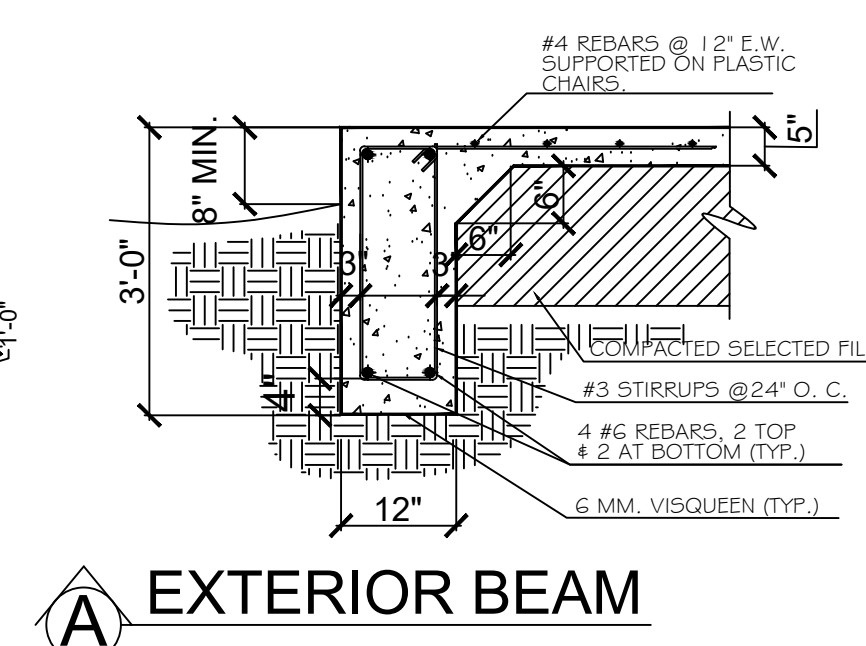




FLOOR PLAN - 4 UNITS  
scale 1/4" = 1' - 0"



**ANCHOR BOLT NOTES:**  
THE PLACEMENT OF THE ANCHOR BOLTS MAY BE PLACED PRIOR TO THE POURING OF THE CONCRETE BY SECURING IN PLACE OR IMBEDDED DURING THE POURING OF THE CONCRETE. NONETHELESS, THE APPROPRIATE ANCHOR BOLTS MUST BE AT SITE DURING THE FOUNDATION INSPECTION. DURING THE FRAMING INSPECTIONS, A VERIFICATION TO ENSURE BOLTS ARE SPACED A MAXIMUM OF 6 FEET (1829mm) ON CENTER TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2 IN DIAM. ANCHOR BOLTS. BOLTS SHALL BE EMBEDDED A MINIMUM SEVEN (7) INCHES INTO CONCRETE OR CROUTED CELLS OF CONCRETE MASONRY UNITS. THE BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A NUT AND WASHER SHALL BE TIGHTENED ON EACH ANCHOR BOLTS. THERE SHALL BE A MINIMUM OF TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NO MORE THAN 12 INCHES OR LESS THAN SEVEN BOLTS DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS AS LISTED ON BOTH THE IRC AND THE IBC(RC R406.3.3&IBC2308.3.3).



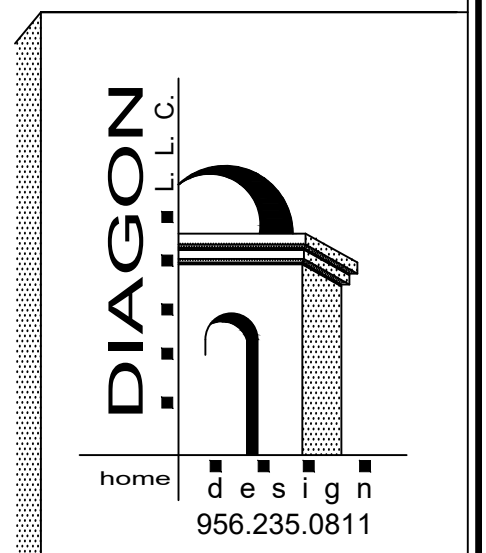
FOUNDATION PLAN - 8 UNITS  
scale 3/16" = 1' - 0"

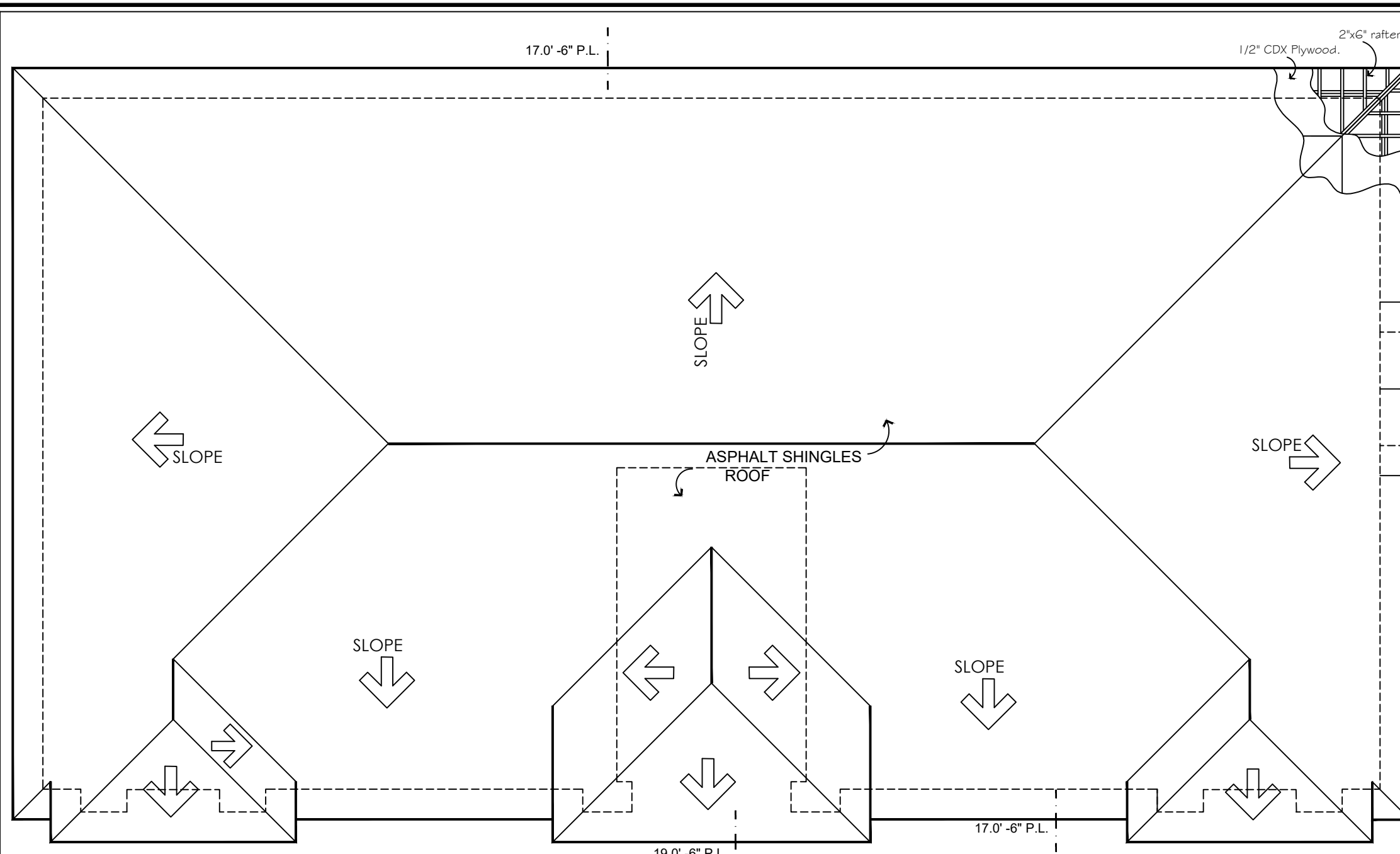
SAN JOSE APARTMENTS  
PROJECT

HDL CONSTRUCTION, LLC  
8218 Casa Verde Rd, Ste. 1009  
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Laredo, Tx 78041

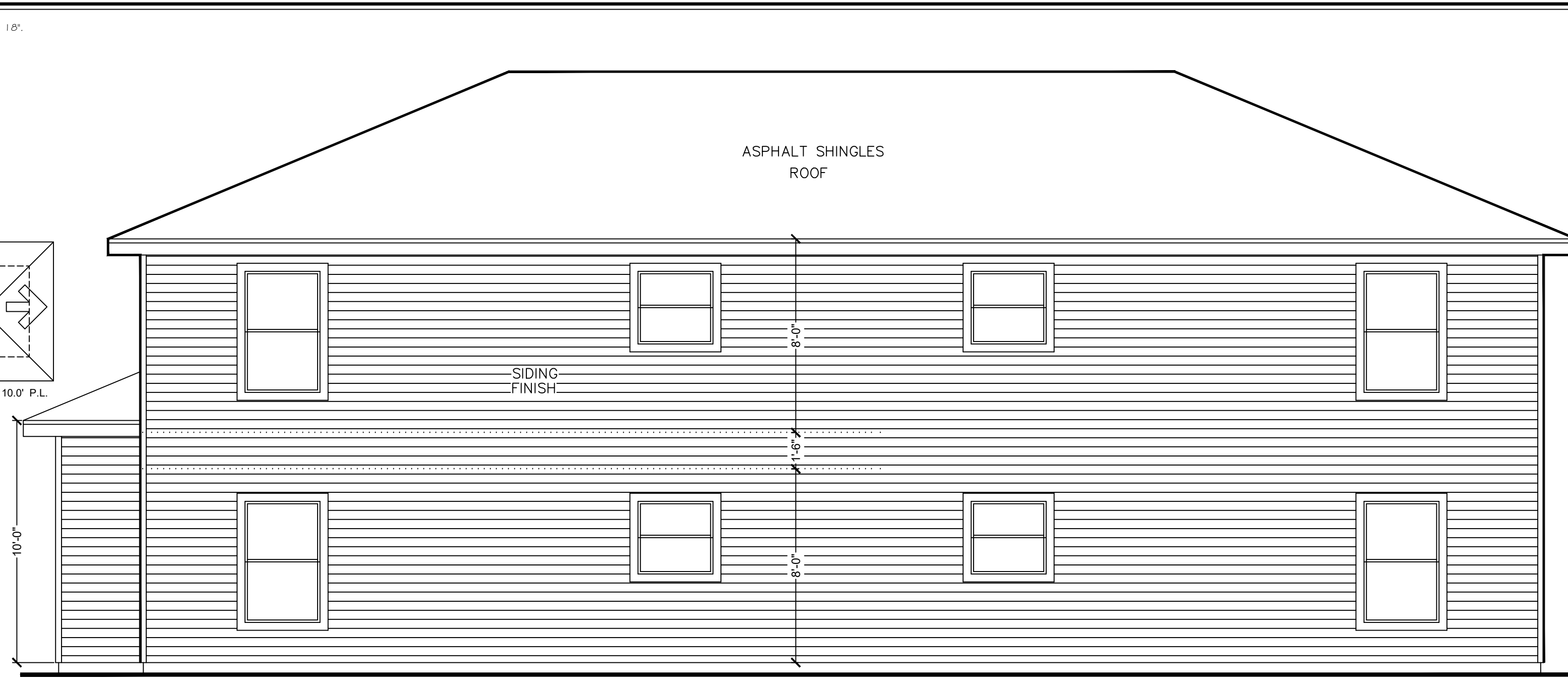
DRAWINGS	
BUILDER	
FOUNDATION PLAN	
- 8 UNITS -	
- 4 UNITS -	
JULY/22	P. DIAZ
SHEET A-09	
SHEET COUNT 10 OF 10	

BLK. 914 LOT. 7-8-9  
117 S. MENDIOLA AVE.  
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LAREDO, TX.

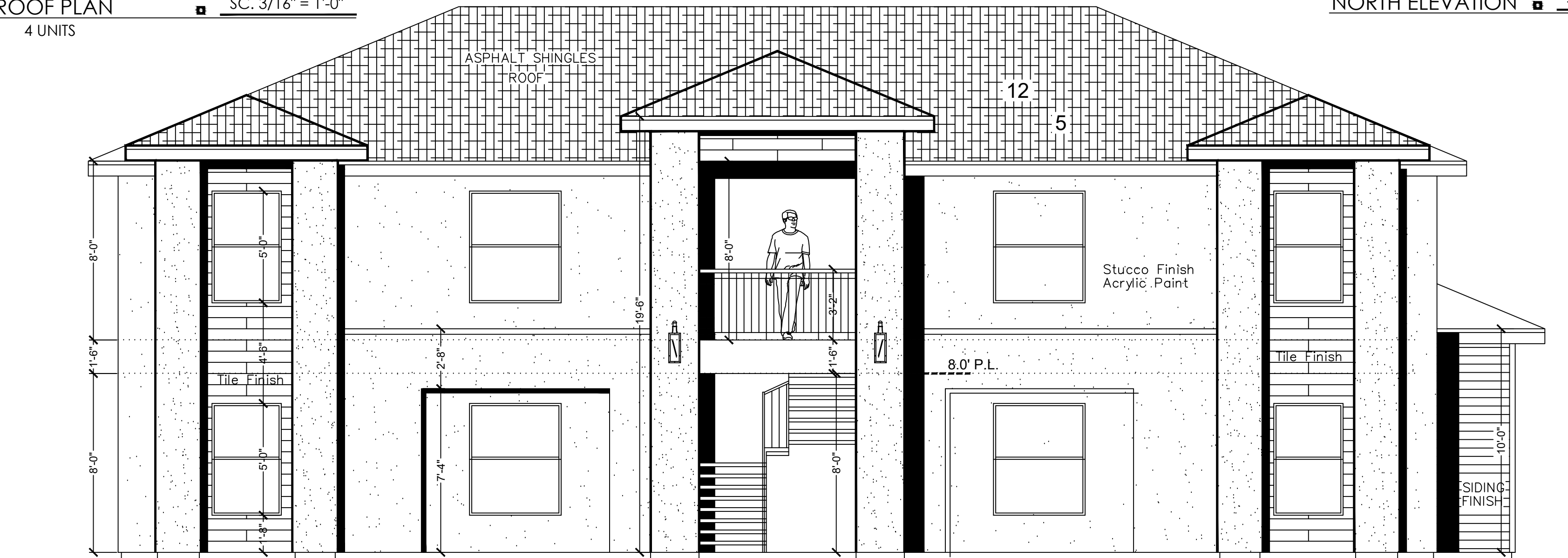




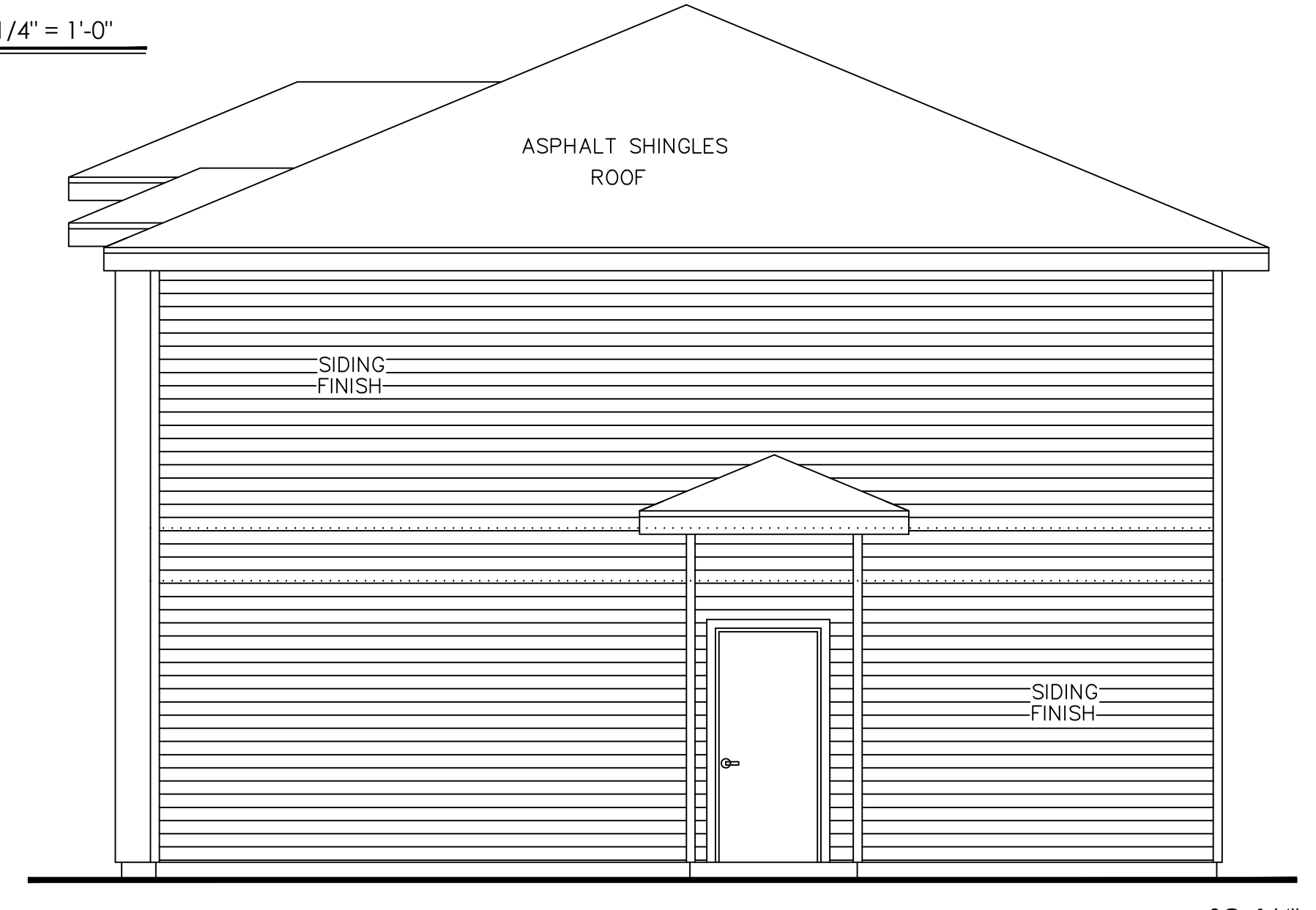
ROOF PLAN  
4 UNITS  
SC. 3/16" = 1'-0"



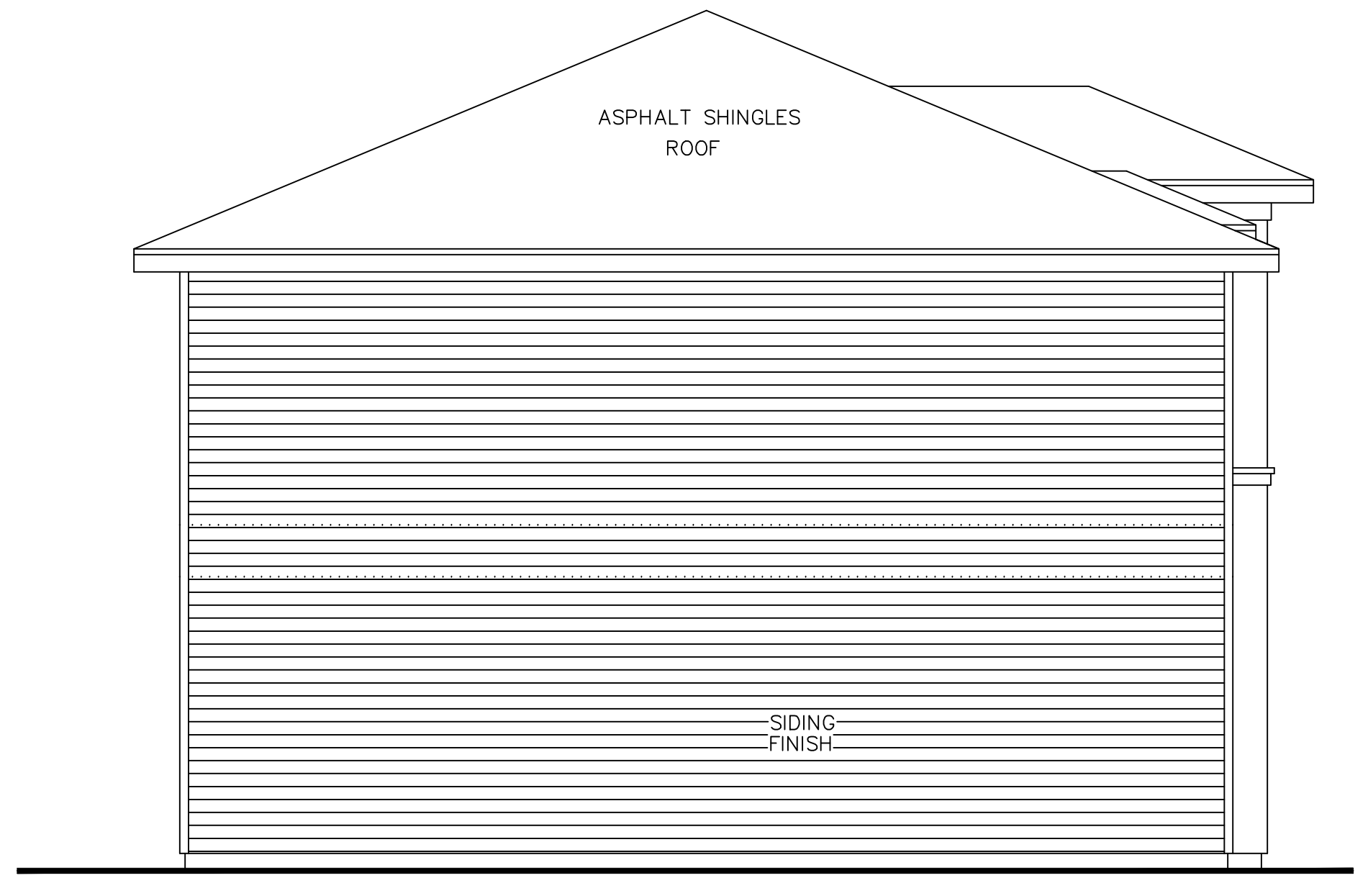
NORTH ELEVATION  
SC. 1/4" = 1'-0"



SOUTH ELEVATION  
SC. 1/4" = 1'-0"



WEST ELEVATION  
SC. 1/4" = 1'-0"

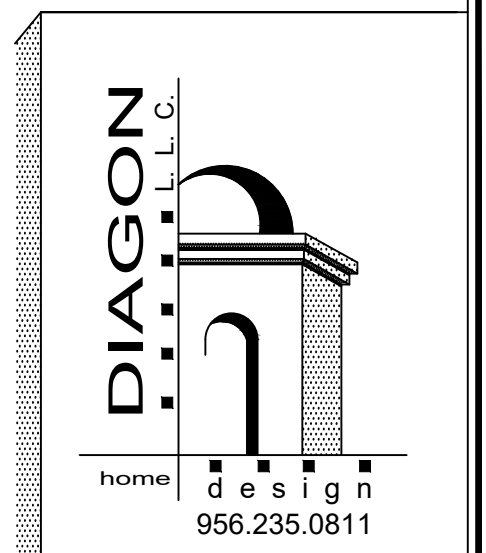


ROOF PLAN  
8 UNITS  
SC. 3/16" = 1'-0"

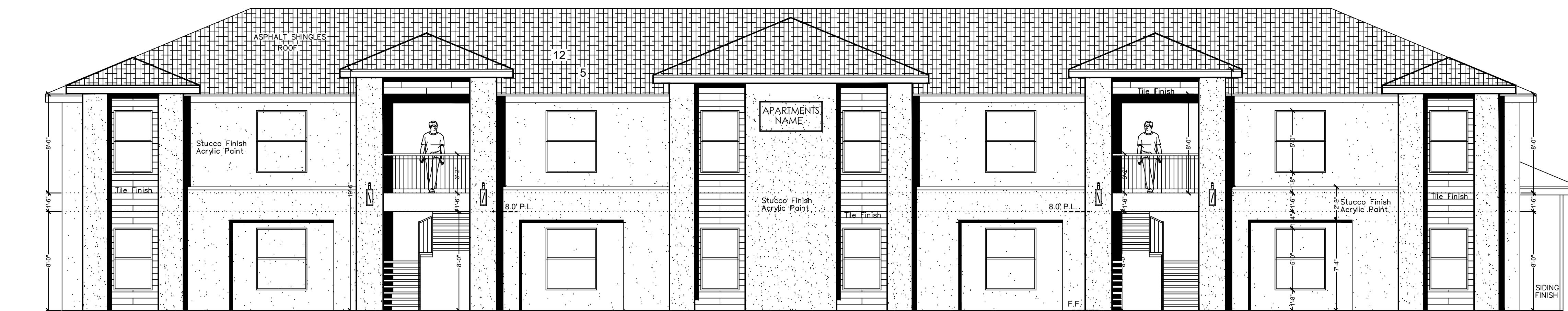
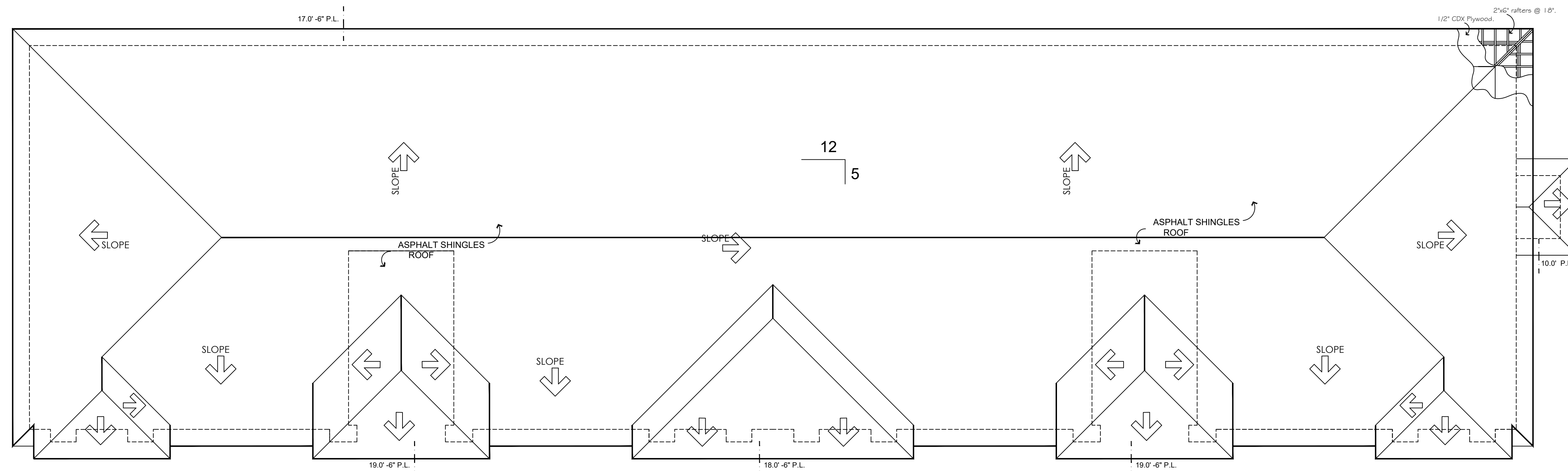
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PROJECT  
**HDL CONSTRUCTION, LLC**  
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Laredo, Tx 78041

DRAWINGS	
ROOF PLAN ELEVATIONS 4 UNITS	
JULY/22	P. DIAZ
SHEET A-04	
SHEET COUNT 5 OF 10	

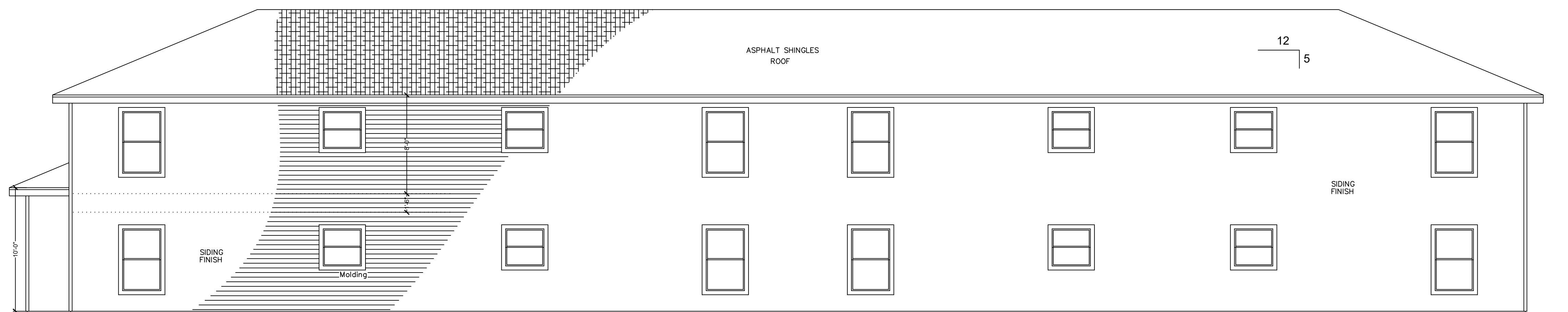
BLK. 914 LOT. 7-8-9  
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LAREDO, TX.



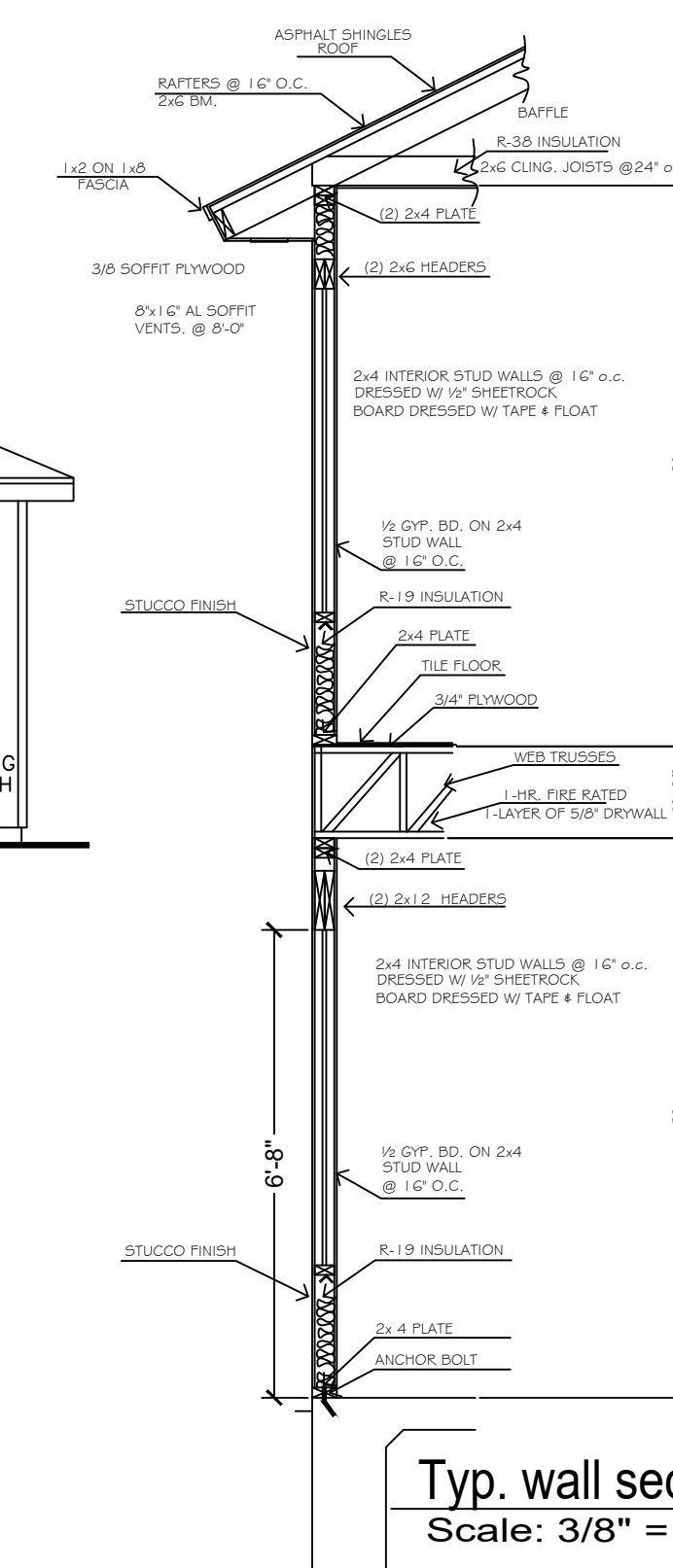




EAST ELEVATION SC. 3/16" = 1'-0"



WEST ELEVATION SC. 3/16" = 1'-0"



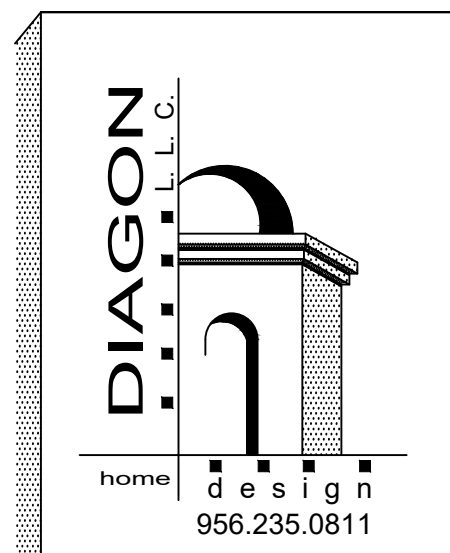
Typ. wall section Scale: 3/8" = 1'-0"

SAN JOSE APARTMENTS PROJECT

HDL CONSTRUCTION, LLC  
8218 Casa Verde Rd, Ste. 1009  
956-763-3598  
Laredo, Tx 78041

BUILDER  
DRAWINGS  
ROOF PLAN ELEVATIONS - 8 UNITS -  
JULY/22 P. DIAZ  
SHEET A-07  
SHEET COUNT 8 OF 10

BLK. 914 LOT. 7-8-9  
117 S. MENDIOLA AVE.  
EASTERN DIV.  
LAREDO, TX.



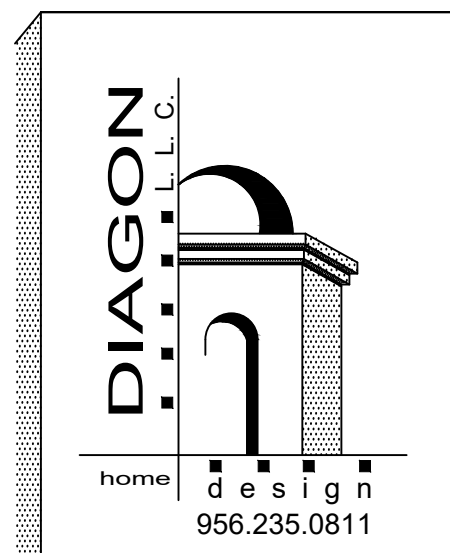
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SAN JOSE  
 APARTMENTS  
 PROJECT

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 956-763-3598

DRAWINGS	
SITE PLAN	
MAY22	P. DIAZ
SHEET A-01	
SHEET COUNT 2 OF 10	

BLK.914 LOT.7-8-9  
 117 S. MENDIOLA AVE.  
 EASTERN DIV.  
 LAREDO, TX.



**GENERAL NOTES :**

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL BE:
  - OBTAIN ALL BUILDING & CONSTRUCTION PERMITS AS REQUIRED BY THE PERTINENT LOCAL REGULATORY .
  - VERIFY LOCATIONS, PROPERTY LINES, LIMITS OF WORK, EASEMENTS, ELEVATIONS & AFFECTING HIS WORK & PROTECT SAME WHERE NECESSARY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS, CONDITIONS AND WORK, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- USE DIMENSIONS THAT ARE ON THE DRAWINGS OR ARE PROVIDED BY THE DESIGNER, VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS. WRITTEN DIMENSIONS ON DRAWINGS TAKE PREFERENCE.
- PROVIDE SILT FENCE ON LOWER END OF THE LOT

**NOTES ON COMMERCIAL DRIVEWAY**

- MINIMUM CONCRETE THICKNESS 7" . 3000 PSI CONCRETE.
- MINIMUM 6"X6" WIRE MESH #6.
- MINIMUM REINFORCED WITH #3 REBAR @ 24 O.C.

**NOTES ON SIDEWALK CONSTRUCTION**

- CONCRETE SHALL BE 3000 P.S.I., CLASS A.
- 1/2" THICK MINIMUM PREFORMED BITUMINOUS EXPANSION JOINT MATERIAL SET 3/4" BELOW
- MIN. SIDEWALK THICKNESS 4" RAISE THE SIDEWALK
- DOWELS SHALL BE PLAIN BARS AND SHALL HAVE 1/2 THE BAR WRAPPED WITH 2 LAYERS OF ROOFING FELT OR PLASTIC TUBE .
- 6"X6", W2.9 XW2.9 SHALL BE USED AS REINFORCEMENT .
- CONTROL JOINTS SHALL BE SCORED AT SPACING EQUAL TO WIDTH OF SIDEWALK.
- THE FINISH SHALL BE SEMI SMOOTH WITH STIFF BROOM FINISH.
- EXPANSION JOINTS AT MAXIMUM 80 FEET WITH SMOOTH 18" LONG DOWELS @18"O.C. AND 1/2" MINIMUM PREFORMED BITUMINOUS EXPANSIONS JOINT MATERIAL.
- FORM FOR SIDEWALK SHALL BE FULL DEPTH FOR DIMENSION SPECIFIED.

**EXPANSION JOINT STANDARD :**

- Shall be 1/2" Bituminous Type preformed expansion joint filler A.S.T.M. D-1751
- Large aggregate in contraction joint, shall be separated to a depth of 1", finish depth shall be a minimum of 3/4"

**AREAS :**

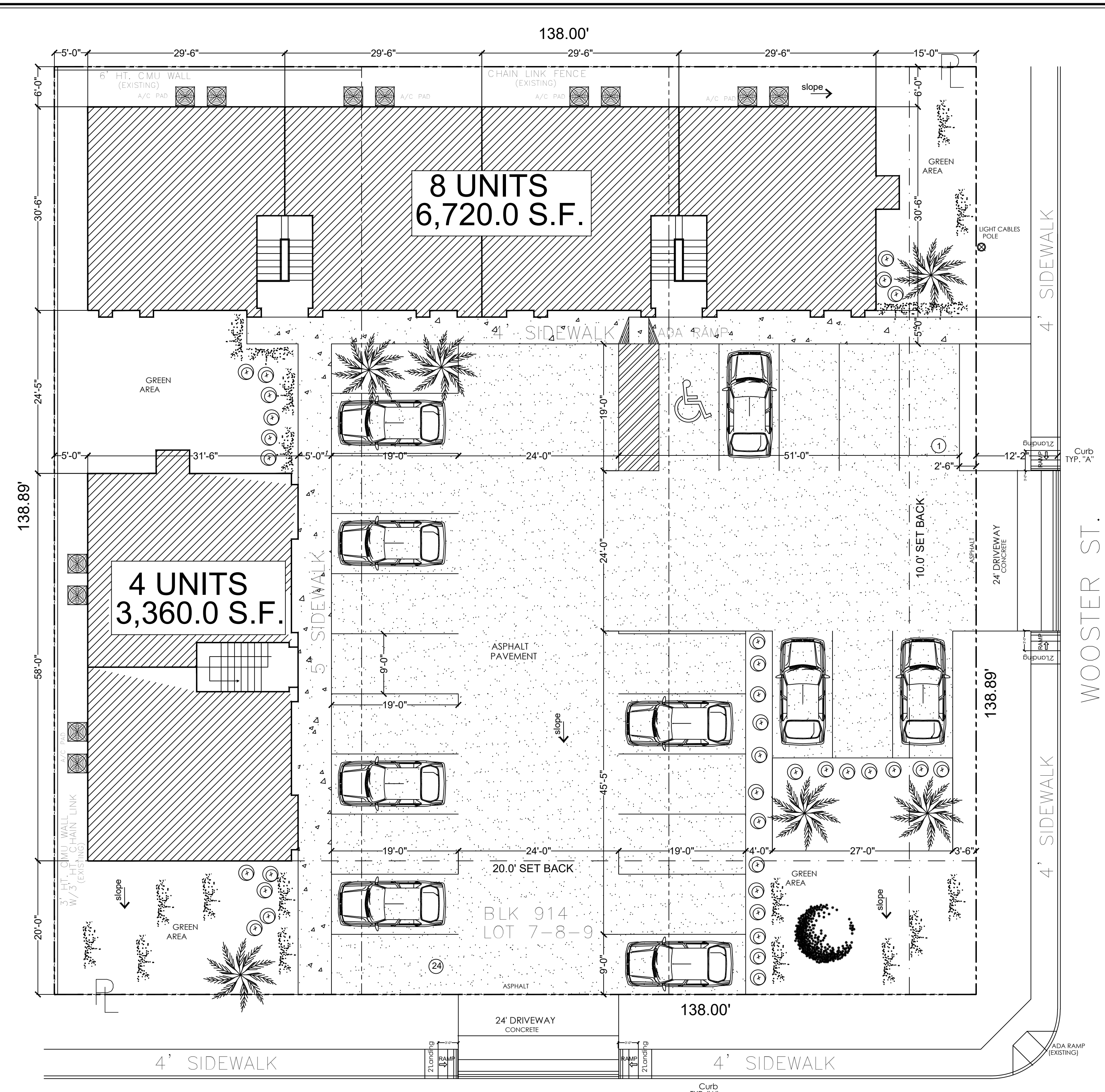
LIVING AREA APARTMENT (1-12)	10,080.0 SQ.FT.
EACH APT.	840.0 SQ.FT.
PORCH UNITS (1ST. LEVEL)	390.0 SQ.FT.
EACH PORCH	130.0 SQ.FT.
PORCH UNITS (2ND. LEVEL)	144.0 SQ.FT.
EACH PORCH	48.0 SQ.FT.
<b>TOTAL CONSTRUCTION AREA:</b>	<b>10,614.0 SQ.FT.</b>

**LANDSCAPING LEGEND**

	SHRUBS 3 GAL.
	LIVE OAK 8" (HEIGHT: 8'-10')
	PALM TREE
	SAN AGUSTIN GRASS

1 SITE PLAN.- scale 10' = 1' - 0"

2012 INTERNATIONAL FIRE CODE  
 2012 BUILDING CODE  
 2012 MECHANICAL CODE  
 2012 PLUMBING CODE  
 2015 ENERGY CODE  
 2011 N.E.C.



117 S. MENDIOLA

**GENERAL NOTES :**

- BEFORE COMMENCING ANY ACTIVITY UNDER OR PERTAINING TO THIS CONTRACT, THE CONTRACTOR SHALL BE:
  - OBTAIN ALL BUILDING & CONSTRUCTION PERMITS AS REQUIRED BY THE PERTINENT LOCAL REGULATORY .
  - VERIFY LOCATIONS, PROPERTY LINES, LIMITS OF WORK, EASEMENTS, ELEVATIONS & AFFECTING HIS WORK & PROTECT SAME WHERE NECESSARY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED DIMENSIONS, CONDITIONS AND WORK, AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH THE WORK.
- USE DIMENSIONS THAT ARE ON THE DRAWINGS OR ARE PROVIDED BY THE DESIGNER, VERIFY ALL DIMENSIONS BY FIELD MEASUREMENTS. WRITTEN DIMENSIONS ON DRAWINGS TAKE PREFERENCE.

THE LANDSCAPING INFORMATION IS THE RESPONSABILITY OF THE CONTRACTOR. CONTRACTOR SHALL COORDINATE WITH THE OWNER THE TYPE OF SOD, TREES, LANDSCAPING & IRRIGATION REQUIREMENTS.

THE CONTRACTOR SHALL PREPARE AND SUBMIT IRRIGATION SHOP DRAWINGS PREPARED BY A LICENCE IRRIGATION CONTRACTOR TO THE OWNER AS REQUIRED PER APPLICABLE CODES

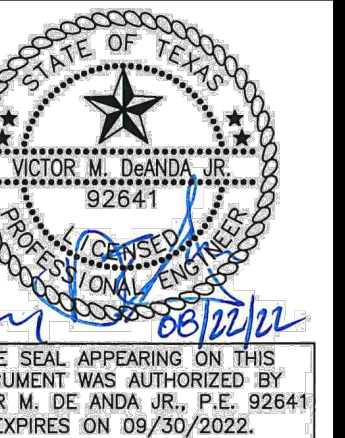




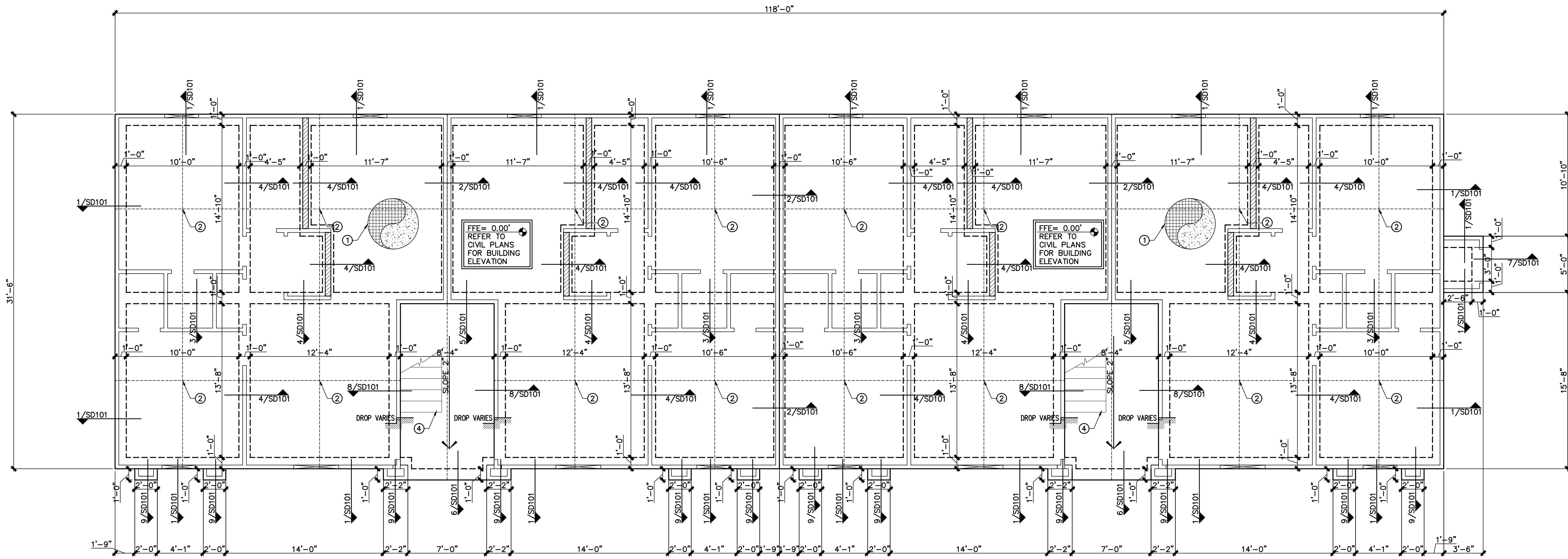




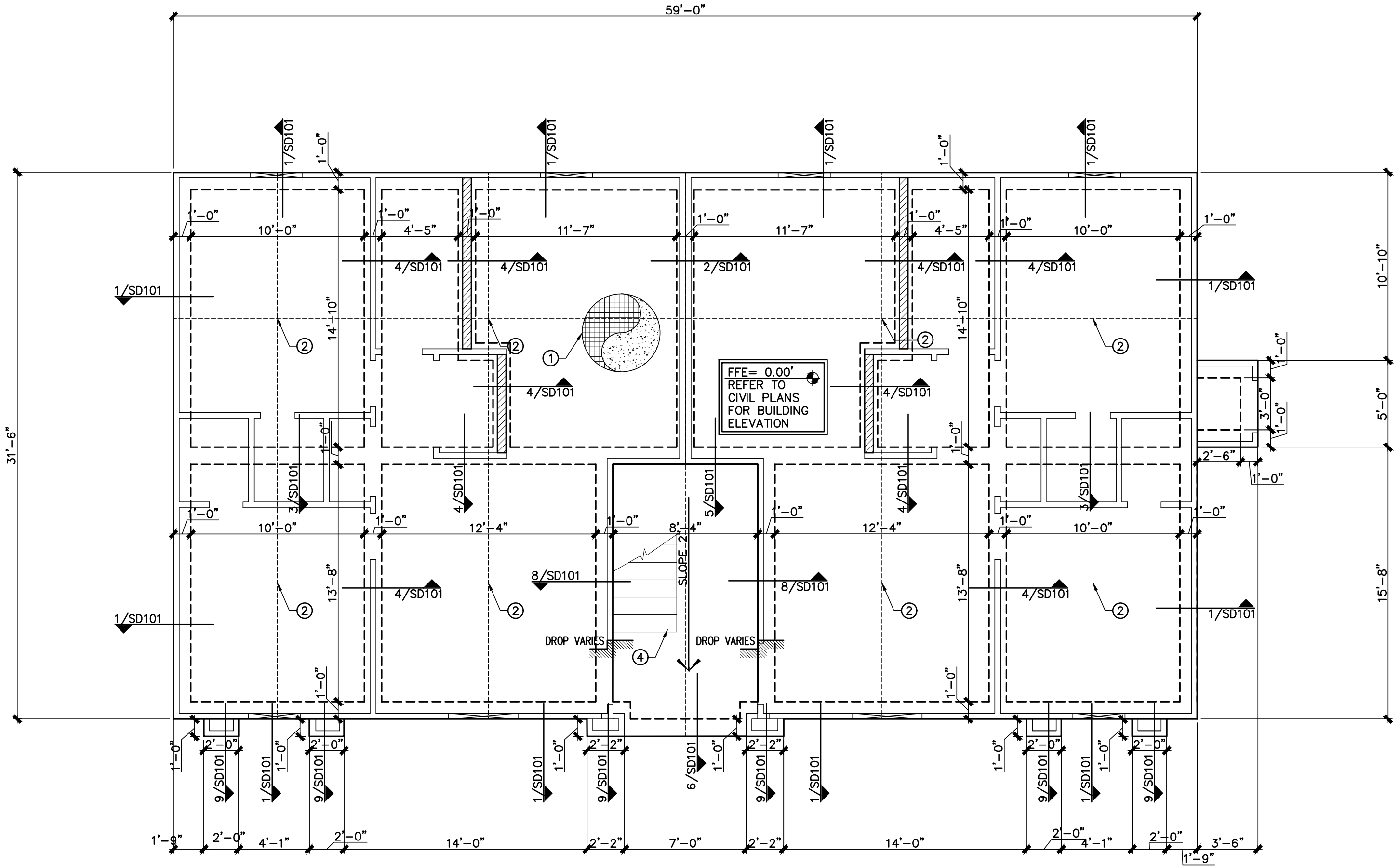




FOUNDATION PLAN  
BUILDING A & B  
SSE-22-139  
Name: AUGUST 22, 2022  
Job No.: VDA/MSM  
Date: VDA  
Drawn By:  
Check by:



**1 FOUNDATION PLAN - BUILDING A**  
SCALE: 3/16"=1'-0"



**2 FOUNDATION PLAN - BUILDING B**  
SCALE: 3/16"=1'-0"

**FOUNDATION NOTES**

- SEE SHEET S001 FOR GENERAL NOTES.
- SEE SHEET S002 FOR TYPICAL DETAILS.
- CONTRACTOR IS RESPONSIBLE FOR LOCATION OF ALL FLOOR DRAINS (F.D.) WHETHER OR NOT THEY ARE NOTED ON THE STRUCTURAL NOTES OR PLANS.
- DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION, COORDINATE WITH ARCHITECTURAL PLANS.
- CONTRACTOR/SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS WITH ARCHITECTURAL PLANS BEFORE COMMENCING ANY WORK. THE CONTRACTOR/SUBCONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER BEFORE THE WORK HAS BEGUN.
- WALL LEGEND:  
2x4 WOOD STUD WALL RE: SCHEDULE  
2x6 WOOD STUD WALL RE: SCHEDULE
- ABBREVIATIONS:  
BFF=BELOW FINISH FLOOR ELEVATION  
FFE=FINISH FLOOR ELEVATION  
CLC=CENTER LINE OF COLUMN
- REFER TO ARCHITECTURAL PLANS FOR BENCH MARK OF FINISH FLOOR ELEVATION.
- REFER TO CIVIL PLANS FOR RAMP, STAIRS & SIDEWALKS.
- REFER TO DETAIL 8/S101 FOR MINIMUM GRADING REQUIREMENTS AROUND BUILDING.

**KEYED FOUNDATION NOTES**

- 5" THICK SLAB ON GRADE WITH #4 BARS @ 16" O.C. EACH WAY AT MID-DEPTH OF SLAB OVER 10 MIL VISQUEEN MOISTURE BARRIER OVER APPROVED COMPACTED FILL.
- SLAB CONTROL JOINTS, SEE DETAIL 6/S002.
- PROVIDE (4) STUDS BELOW BEAM BEARING LOCATION GLUED AND NAILED TOGETHER.
- METAL STAIRS PER ARCHITECT, REFER TO ARCHITECTURAL PLANS FOR TREAD AND RISER DIMENSIONS.

**SHEAR WALL SCHEDULE (2/3)**

WALL MARK	PANEL THICKNESS	STUD SPACING	HORIZONTAL BLOCKING	NAILS	EDGE NAILING	INTERMEDIATE NAILING	ANCHOR BOLTS TO FOUNDATION	ANCHOR BOLTS SPACING
SW-1 (1)	1/2"	16" O.C.	4'-0" O.C.	8d (4)	6" O.C.	6" O.C.	5/8" DIA. x 12"	32' O.C.

- FOOTNOTES:  
 (1) TYPICAL EXTERIOR WALL.  
 (2) PROVIDE 1/2" CDX PLYWOOD AT ALL EXTERIOR WALLS MIN. U.N.O.  
 (3) ALL SHEARWALL PANELS TO TOP OF PARAPET OR UNDERSIDE OF ROOF DECK.  
 (4) 8d NAILS CAN BE REPLACED FOR TWO (2) 2" STAPLES 16 GA.

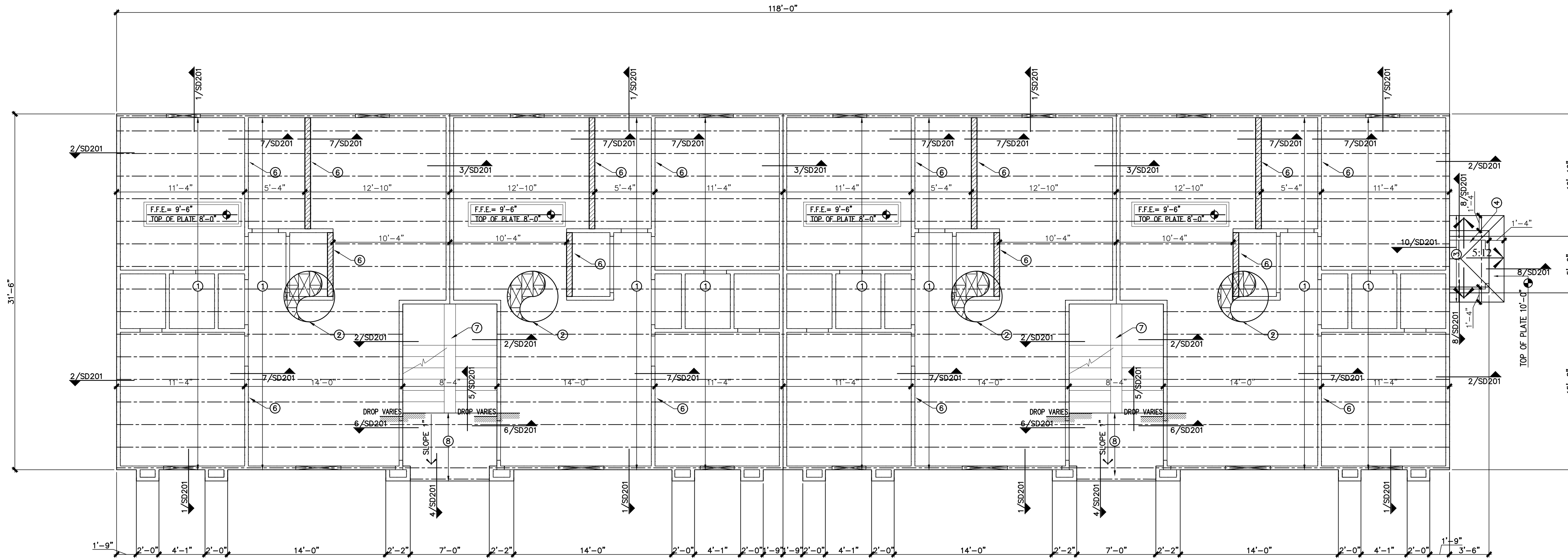
**WOOD STUDS WALL SCHEDULE**

WALL TYPE	STUD SIZE	STUD SPACING	BLOCKING	REMARKS
WSW-1	2x4	16" O.C.	MID-SPAN	TYP. INT/EXT WALL U.N.O.
WSW-2	2x6	16" O.C.	MID-SPAN	TYP. INTERIOR WALL U.N.O.

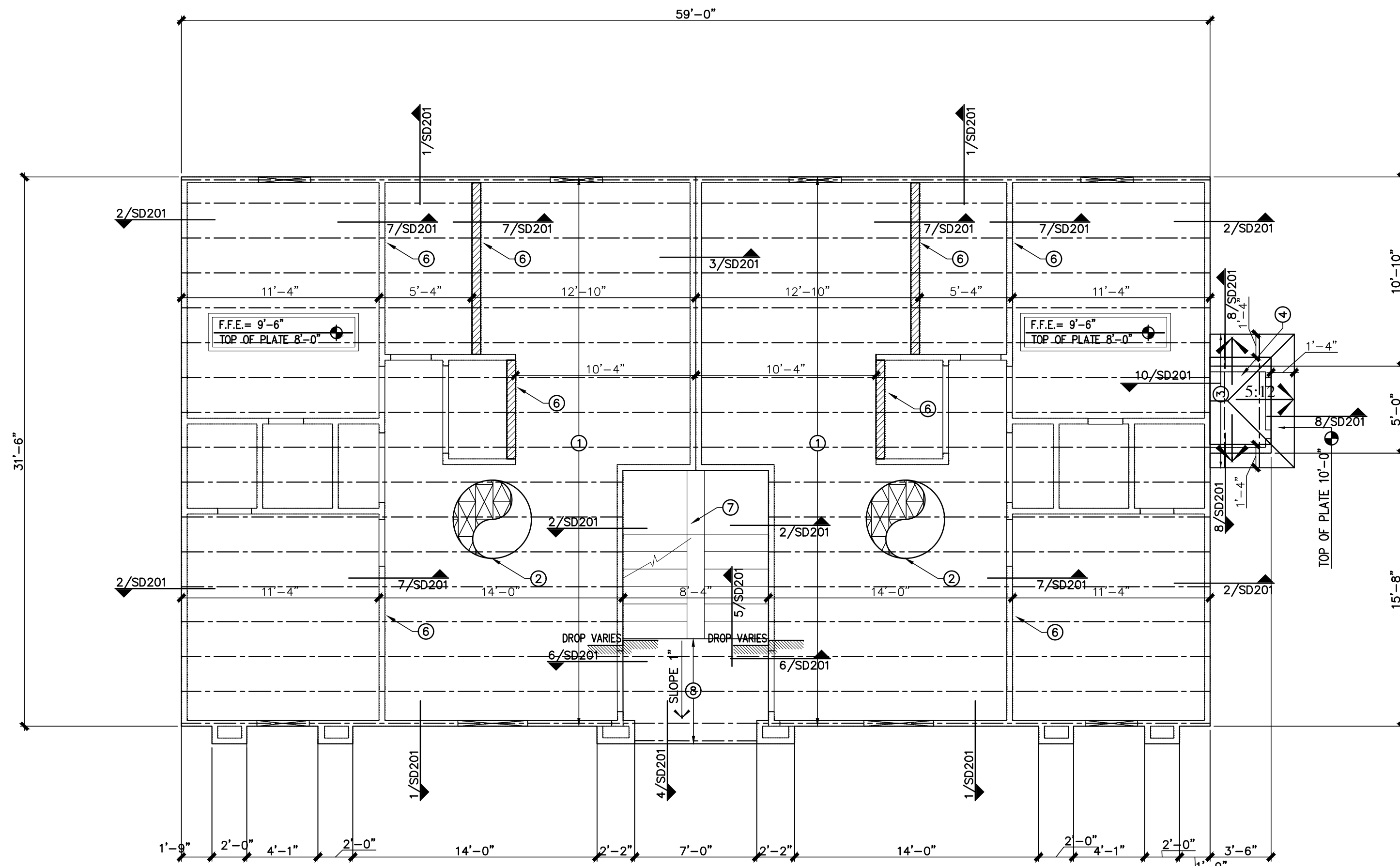
- FOOTNOTES:  
 (1)REFER TO WOOD NOTES SECTION ON SHEET S001 FOR WOOD GRADE AND SPECIES.  
 (2)PROVIDE CONT. BLOCKING AT 4'-0" O.C.

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**1 2ND FLOOR/LOW ROOF FRAMING PLAN- BUILDING A**  
SCALE: 3/16"=1'-0"



**2 2ND FLOOR/LOW ROOF FRAMING PLAN- BUILDING B**  
SCALE: 3/16"=1'-0"

**FRAMING GENERAL NOTES**

- SEE SHEET S001 FOR GENERAL NOTES.
- SEE SHEET S002 FOR TYPICAL DETAILS.
- REFER TO MECHANICAL A/C DRAWINGS FOR LOCATION AND SIZE OF REFRIGERANT PIPING AND DUCT WORK, MECHANICAL UNITS, WEIGHTS, & SUPPORTS.
- DIMENSIONS SHOWN ARE FOR GENERAL INFORMATION, COORDINATE WITH ARCHITECTURAL PLANS.
- PRE-ENGINEERED WOOD TRUSS MANUF. TO REFER TO MECHANICAL DRAWINGS FOR MECHANICAL EQUIPMENT LOCATION AND WEIGHTS.
- WALL LEGEND:  
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- REFER TO MECHANICAL DRAWING FOR A/C DUCT SIZES FOR THE DESIGN OF FLOOR AND ROOF TRUSSES.
- TRUSS MANUFACTURER TO REFER TO ARCHITECTURAL PLANS FOR THE DESIGN OF CEILINGS AT FLOOR AND ROOF TRUSSES.

**KEYED FRAMING NOTES**

- PRE-FABRICATED FLOOR WOOD TRUSSES 15-3/4" DEPTH AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS. PROVIDE LIVE LOAD DEFLECTION L/480.
- 1-1/2" NORMAL WEIGHT CONCRETE WITH WWF 6x6 W2.9x W2.9 OVER 3/4" THICK PLYWOOD TONGUE & GROOVE STRUCTURAL #1 (SPAN RATING 48/24) GLUED AND NAILED WITH 10d NAILS @ 12" O.C. FOR FIELD NAILING, 6" O.C. FOR EDGE & BOUNDARY NAILING.
- PRE-FABRICATED ROOF WOOD TRUSSES AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS.
- ROOFING PER ARCHITECT OVER 5/8" THICK PLYWOOD STRUCTURAL #1 (SPAN RATING 48/24) WITH 10d NAILS @ 12" O.C. FOR FIELD NAILING, 6" O.C. FOR EDGE & BOUNDARY NAILING.
- PROVIDE 3-2x VERTICAL STUDS BELOW BEAM BEARING LOCATION.
- INTERIOR BEARING WALL
- METAL STAIRS PER ARCHITECT. REFER TO ARCHITECTURAL PLANS FOR TREAD AND RISER DIMENSIONS.
- PRE-FABRICATED FLOOR WOOD TRUSSES 11-1/4" DEPTH AT 24" O.C. MAX. PROVIDE BLOCKING AND BRIDGING AS PER MANUFACTURERS RECOMMENDATIONS REFER TO MECHANICAL PLANS FOR LOCATION OF A/C DUCTS. PROVIDE LIVE LOAD DEFLECTION L/480.
- PROVIDE SIMPSON H16 OR H16-2 HURRICANE TIES AT GIRDER JOIST.

**WOOD LINTEL SCHEDULE**

SPAN	SIZE	WOOD SPECIES
< 3'-6"	(2) 2x8	SOUTHERN PINE No.2
3'-6" < 6'-6"	(2) 2x12	SOUTHERN PINE No.1
> 6'-6"	SEE PLAN	

**SYNERGY**  
STRUCTURAL ENGINEERING, INC.  
1111 S. Mendiola Ave.  
Laredo, TX 78046  
(951) 753-8860 synergy@synergy-se.com  
TBP E. Reg. No.: F-7661



2ND FLOOR FRAMING PLAN  
BUILDING A & B  
SSE-22-139  
AUGUST 22, 2022.  
VDA/SM  
VDA

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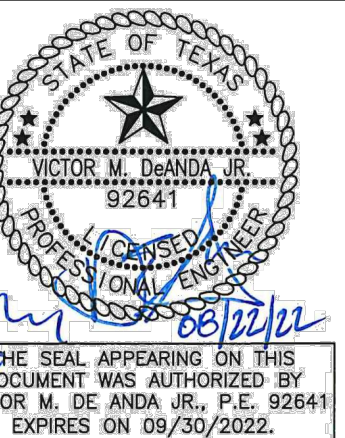
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REVISIONS

**SAN JOSE APARTMENTS**  
117 S. Mendiola Ave.

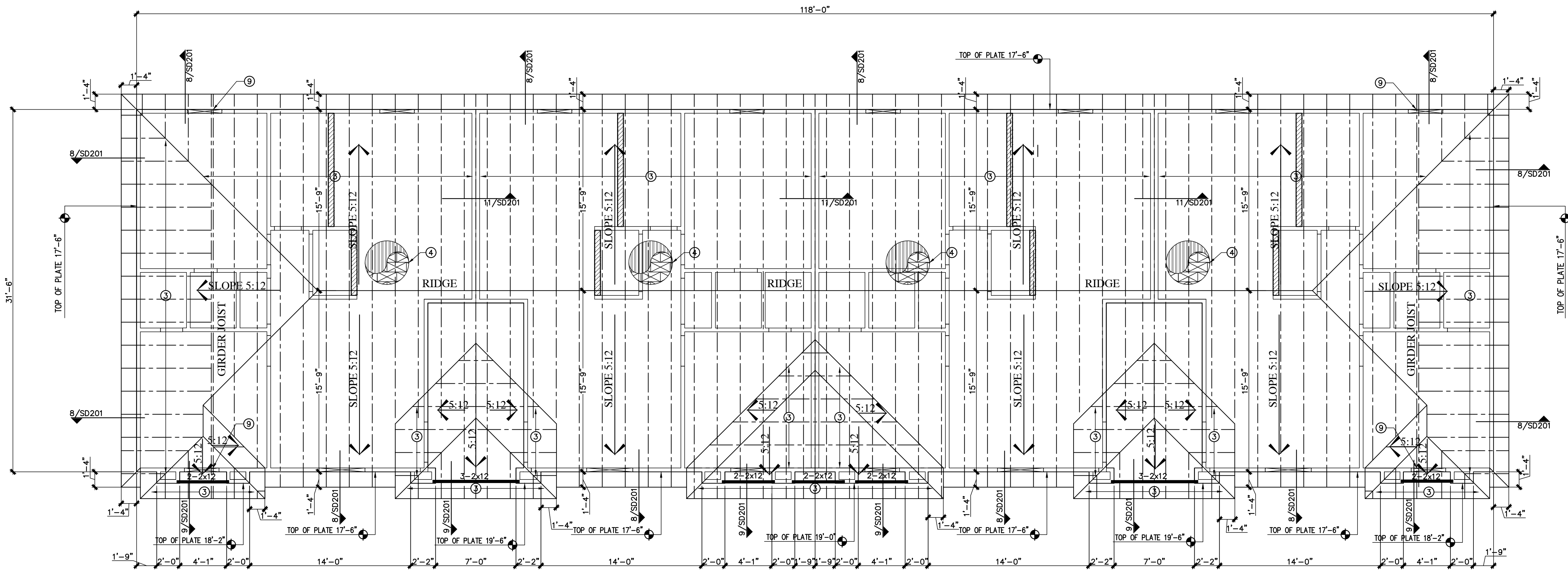
LAREDO, TEXAS 78043

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(951) 753-8860 synergy@synergy-se.com  
T&PE Reg. No.: F-7661

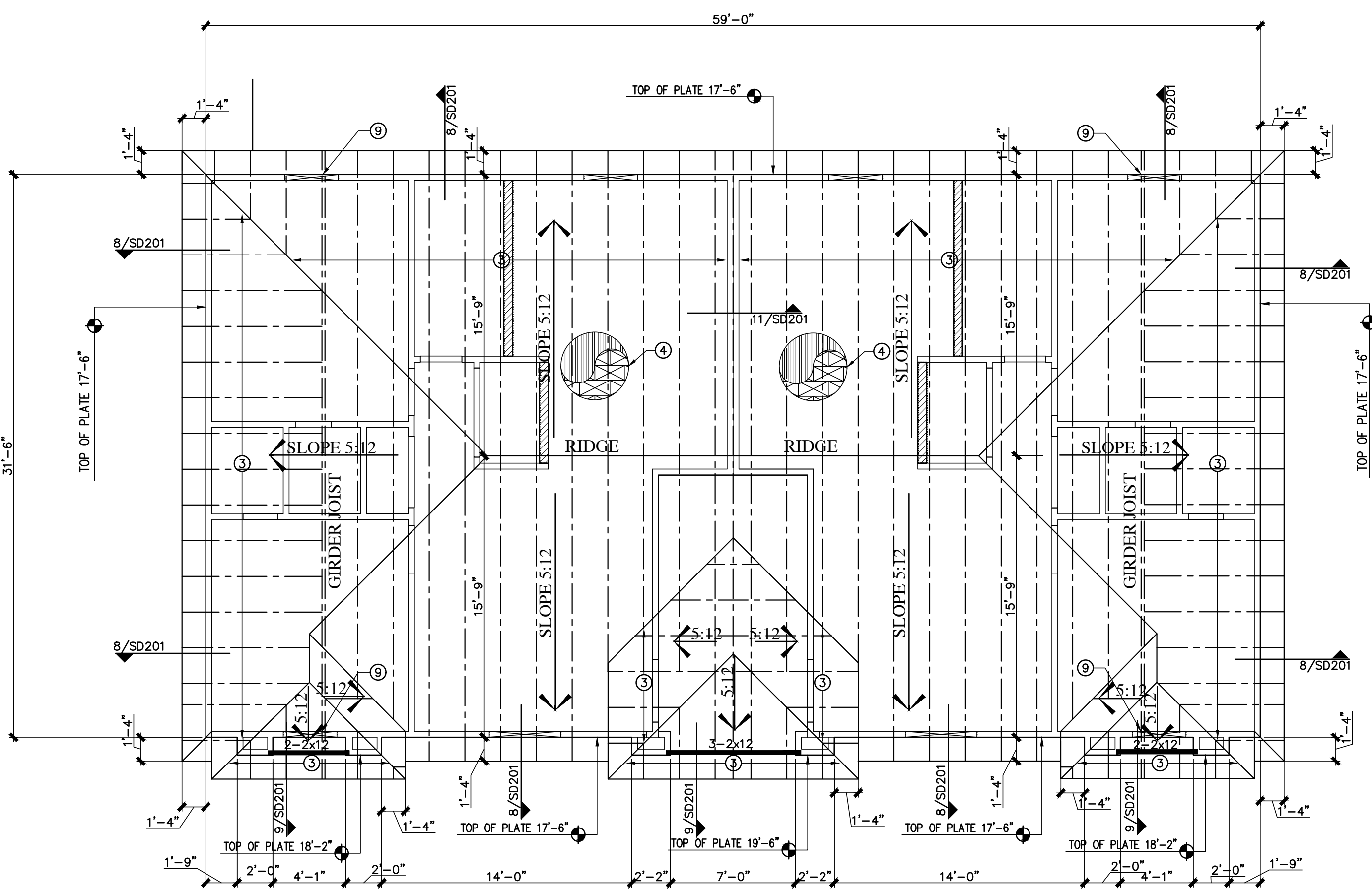


ROOF FRAMING PLAN  
BUILDING A & B  
SSE-22-139  
Name: AUGUST 22, 2022  
Job No.: VDA/SM  
Date: VDA  
Drawn By:  
Check by:

Sheet  
**S301**



**1 ROOF FRAMING PLAN - BUILDING A**  
SCALE: 3/16"=1'-0"



**2 ROOF FRAMING PLAN - BUILDING B**  
SCALE: 3/16"=1'-0"

**FRAMING GENERAL NOTES**

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**KEYED FRAMING NOTES**

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SPAN	SIZE	WOOD SPECIES
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3'-6" < 6'-6"	(2) 2x12	SOUTHERN PINE No.1
> 6'-6"	SEE PLAN	



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					9		5		1
DETAIL NOT USED	17	DETAIL NOT USED	13	DETAIL		GRADE BEAM AT SLAB DROP		PERIMETER GRADE BEAM	
DETAIL NOT USED	18	DETAIL NOT USED	14	DETAIL NOT USED	10	PERIMETER GRADE BEAM AT PORCH	6	INTERIOR GRADE BEAM	2
DETAIL NOT USED	19	DETAIL NOT USED	15	DETAIL NOT USED	11	TYPICAL THICKENED SLAB	7	INTERIOR GRADE BEAM	3
DETAIL NOT USED	20	DETAIL NOT USED	16	DETAIL NOT USED	12	GRADE BEAM AT SLAB DROP	8	INTERIOR GRADE BEAM	4

REVISIONS

**SAN JOSE APARTMENTS**  
117 S. Mendiola Ave.  
LAREDO, TEXAS 78043

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STRUCTURAL ENGINEERING, INC.  
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(956) 753-8860 synergy@synergy-se.com  
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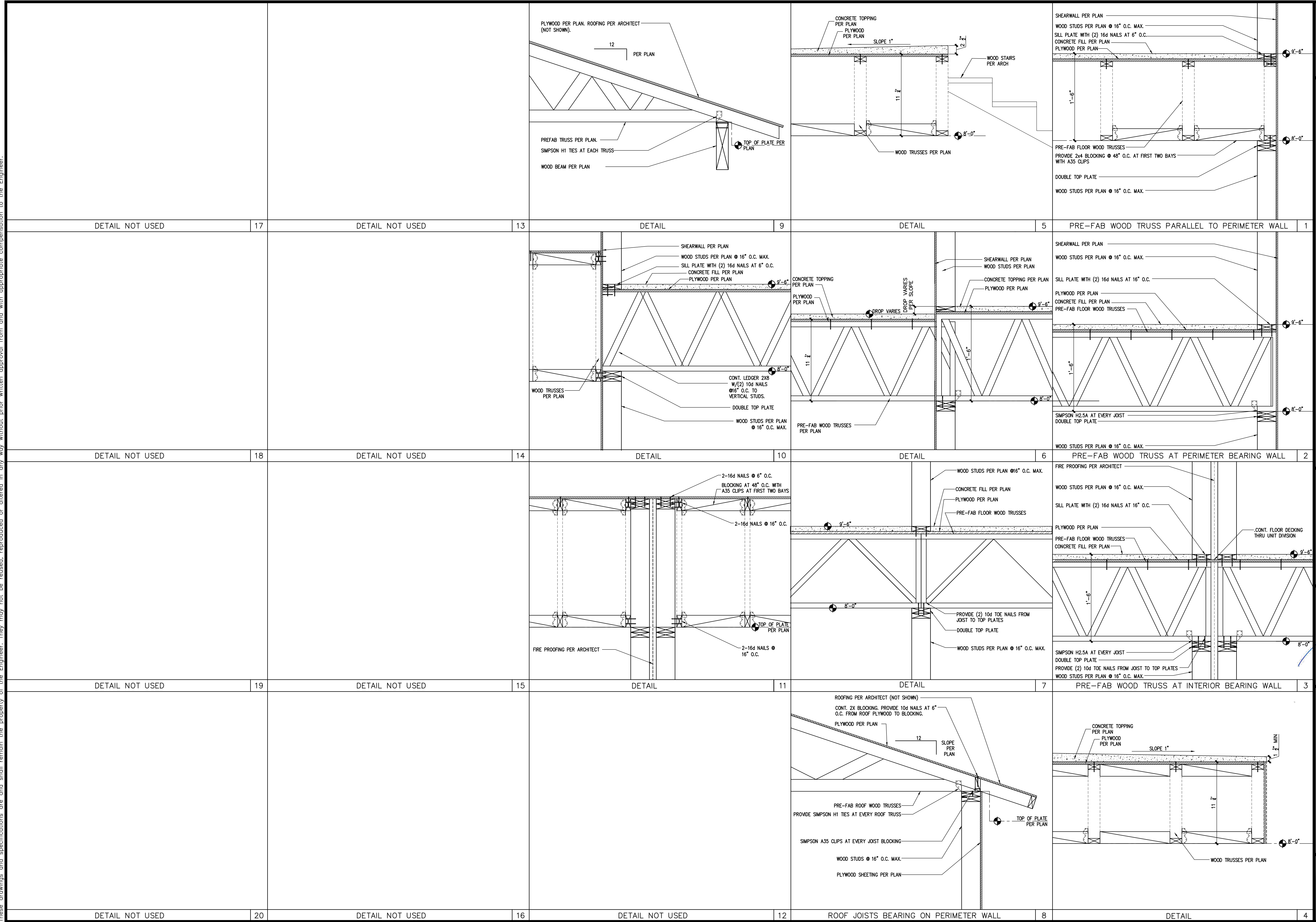


**FOUNDATION DETAILS**  
Drawing Name: SSE-22-139  
Job No.: AUGUST 22, 2022  
Date: VDA/SM  
Drawn By: VDA  
Check by: VDA

Sheet  
**SD101**



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REVISIONS


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 117 S. Mendiola Ave.  
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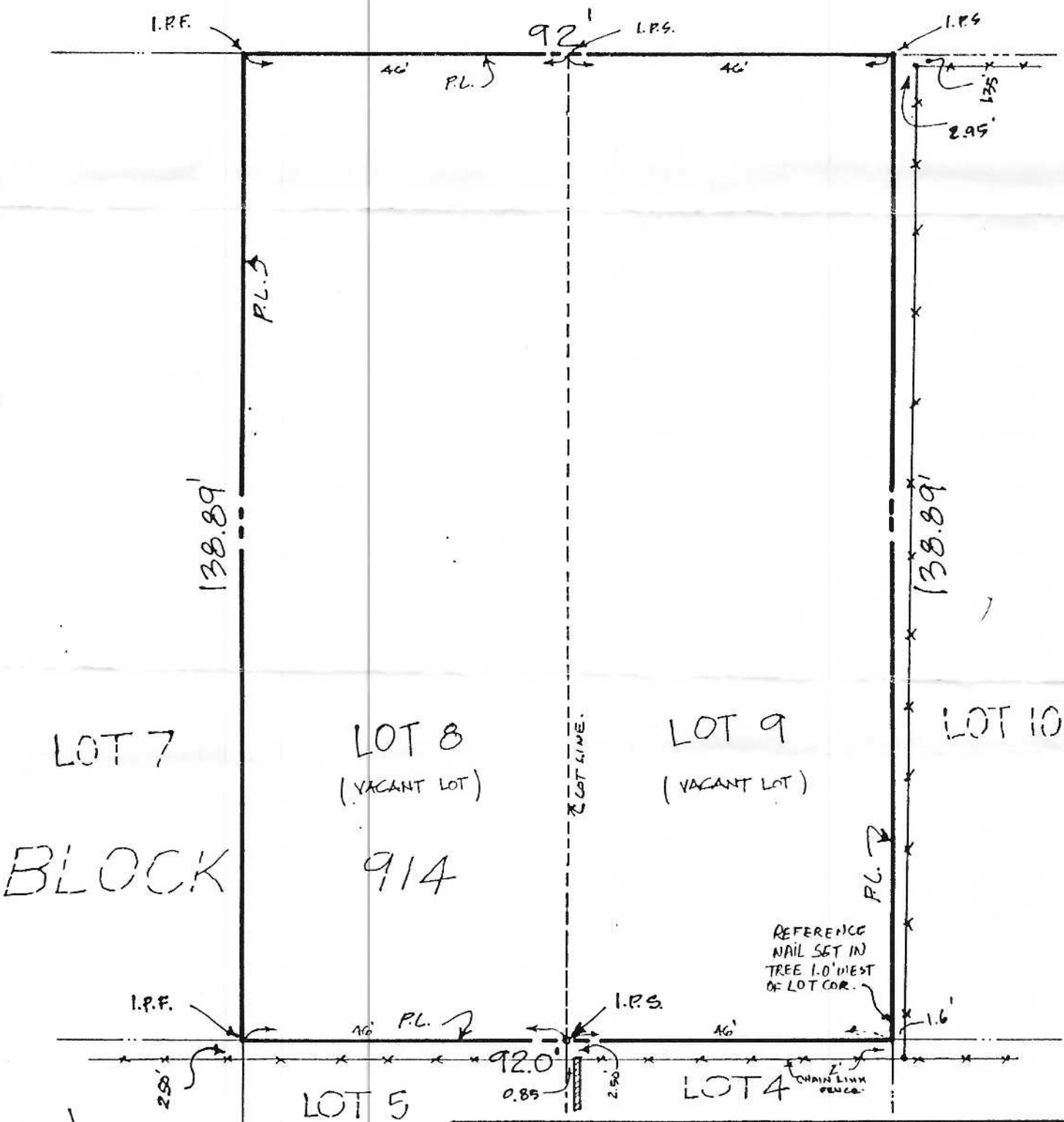


**FRAMING DETAILS**  
 Drawing Name: SSE-22-139  
 Job No.: AUGUST 22, 2022  
 Date: VDA/SM  
 Drawn By: VDA  
 Check by: VDA

Sheet  
**SD201**



*Tomás Aguilar* MENDIOLA AVE.  
 (UNPAVED ST.) (55.56' R.O.W.)



SCALE 1" = 20'

LEGEND:  
 I.P. - Iron Pin  
 P.L. - Property Line  
 5845

SURVEY No. \_\_\_\_\_ FIELD BOOK No. \_\_\_\_\_

**SURVEY OF**  
 LOTS 8 AND 9, BLOCK 914,  
 EASTERN DIVISION, CITY OF  
 LAREDO, WEBB COUNTY, TEXAS.



**SURVEYOR'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND  
 WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE  
 UNDER MY SUPERVISION ON THE GROUND  
 THIS 30th DAY OF Sept. 1993.  
 SIGNED: *J. Ricardo Sanchez*  
 J. RICARDO SANCHEZ  
 R. P.L.S. No. 4232  
 Sanchez Engineering Inc.  
 5918 MCPHERSON ROAD #5  
 LAREDO, TEXAS 78041  
 (512) 723-5578

