

City of Laredo

REGULAR MEETING AGENDA

A-2026-R-10

Monday, June 15, 2026

5:30 PM

City Council Chambers

City Council

**City of Laredo
Regular City Council Meeting
A-2026-R-10**

The City Council will convene on June 15th, 2026 at 5:30 P.M. at City Hall Council Chambers located at 1110 Houston Street, Laredo, Texas and some members may participate via video conference.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

TEXAS PLEDGE

MOMENT OF SILENCE

ROLL CALL

MINUTES

Approval of Minutes of:

June 1st, 2026
June 2nd, 2026

CITIZEN COMMENTS

Citizens can participate through in-person comments. Citizens wishing to provide in-person comments are required to fill out a witness card and submit it to the City Secretary no later than 5:45 p.m. and identify themselves at the microphone. Comments are limited to three (3) minutes per speaker. Speakers may not pass their minutes to any other speaker. All comments should be relevant to City business and delivered in a professional manner. No derogatory remarks will be permitted.

RECOGNITION

- 1. Recognizing the R.C. Centeno Elementary School 4th Grade Basketball Team, Division 4th–5A, for an Outstanding Undefeated Season and for Earning the Title of City Champions. [REC26-60](#)
- 2. The City of Laredo Mayor, Dr. Victor D. Treviño, and Council recognize the Healthier Texas Community Challenge participants who were the top performers in their respective districts. District winners recorded the highest cumulative active participation in their respective districts, while the top overall participants recorded the highest cumulative active participation citywide. Their commitment to physical activity, personal wellness, and community engagement exemplifies the goals of the Neighborhood Challenge and contributes to building a healthier Laredo. [REC26-61](#)
- 3. The City of Laredo Mayor, Dr. Victor D. Treviño, and Council [REC26-62](#)

recognize Ms. Estela Gallegos Perez for achieving a lifelong dream by earning her high school diploma at 100 years young as a member of the Class of 2026 from Martin High School, and for serving as an inspiration to the community through her perseverance, determination, and commitment to education.

COMMUNICATIONS

4. Presentation by Mayor Dr. Victor Trevino, providing general comments on city matters, upcoming initiatives, and other relevant updates for the Council and the public. [26-1125](#)
5. Presentation by the Laredo Police Department on the use of Flock Safety camera technology and other law enforcement technologies for crime prevention, criminal investigations, vehicle recovery, public safety enhancement, program effectiveness, privacy safeguards, and data management. [26-1155](#)
6. Presentation by Miss Laredo USA 2026: Competing to represent the City of Laredo at Miss Texas USA. [26-1157](#)
7. Presentation on City of Laredo's participation in Harvard Bloomberg Leadership program. [26-1168](#)
8. Update on outreach efforts regarding proposed international bridge toll increases. [26-1169](#)

APPOINTMENTS TO COMMISSIONS, BOARDS AND COMMITTEES

9. Appointment by Council Member Alyssa Cigarroa of Adriana B. Nunemaker to the Municipal Hospital Ad-Hoc Committee. [APPT26 - 51](#)
10. Appointment by Council Member Gilbert Gonzalez of Lynn Mergen to the Municipal Hospital Ad-Hoc Committee. [APPT26 - 52](#)
11. Appointment by Council Member Melissa Cigarroa of Elmo Lopez to the Municipal Hospital Ad-Hoc Committee. [APPT26 - 53](#)
12. Appointment by Council Member Ricardo "Rick" Garza of Jorge "Neto" Leal to Municipal Housing Authority Ad-Hoc Committee. [APPT26 - 54](#)
13. Appointment by Council Member Ricardo "Richie" Rangel Jr. of Valdemar Perez to the Municipal Hospital Ad-Hoc Committee. [APPT26 - 55](#)
14. Appointment by Council Member Alyssa Cigarroa of Marie Webber to the Library Advisory Committee. [APPT26 - 56](#)
15. Appointment by Mayor Dr. Victor D. Trevino of Lizzy Newsome to the Mayoral Ad-Hoc Rio Grande Riverfront Coordination and Advisory Committee. [APPT26 - 57](#)
16. Appointment by Mayor Dr. Victor D. Trevino of Dr. Francisco [APPT26 - 58](#)

Cervantes to the Municipal Hospital Authority Ad-Hoc Committee.

PLANNING & ZONING - PUBLIC HEARING & INTRODUCTORY ORDINANCE

17. Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Javier De Anda, on behalf of NDAS Development, LLC, altering and extending the boundary limits of the City of Laredo to annex approximately 23.942-acres, more or less, of land located southeast of Cuatro Vientos Road and Sierra Vista Boulevard; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of B-3 (Community Business District) for the subject tract, as described by metes and bounds in the attached Exhibit "A." [26-1037](#)

The Planning and Zoning Commission recommended approval of the proposed annexation and denial of the originally requested B-4 (Highway Commercial District) zoning, and instead recommended B-3 (Community Business District). The petitioner has since amended the request from B-4 to B-3.

Staff supports the proposed annexation and the amended request for a B-3 (Community Business District) initial zoning designation.

AN-001-2026
District 1 - Cm. Gilbert Gonzalez

18. Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Lucia Elizondo Paez, on behalf of All Carriers, Inc., altering and extending the boundary limits of the City of Laredo by annexing approximately 8.42-acres, more or less, tract of land located south of FM 1472 and west of Ben-Hur Ranch Road; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A." [26-1038](#)

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-002-2026
District 7 - Cm. Vanessa Perez

19. Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Luke Colbert, on behalf of ARP Laredo, LLC, altering and extending the boundary limits of the City of [26-1039](#)

Laredo by annexing approximately 5.19-acres, more or less, tract of land located south of FM 1472 and north of Mercury Mine Road; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A."

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-003-2026

District 7 - Cm. Vanessa Perez

- 20.** Public hearing and Introductory Ordinance concerning a voluntary annexation request by Robert J. Gilpin, altering and extending the boundary limits of the City of Laredo by annexing approximately 150.8236-acres, more or less, tract of land located northwest of Nicolas D. Hachar Road and River Bank Drive; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A." [26-1040](#)

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-004-2026

District 7 - Cm. Vanessa Perez

- 21.** Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 4, Larga Vista Subdivision, located at 5602 State Highway 359, from B-1 (Limited Business District) to B-3 (Community Business District). [26-1077](#)

The Planning and Zoning Commission recommended approval of the proposed zone change. Staff supports the application.

ZC-052-2026

District III

- 22.** Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately [26-1076](#)

3.33 Acre Tract, as further described by metes and bounds in Exhibit A, located east of Don Beto Drive and north of Grisell Drive, from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff does not support the application.

ZC-035-2026
District V

- 23.** Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately 3.08 acre tract of land, as further described by metes and bounds in Exhibit A, located south of Cerralvo Drive and west of Riverbank Drive, from R-1A (Single Family Reduced Area District) to R-2 (Multi-Family Residential District). [26-1079](#)

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-037-2026
District VII

- 24.** Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a conditional use permit for a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental on Lot 1, Block 1, DCAF Mines Road Plat, located at 16111 FM 1472. [26-1081](#)

The Planning and Zoning Commission recommended approval of the proposed conditional use permit, and staff supports the application.

ZC-054-2026
District VII

- 25.** Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop, from R-1 (Single Family Residential District) to B-1 (Limited Business District). [26-1083](#)

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-059-2026
District I

- 26.** Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2025-O-223, which authorized a conditional use permit for an Animal Care Substation (Office) on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to convert the approved office use into an Animal Care Substation with indoor and outdoor animal confinement. [26-1084](#)

The Planning and Zoning Commission recommended approval of the proposed conditional use permit amendment, and staff supports the application.

ZC-057-2026
District I

- 27.** Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 881, Eastern Division, located at 1600 Clark Boulevard, from R-1 (Single Family Residential District) to B-1 (Limited Business District). [26-1094](#)

The Planning and Zoning Commission recommended denial of the proposed zone change. However, staff supports the application.

Pursuant to Section 211.0061 of the Texas Local Government Code, approval of this zoning request requires a supermajority vote of three-fourths (3/4) of the City Council due to a valid protest petition having been filed. Accordingly, a favorable vote by at least three-fourths of all members of the governing body is required for approval of the proposed zoning change.

ZC-053-2026
District IV

- 28.** Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance 2022-O-185, which authorized a Special Use Permit for a restaurant serving alcohol on Lot 5A, Block 1, Encino Plaza Subdivision, Unit 2A, located at 7518 McPherson Road, Suite 510 (4,176 square feet) in order to remove Cosmos Bar and Grill and Encino Plaza, Incorporated and replace with Cosmos Bar & Grill-Lombrana Properties as the parties to whom the permit is issued and to amend the site plan to add additional square footage. [26-1099](#)

The Planning and Zoning Commission recommended approval of the proposed special use permit amendment, and staff supports the application.

ZC-055-2026
District VI

29. Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 1, Kimberly Plaza Subdivision, located at 4800 McPherson Road, from B-3 (Community Business District) to B-4 (Highway Commercial District). [26-1129](#)

The Planning and Zoning Commission recommended denial of the proposed zone change, and staff does not support the application.

ZC-036-2026
District IV

PUBLIC HEARING & INTRODUCTORY ORDINANCE

30. Public Hearing and Introductory Ordinance authorizing the City Manager to amend the City of Laredo's FY 2025-2026 budget by appropriating expenditures from a drawdown of \$11,250,000 from fund balance from the Sports and Community Venue Sales Tax Fund. The funds will be used to cover the cost of the Leyendecker Construction contract for the Phase 1B. [26-1159](#)

FINAL READING OF ORDINANCES

31. Authorizing the City Manager to execute a Parcel Development master ground lease agreement between the City of Laredo and Freeman Holdings of Laredo, LLC, for a total of 95,688.2 square feet , made up of multiple tracts of land owned and operated by the airport, including: (1) a 1.37-acre ground lease tract for the construction and development of FBO improvements; (2) the existing Fuel Pad facility; and (3) Hangar 1309. The combined annual rent for all leased premises shall be \$213,040.84, consisting of: (i) annual ground rent of \$40,000.00 for the 1.37-acre tract; (ii) annual rent of \$13,322.40 for the Fuel Pad; and (iii) annual rent of \$159,718.44 for Hangar 1309. Rental amounts shall be adjusted in accordance with changes in the Consumer Price Index (CPI), in addition to periodic fair market rental value adjustments as provided in the applicable lease agreements. Lessee shall also be responsible to comply with fuel flowage fees and landing fees approved by the Laredo City Council; providing for severability; and providing for an effective date. [2026-O-118](#)
32. An Ordinance amending the City of Laredo Subdivision Ordinance, Chapter III, Section 3.2 Entitled "Streets and Alleys," by adding definitions for block length and block width; providing that this ordinance shall be cumulative; providing for severability clause; and providing for publication and effective date. [2026-O-103](#)

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33. An Ordinance amending section 1 of Ordinance 2017-O-110 of the City of Laredo and authorizing an increase of toll rates through a phased implementation schedule beginning FY2026 and continuing through January 2031; establishing revised toll rates for commercial vehicles, non-commercial vehicles, and pedestrian crossings; authorizing an initial adjustment upon adoption of the ordinance followed by annual phased adjustments each January thereafter; providing for operational, maintenance, debt service, technology modernization, and bridge infrastructure needs, including improvements to the World Trade Bridge and Colombia Solidarity Bridge, and authorizing the city manager to implement administrative procedures necessary for the implementation. Toll increases are described in Exhibit "A" and hereby repeal all conflicting sections in all ordinances currently in effect. **2026-O-114**
34. An Ordinance of the City of Laredo, Texas, amending Section 1 of Ordinance 2024-O-110 to authorize and penalize repeat U-Turn offenders, allow them to cross and charge the following: to increase the insufficient fund fee to \$500.00 for the 1st U-Turn Offense plus the per axle toll fee, \$1,000.00 for the 2nd U-Turn Offense plus the per axle toll fee and \$2,000.00 for the 3rd U-Turn Offense plus the per axle crossing fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the automatic vehicle identification (A.V.I.) account and if an A.V.I. account has more than three (3) insufficient fund U-turns, the account will be suspended and charged a re-activation fee of \$200.00. The company must leave a credit card on file and schedule automatic replenishment of funds as further described in Exhibit "A" and hereby repealing all conflicting sections in all ordinances currently in effect. [2026-O-117](#)
35. An Ordinance of the City Council of the City of Laredo, Texas, authorizing the closing, vacating, and abandoning of a 4,460 square foot section of cul-de-sac out of Arthur Miller Court right-of-way, as depicted in the attached survey; providing for the reversion of said property to the original owners, D & J Alexander Investments; reserving a perpetual utility easement to the City of Laredo; and providing for an effective date. [2026-O-121](#)
36. Introductory Ordinance authorizing the City Manager to accept and enter into a contract from the Ardmore Institute of Health for the Lifestyle Medicine Consortium Program Grant, amending the FY2025-2026 budget by appropriating revenues and expenditures in the amount of \$100,000.00, with no match for the City of Laredo Public Health Department, for the term June 01, 2026 through May 31, 2027. Funds will be accounted for in the Laredo Public Health Department Fund - Lifestyle Medicine Consortium Grant. [2026-O-119](#)
37. Authorizing the City Manager to execute a lease agreement [2026-O-120](#)
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between the University of Texas Health Science Center at San Antonio and the City of Laredo Public Health Department for approximately 5,070 square feet at 2600 Cedar Avenue, Laredo, Texas 78040 situated within the Laredo Public Health Department Building. Lease term shall be for a total of three years, commencing on October 1, 2025 and ending on September 31, 2028, with an annual base rent of \$97,344.00, payable in monthly installments, with prorated payments beginning April 1, 2026 for fiscal year 2026.

CONSENT AGENDA

All of the following items may be acted upon by one motion. No separate discussion or action on any of the items is necessary unless desired by a Council Member.

COMMUNITY DEVELOPMENT: TINA RODRIGUEZ, DIRECTOR

38. A Resolution of the City Council of the City of Laredo, Texas, [2026-R-145](#) authorizing the City Manager and/or his designee to execute all necessary documents to purchase from SKG H4, LLC the surface estate only of a 3.00-acre tract of land for a purchase price of \$1,125,000.00, and to accept the donation of an additional 2.00-acre tract of land with an appraised value of \$822,000.00, said property being a portion of Abstract 56, Porcion 14, J. Guajardo Survey, containing approximately 200.40 acres and located at 13002 Apollo Drive, Laredo, Webb County, Texas; providing that the City shall pay fifty percent (50%) of the estimated closing costs in the amount of \$3,500.00; said property being more particularly described and depicted in Exhibit "A," attached hereto and incorporated herein for all purposes; providing for an effective date; and authorizing funding through the 2022 Certificate of Obligation Bond Program.

CONVENTION & VISITORS BUREAU: AILEEN RAMOS, DIRECTOR

39. Authorizing the City Manager to donate a 2005 American LaFrance truck from the Fire Department to the Municipality of Queretaro, Queretaro, Mexico (Assigned for use to the City of Querétaro, Querétaro, under the custody of the State Civil Protection Coordination of Querétaro, which belongs to the Executive Branch of the State of Querétaro). The vehicle will be donated "as is," and the City of Laredo shall assume no liability for its use following transfer. The American LaFrance Truck, formerly designated as Unit #189, has been fully depreciated and holds minimal or no monetary value. [26-1015](#)
40. Authorizing the City Manager to donate a 2008 Freightliner truck from the Fire Department to the Municipality of Pinal de Amoles, Queretaro, Mexico. The vehicle will be donated "as is," and the City of Laredo shall assume no liability for its use following transfer. The [26-1055](#)

2008 Freightliner truck, formerly designated as Unit #238, has been fully depreciated and holds minimal or no monetary value.

ECONOMIC DEVELOPMENT: TINA RODRIGUEZ, ACTING DIRECTOR

41. A Resolution of the City Council of the City of Laredo, Texas approving a Chapter 380 Agreement between the City of Laredo and LITOS Texas, LLC., pursuant to an economic development incentive under Chapter 380 of the Texas Local Government Code and authorizing the City Manager to execute all relevant documents, and any other matters incident thereto; providing for severability; providing for an effective date; and providing for publication. The five year agreement obligates LITOS Texas, LLC., pursuant to an economic development incentive to invest an aggregate estimated amount of \$31,000,000.00 for the construction of two institutional-quality LEED certified buildings on approximately 53 acres that will operate as a light manufacturing center and create at least 20 new full-time permanent jobs. Rebates will be based on performance and annual compliance. [2026-R-136](#)

ENGINEERING: ELIUD DE LOS SANTOS P.E., CITY ENGINEER

42. Consideration to authorize purchases from Traffic Tiger, Houston, Texas for an annual amount not to exceed \$200,000.00. This contract will serve for the purchases of Traffic Signal Systems and Safety Barrier Products on as needed basis through Buy Board Contract 803-26. Contract shall be for a period of one year and only for included items within contract. Funding is available in the General Fund-Engineering/Traffic Department. [26-508](#)
43. Consideration for approval amendment no. 2, an increase in the amount of \$1,114,725.00 to the professional services contract with JHS Architect Inc., Laredo, Texas, for the City of Laredo Sports Complex Phase 1B Project. This amendment no. 2 is to provide additional architectural and engineering services that encompass building design, park planning, and landscape architectural design. Current contract amount with this amendment is \$5,189,725.00. Funding is available in the Sports Venue Tax Fund. [26-1139](#)

FIRE: GUILLERMO HEARD, FIRE CHIEF

44. Consideration to award a service contract with sole source vendor, Life Extension Clinics, Inc dba Life Scan Wellness Centers to perform NFPA physicals, lab testing, cancer screening, and cardio/fitness exams to all City of Laredo firefighters, in the amount not to exceed \$326,926.00 Funding is through the FEMA, Assistance to Firefighters Grant (AFG) grant accepted in November 2025. Funding is available in the Special Fire Grants Fund. [26-567](#)

FLEET MANAGEMENT: RONALD MILLER, DIRECTOR

45. Consideration to renew annual service contract FY24-073 for the repair and replacement of hydraulic cylinders for the City's heavy equipment fleet with Laredo Mechanical Industrial Services, Laredo, Texas, in an annual amount of \$130,000.00 and \$130,000.00 for the remainder of the contract term. These hydraulic cylinders are found on many pieces of heavy equipment such as backhoes, loaders, and refuse trucks. All repair services will be secured on an as needed basis. The term of this contract shall be for a period of one year beginning as of the date of its execution and is contingent upon the availability of appropriated funds. There was no price increase during the last extension period. This is the second of three extension periods. Funding is available in the Fleet Management Fund. [26-1124](#)

PUBLIC HEALTH: DR. RICHARD A. CHAMBERLAIN, DIRECTOR

46. A Resolution of the City Council of the City of Laredo, Texas, ratifying and authorizing the City Manager to submit an application to the Department of Health and Human Services for the Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention (ADDM) Program Grant, in the total estimated amount of up to \$1,101,500.00, with no match for the City of Laredo Public Health Department, for a total of a one year term, to be effective on January 01, 2027 through December 31, 2027, and further authorizing the City Manager to execute all documents resulting from the award of this grant. Any funding as a result of this application will be appropriated in the Laredo Public Health Department Fund - Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention Program Grant. [2026-R-134](#)
47. A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to enter into a contract amendment with Valley AIDS Council for the HIV Ryan White Part D Women, Infants, Children, and Youth (WICY) Program Grant, in the additional amount of \$26,880.00, for a total amount of \$53,759.00, with no match for the City of Laredo Public Health Department for the term from August 01, 2025 through July 31, 2026. Funds will be accounted for in the Laredo Public Health Department fund - HIV Ryan White Part D Grant. [2026-R-139](#)
48. Consideration to renew contract FY24-016 to Martinez Pharmacy, Laredo, TX, for pharmaceutical services for the Public Health Department in an annual amount not to exceed \$100,000.00, for a total contract value of \$400,000.00. The term of this contract is for two years and it is extension 1 of 1. Funding is available in the Laredo Public Health Department Fund - Various Accounts. [26-1061](#)
49. A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to accept and enter into a [2026-R-142](#)

continuation contract from the Department of State Health Services for the Diabetes Prevention and Control Grant in the amount of \$125,000.00, with no match for the City of Laredo Public Health Department for the term period from September 01, 2026 through August 31, 2027. Funds will be accounted for in the Laredo Public Health Department Fund - Diabetes Prevention and Control Program Grant.

LIBRARY: DANIELLE M. BURNS, ASSISTANT DIRECTOR

50. A Resolution authorizing the City Manager to submit a grant application to the American Conversation Project for the American Conversation Project for Libraries, in the estimated total amount of \$500.00 per six month term, with no match for the City of Laredo Public Library Department for a six month term, from June 19, 2026, through November 30, 2026, for a total estimated amount not to exceed \$500.00; and further authorizing the City Manager to execute all documents resulting from the award of this grant. Any funding as a result of this application will be appropriated in the Laredo Public Library Department - General Fund. [2026-R-133](#)

POLICE: MIGUEL RODRIGUEZ, CHIEF OF POLICE

51. Consideration to authorize the purchase contract with Motorola Solutions in the amount of \$155,000.00 for the purchase of pole camera system hardware, software and operational services. This purchase shall be made using Sourcewell Mobile Video Contract No. 101223-MOT. Funding is available in the Financial Task Force Fund. [26-960](#)
52. A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to accept a grant in the amount of \$1,602,116.00 from the Office of The Governor, Homeland Security Grants Division (HSGD) for the purpose of funding the 2025 Operation Stonegarden Grant (OPSG). This funding will be used for the purchase of patrol vehicles, equipment, and overtime expenses used for Stonegarden Operations. No local match is required. Funding is accounted for in the Special Police Fund. [2026-R-137](#)
53. Consideration and possible action to approve an amended resolution clarifying language contained in the Whereas clauses of the previously approved resolution #2026-R-96, a Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to submit a grant application in the estimated amount of \$2,406,945.00 to the Texas Motor Vehicle Crime Prevention Authority (MVCPA) for the FY27 SB224 Catalytic Converter Grant for the period of September 1, 2026 through August 31, 2027. The purpose of this grant program is to provide additional funding for the Laredo Auto Theft Task Force/Laredo Police Department for the detection and prevention of catalytic converter theft. This grant [2026-R-138](#)

will pay for the salaries of a Public Information Specialist, a full-time Assistant District Attorney, technology, training, and overtime. The city's cash match will be \$503,270.00 for a total grant amount of \$2,910,216.00. If awarded, funding will be appropriated in the Auto Theft Task Force Fund.

54. A Resolution authorizing the City Manager to enter into and execute a Memorandum of Understanding (MOU) between the City of Laredo Police Department (LPD); and the Webb County Sheriff's Office (WCSO); Webb & Zapata County District Attorney's Office (WZCDAO); Department of Public Safety of the State of Texas, South Texas Region (DPS); U.S. Department of Justice, Bureau of Alcohol, Tobacco, Firearms, and Explosives, San Antonio Field Division (ATF); U.S. Department of Justice, Drug Enforcement Administration, Laredo Division (DEA); U.S. Department of Justice, Federal Bureau of Investigation, San Antonio Division (FBI); U.S. Department of Homeland Security, Immigration and Customs Enforcement, Homeland Security Investigations, San Antonio Field Office (HSI); U.S. Department of Homeland Security, Customs and Border Protection, Office of Field Operations, Laredo Division (OFO); U.S. Department of Justice, United States Attorney's Office, Southern District of Texas (USAO); U.S. Department of Homeland Security, Customs and Border Protection, Border Patrol, Laredo Sector (USBP); U.S. Marshal's Service, Southern District of Texas (USM); and Laredo Independent School District Police (LISD Police) for the purpose of continuing the Laredo Texas Anti-Gang Center (TAG Center) that was funded and established in FY2022. The main purpose of the TAG Center is to combat the shared threat of criminal organizations operating in and affecting the region. [2026-R-141](#)
55. A Resolution of the City Council of the City of Laredo, Texas authorizing the City Manager to ratify the acceptance of a grant in the amount of \$29,999.96 from the Texas Department of Transportation for the enforcement of Vehicle Occupant Protection during the "Click It or Ticket" (CIOT) Campaign. The grant period for FY2026 CIOT will begin May 15, 2026 through June 04, 2026. This grant funding is to pay overtime salaries for officers to conduct intense occupant protection enforcement in order to increase occupant restraint use in all passenger vehicles and trucks. The city will be responsible for a required match of \$9,229.95, from the General Fund, for a project total of \$39,299.95. Funding is available in the Special Police Fund. [2026-R-144](#)

SOLID WASTE: BISHOP P. WAGENER , DIRECTOR

56. Consideration to authorize the purchase of five John Deere Zero-Turn Commercial Lawn Mowers from John Deere Company totaling \$130,485.42. The purchase of this equipment shall be [26-1069](#)

made utilizing Sourcewell Contract #112624-DAC for grounds maintenance. The servicing agent will be United Ag & Turf, Waco, Texas which is one of the John Deere dealers in this area. Funding is available in the Environmental and Solid Waste Services Fund - 2019 CO Bond.

END OF CONSENT AGENDA

STAFF REPORTS

57. Staff report with possible action to approve the recommendation for the next City of Laredo Poet Laureate, Xiomarra Milann. This is a two-year appointment. Funding for the \$1,500 honorarium is available in General Fund-Library Department. [26-495](#)
58. Discussion with possible action to approve the employee and retiree health insurance plan designs, including six (6) health insurance plan options to be made available, and the premium contribution structure for Fiscal Year 2026–2027. [26-996](#)
59. Discussion with possible action to approve the temporary closure of International Bridge 1 (“Gateway to the Americas”) at the request of the Consulado General de Mexico en Laredo, submitted by Consul General Juan Carlos Mendoza Sanchez, in order to hold the 1st Annual Celebration of the 250th Anniversary of the United States. [26-1059](#)
60. Staff report presentation with possible action regarding the Municipal Hospital Ad-Hoc Committee, including discussion and possible direction on membership structure, policy considerations, and related matters for the City of Laredo. [26-1134](#)
61. Update with possible action regarding amplified sound and noise regulations in residential areas, and any other matters incident thereto. [26-1158](#)
62. Discussion with possible action to reschedule the regular City Council meeting currently scheduled for July 20, 2026, and to establish a new meeting date and time. [26-1174](#)
63. Discussion with possible action as it relates to the proposed scope of services for hydrologic, hydraulic, geomorphologic, surveying, environmental coordination, and regulatory support services necessary to evaluate floodplain conditions along the River and the impacts of the proposed federal "Smart Wall" infrastructure project on the City of Laredo, and any other matters incident thereto. [26-1187](#)

EXECUTIVE SESSION

The Council reserves the right to adjourn into executive session at any time during the course of this meeting to discuss any posted agenda item when authorized by Texas Government

Code Sections 551.071 (Consultation with Attorney), 551.072 (Deliberations about Real Property), 551.073 (Deliberations about Gifts and Donations), 551.074 (Personnel Matters), 551.076 (Deliberations about Security Devices), and/or 551.087 (Economic Development). Following closed session, the open meeting will reconvene at which time action, if any, may be taken.

- 64.** Request for Executive Session pursuant to Texas Government Code § 551.071(1)(A) to consult with City Attorney regarding matters concerning anticipated litigation involving former employee of El Metro Transit, Monica Garcia. **26-1180**
- 65.** Request for Executive Session pursuant to Texas Government Code 551.071(1)(A) to consult with City Attorney concerning status of collective bargaining negotiations with the City of Laredo Police and Fire Departments, and any other matters incident thereto. **26-1182**

RECESS AS THE LAREDO CITY COUNCIL AND CONVENE AS THE LAREDO MASS TRANSIT BOARD

- 66.** Authorizing City Manager to execute a contract by and between Raydo Advertising Company, LLC, a Texas limited Liability Company and Laredo Transit Management Inc., El Metro for installing, maintaining, and operating a comprehensive street furniture of two hundred (200) donated benches and selling third party advertising thereon, and desires to install benches at LTMI bus stops in the City to operate exclusive third-party advertising. The term of the agreement shall be for ten (10) years with the option to renew an additional ten (10) years, commencing on July 1, 2026. [2026-RT-23](#)

ADJOURN AS THE LAREDO MASS TRANSIT BOARD AND RECONVENE AS THE LAREDO CITY COUNCIL

GENERAL COUNCIL DISCUSSIONS AND PRESENTATIONS

Request by Mayor Dr. Victor D. Treviño

- 67.** Discussion with possible action to support and promote voter participation, civic engagement, and public awareness of upcoming elections through nonpartisan voter education and outreach efforts, and any matters incident thereto. [26-C-109](#)
- 68.** Discussion with possible action to receive a status update regarding the Central Laredo Municipal Management District (CLMMD), including its governance, financial condition, assessments, programs, services, contractual obligations, accomplishments, challenges, and future plans, and any matters incident thereto. [26-C-110](#)
- 69.** Discussion with possible action regarding regulations, policies, permitting requirements, and development standards for industries [26-C-112](#)

and facilities that require substantial water consumption or other limited public resources, including the evaluation of potential impacts on long-term water supply, utility infrastructure, sustainability, and public welfare, and any matters related thereto.

Request by Council Member Ricardo "Richie" Rangel, Jr.

70. Discussion with possible action to discuss the status of succession plans and any other matters incident thereto. [26-C-111](#)

Request by Council Member Ricardo "Rick" Garza

71. Discussion with possible action to allocate \$150,000 from District 4 Priority Funds to the Lupita Cortez Memorial Community Wellness & Recreation & Complex at the Lyon Water Tanks; and any matter incident thereto. [26-C-106](#)

Request by Council Member Ruben Gutierrez, Jr.

72. Discussion with possible action to suspend the enforcement of the tree ordinance for existing businesses until the ordinance is reviewed and updated; and any other matters incident there to. [26-C-107](#)

Request by Council Member Tyler King

73. Discussion with possible action regarding an update for possible scope and budget adjustments to previously discussed plan to address feral hog overpopulation and their destruction to private property, and any other matters incident thereto. [26-C-103](#)
74. Discussion with possible action regarding an update on the status of the indoor recreation feasibility study funded in the FY26 CIP budget, and any other matters incident thereto. [26-C-102](#)
75. Discussion with possible action to have the City bring back an aggressive "Shop Local" campaign as was previously pushed by the City, working with the Chamber of Commerce, the Hispanic Chamber of Commerce, all relevant stakeholders, and any other matters incident thereto. [26-C-104](#)

Sponsors: Mayor Dr. Victor D. Trevino and Mayor Pro Tempore Gilbert Gonzalez

Request by Council Member Vanessa J. Perez

76. Discussion with possible action regarding Riverbank Drive improvements and the proposed realignment project, and any other matters incident thereto. [26-C-95](#)
77. Discussion with possible action regarding agenda and council meeting policies and practices including but not limited to the structure, Robert's Rules, and the requirement of staff reports and [26-C-94](#)

project updates prior to consideration of ordinances involving rate increases, fee adjustments, and at key phases of project management process, and any other matters incident thereto.

Request by Council Member Alyssa Cigarroa

78. Discussion and possible action directing City staff to evaluate the impacts of High-Intensity Data Processing Facilities on municipal infrastructure, water resources, electrical demand, and land-use compatibility, and to develop and present recommendations for regulatory standards related to water use, conservation, water reuse, cooling technologies, resource efficiency, and other operational and environmental considerations applicable to such facilities; and any other matter incident thereto.

[26-C-105](#)

Sponsors: Cm. Melissa R. Cigarroa and Cm. Dr. Tyler King

ADJOURN

This notice was posted at the Municipal Government Offices, 1110 Houston Street, Laredo, Texas, at a place convenient and readily accessible to the public at all times. Said notice was posted on Tuesday, June 9th 2026 at 5:00 p.m.

City of Laredo

City Council

Meeting Date: 6/15/2026

Recognition 1.

City of Laredo

City Council

Meeting Date: 6/15/2026

Recognition 2.

City of Laredo

City Council

Meeting Date: 6/15/2026

Recognition 3.

City of Laredo

City Council

Meeting Date: 6/15/2026

Communications 4.

City of Laredo

City Council

Meeting Date: 6/15/2026

Communications 5.

City of Laredo

City Council

Meeting Date: 6/15/2026

Communications 6.

City of Laredo

City Council

Meeting Date: 6/15/2026

Communications 7.

City of Laredo

City Council

Meeting Date: 6/15/2026

Communications 8.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 9.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 10.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 11.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 12.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 13.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 14.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 15.

City of Laredo

City Council

Meeting Date: 6/15/2026

Appointment 16.

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 17.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Javier De Anda, on behalf of NDAS Development, LLC, altering and extending the boundary limits of the City of Laredo to annex approximately 23.942-acres, more or less, of land located southeast of Cuatro Vientos Road and Sierra Vista Boulevard; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of B-3 (Community Business District) for the subject tract, as described by metes and bounds in the attached Exhibit "A."

The Planning and Zoning Commission recommended approval of the proposed annexation and denial of the originally requested B-4 (Highway Commercial District) zoning, and instead recommended B-3 (Community Business District). The petitioner has since amended the request from B-4 to B-3.

Staff supports the proposed annexation and the amended request for a B-3 (Community Business District) initial zoning designation.

AN-001-2026
District 1 - Cm. Gilbert Gonzalez

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

Pursuant to Section 43.0673 of the Texas Local Government Code, a public hearing before the City Council was held for the proposed annexation on May 18, 2026. The petition will subsequently go before the City Council for final reading of the ordinance on July 20, 2026.

PROPERTY INFORMATION:

Annexation Type: Voluntary annexation
Petitioner: Javier De Anda, on behalf of NDAS Development, LLC

Tract: Approximately 23.942 acre, more or less
Location: Southeast of Cuatro Vientos Road and Sierra Vista Boulevard
Site Condition: Vacant and undeveloped
Council District: District 1 - Cm. Gilbert Gonzalez
Proposed Use: B-3 (Community Business District), as amended by the petitioner

SURROUNDING LAND USES:

To the north and east is vacant, undeveloped land. To the southeast is an existing AEP Texas Central substation. To the west is vacant, undeveloped land and Cuatro Vientos Road.

COMPREHENSIVE PLAN:

The Future Land Use Map identifies this tract as Neighborhood Mixed Use.

https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39

TRANSPORTATION PLAN:

The Future Transportation Plan identifies Cuatro Vientos as an expressway.

<https://www.cityoflaredo.com/home/showpublisheddocument/21421/638941324987500000>

PUBLIC NOTIFICATION:

Letters sent to surrounding property owners: (7) In Favor: (0) Opposed: (0)

STAFF COMMENTS:

Property owners have 180 days following the effective date of an annexation to request a zone change without a fee charged.

COMMITTEE RECOMMENDATION

The petition for annexation was considered by the Planning and Zoning Commission on April 16, 2026.

The P&Z Commission, by a 6 to 0 vote, recommended approval of the annexation and denial of the initially requested B-4 (Highway Commercial District), and instead recommended B-3 (Community Business District).

NOTE: The petitioner has since amended the request from B-4 (Highway Commercial District) to B-3 (Community Business District) initial zoning designation.

STAFF RECOMMENDATION

Staff supports the proposed annexation.

Staff does not support the originally requested B-4 (Highway Business District) zoning. Staff supports the amended request for a B-3 (Community Business District) initial zoning designation. While the subject tract is part of a parent tract that includes an existing B-4 zoning and is located near a major roadway corridor (Cuatro Vientos Road), the Comprehensive Plan designates the area as Neighborhood Mixed Use, for which B-3 is the most consistent zoning classification.

In addition, the subject tract is adjacent to a residential development (Vista Verde Subdivision) to the south, which is currently undergoing the platting process and is zoned R-1A (Single-Family Reduced Area District). To the east is undeveloped land also zoned R-1A, indicating future residential growth. Given this context, a lower-intensity commercial designation such as B-3 is more appropriate to ensure compatibility and provide an appropriate transition, particularly given the size of the subject tract (approximately 23.942 acres), which supports a more balanced distribution of commercial intensity.

In addition, although the subject tract does not appear to have direct street connectivity to adjacent residential area to the east as it is currently undeveloped, long-term development patterns and potential future connections should still be considered. Overall, B-3 maintains consistency with the Comprehensive Plan and promotes compatibility with surrounding and future land uses.

IMPACT ANALYSIS

B-3 (Community Business District):

The purpose of the B-3 (community business district) is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire City and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land pattern?

No. The subject tract is a part of a parent tract already zoned B-4 (Highway Commercial District) and is located along a major commercial corridor (Cuatro Vientos Road). The amended B-3 zoning request represents a reduction in intensity while remaining consistent with the commercial character of the area.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The amended request for B-3 (Community Business District) zoning does not create an isolated zoning district. Instead, it provides a transitional zoning classification between higher-intensity commercial uses permitted under B-4 (Highway Commercial District) to the west and residential R-1A (Single-Family Reduced Area District) to the east.

Will this change adversely influence living condition in the neighborhood?

No. The originally requested B-4 (Highway Commercial District) zoning was anticipated to have a negative impact on surrounding and future residential development due to its higher-intensity uses. However, the amended request for B-3 (Community Business District) reduces potential impacts and is more compatible with adjacent and planned residential developments in the area.

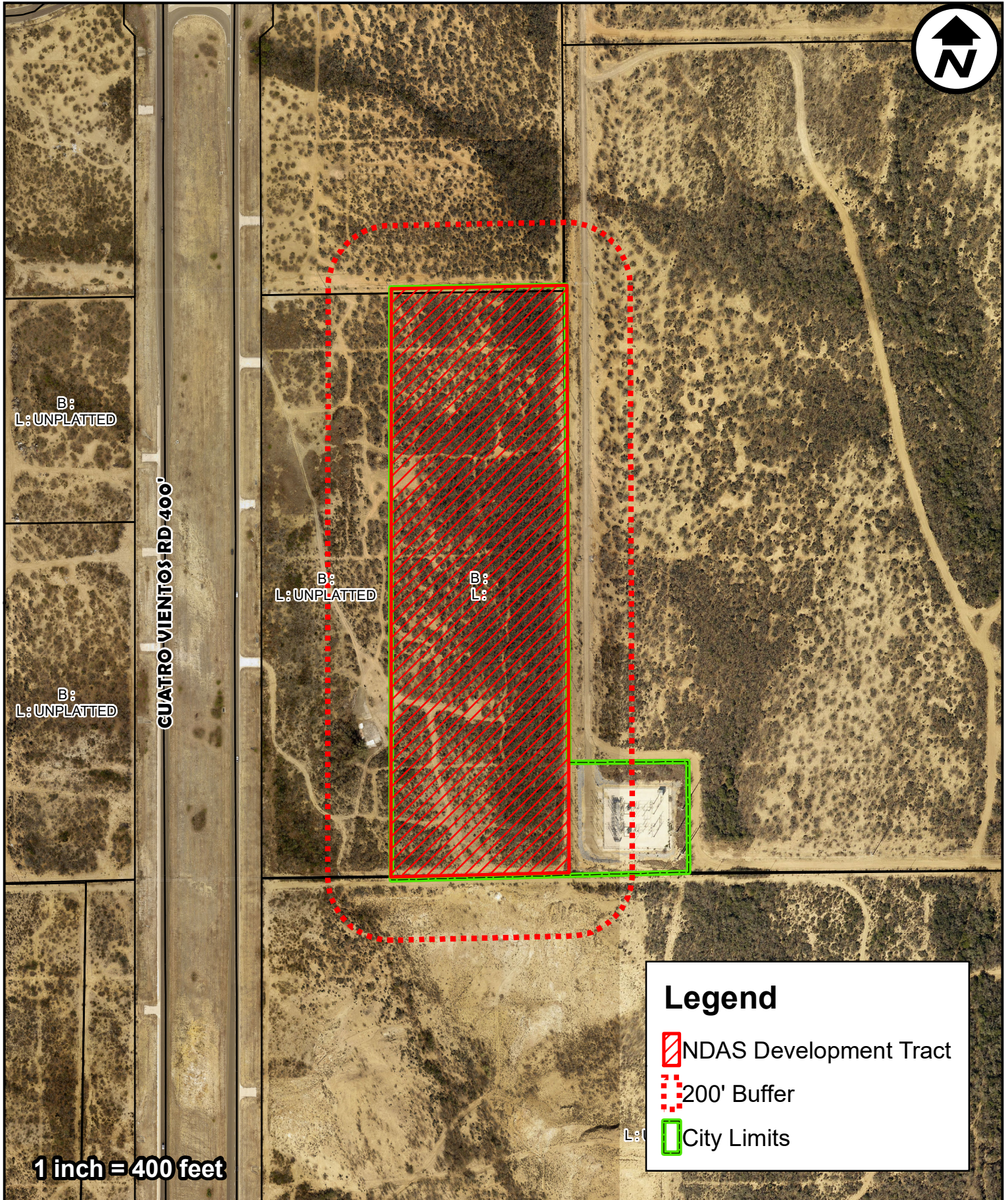
Are there substantial reasons why the property cannot be used in accordance with existing zoning?
N/A

Fiscal Impact




Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.

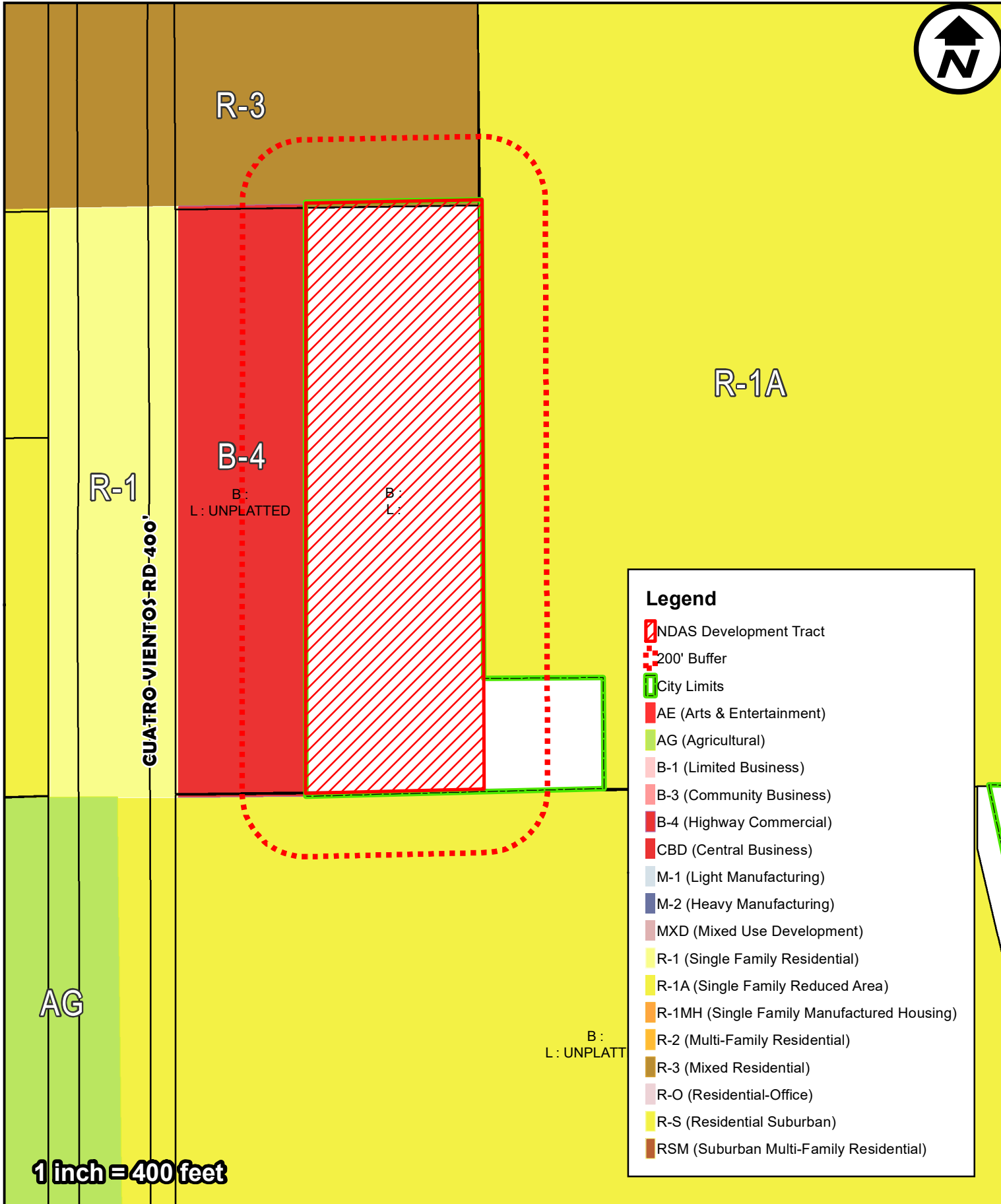


Legend

-  NDAS Development Tract
-  200' Buffer
-  City Limits

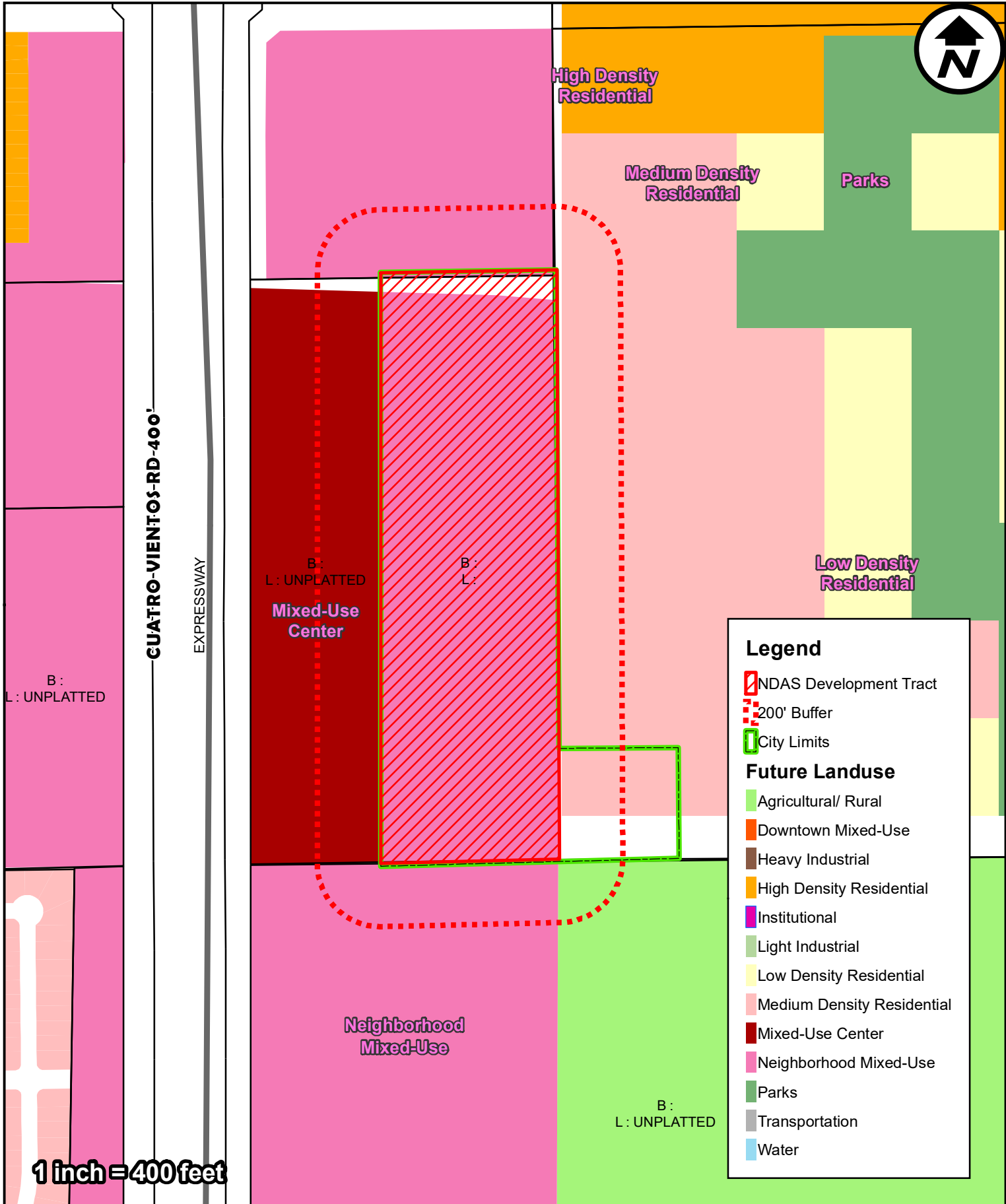
ZONING MAP

PORRAS NANCE ENGINEERING



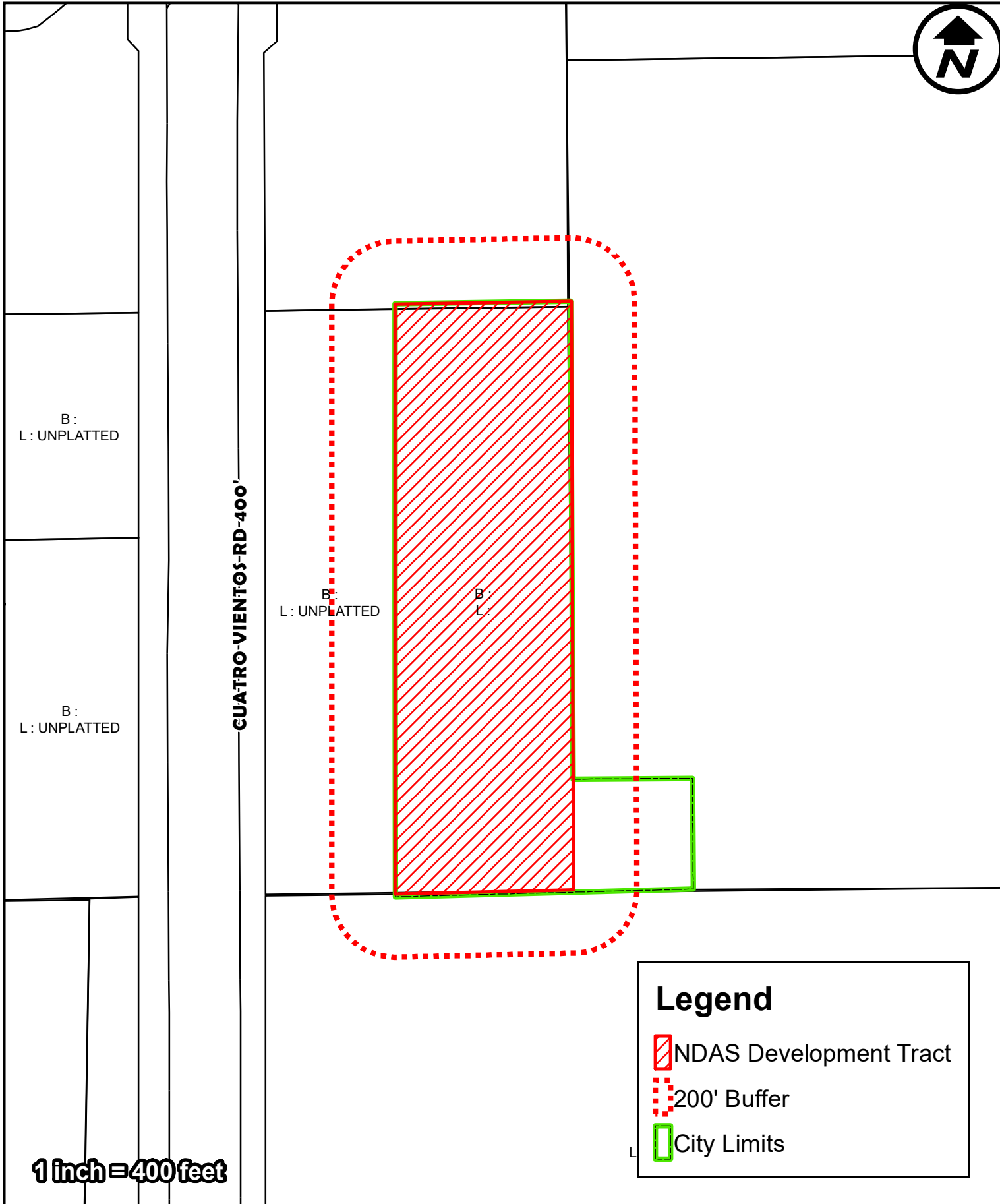
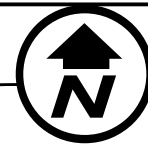
FUTURE LANDUSE

PORRAS NANCE ENGINEERING






200' NOTIFICATION

PORRAS NANCE ENGINEERING



1 inch = 400 feet

Legend

-  NDAS Development Tract
-  200' Buffer
-  City Limits

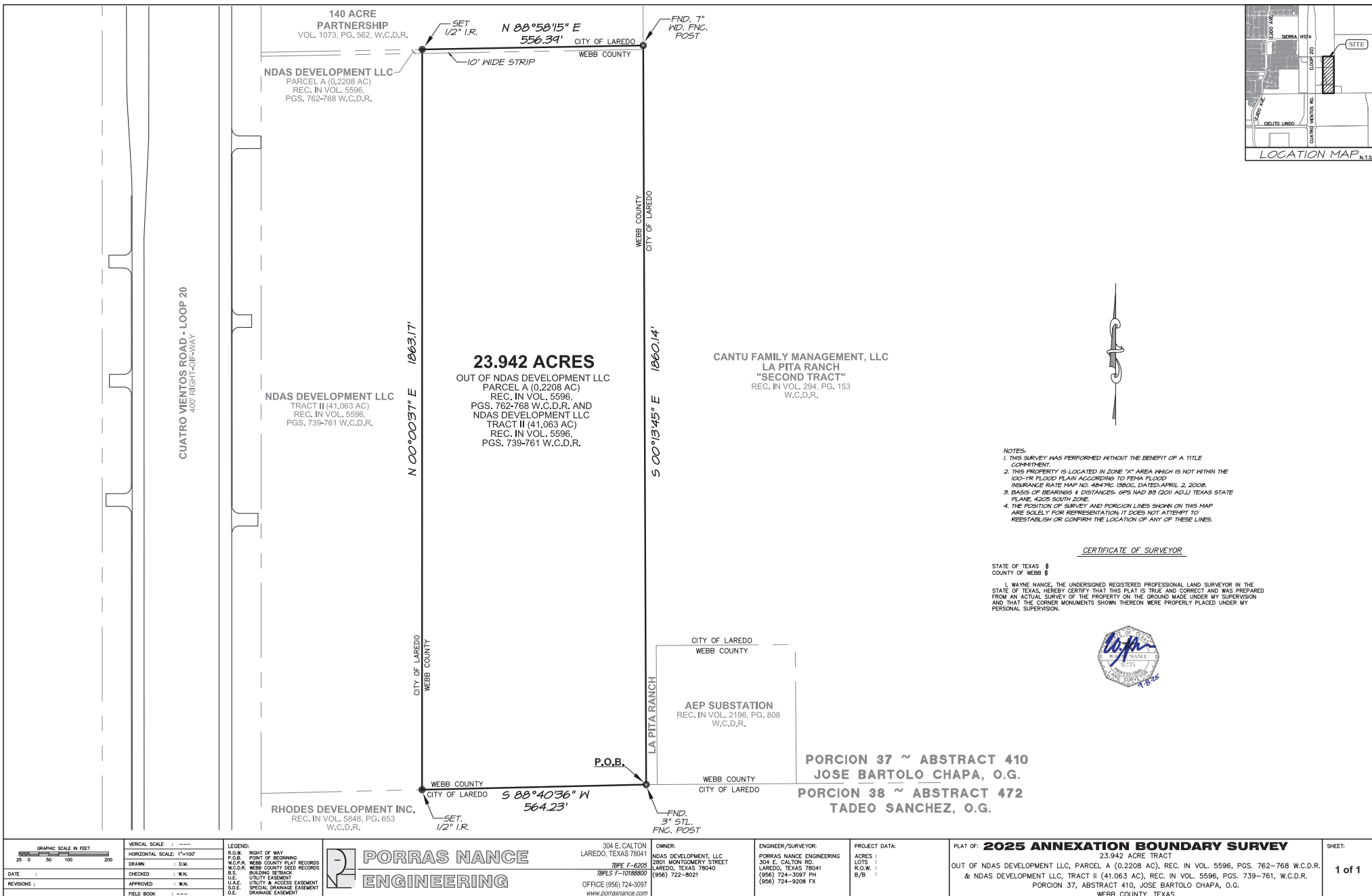


City of Laredo Planning Department
1413 Houston Street
Laredo, Texas 78040

DISCLAIMER

The information provided in this map submitted to, gathered by and/or developed by the City of Laredo from various sources. Geographic Information has a high probability of becoming outdated from the time it is collected and therefore, at-presentground conditions should be assessed to determine the accuracy of provided information. The city of Laredo assumes no liability for any decisions made or actions taken or no taken by the user of this data in reliance upon any data furnished herewith. The use of this data indicates your unconditional acceptance of all risks associated with the use of this data.

EXHIBIT A



- NOTES:**
1. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.
 2. THIS PROPERTY IS LOCATED IN ZONE "X" AREA WHICH IS NOT WITHIN THE 100-YR FLOOD PLAIN ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 48474C 1980C, DATED APRIL 2, 2008.
 3. BASIS OF BEARINGS & DISTANCES: GPS WAD 83 (2011 ADJ) TEXAS STATE PLANE 4205 SOUTH ZONE.
 4. THE POSITION OF SURVEY AND PORCION LINES SHOWN ON THIS MAP ARE SOLELY FOR REPRESENTATION. IT DOES NOT ATTEMPT TO REESTABLISH OR CONFIRM THE LOCATION OF ANY OF THESE LINES.

CERTIFICATE OF SURVEYOR

STATE OF TEXAS §
 COUNTY OF WEBB §

I, WAYNE NANCE, THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY ON THE GROUND MADE UNDER MY SUPERVISION AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.



GRAPHIC SCALE IN FEET	
0	50
100	200

VERTICAL SCALE : ---
HORIZONTAL SCALE: 1"=100'
DRAWN : S.M.
CHECKED : M.N.
APPROVED : M.N.
FIELD BOOK : ---

LEGEND:
 R.O.W. : RIGHT OF WAY
 P.O.B. : POINT OF BEGINNING
 W.C.D.R. : WEBB COUNTY DEED RECORDS
 B.S. : BUILDING SETBACK
 U.E. : UTILITY EASEMENT
 U.A.E. : UTILITY & ACCESS EASEMENT
 S.D.E. : SPECIAL DRAINAGE EASEMENT
 D.E. : DRAINAGE EASEMENT

PORRAS NANCE ENGINEERING

304 E. CALTON LAREDO, TEXAS 78041
 (956) 724-8205
 (956) 724-8021
 OFFICE (956) 724-3397
 www.porrasnance.com

OWNER:
 NDAS DEVELOPMENT, LLC
 2901 MONTGOMERY STREET
 LAREDO, TEXAS 78040
 (956) 722-8021

ENGINEER/SURVEYOR:
 PORRAS NANCE ENGINEERING
 304 E. CALTON RD.
 LAREDO, TEXAS 78041
 (956) 724-3397 PH
 (956) 724-9208 FX

PROJECT DATA:
 ACRES :
 LOTS :
 R.O.W. :
 B/B :

PLAT OF: 2025 ANNEXATION BOUNDARY SURVEY
 23.942 ACRE TRACT
 OUT OF NDAS DEVELOPMENT LLC, PARCEL A (0.2208 AC), REC. IN VOL. 5596, PGS. 762-768 W.C.D.R. & NDAS DEVELOPMENT LLC, TRACT II (41.063 AC), REC. IN VOL. 5596, PGS. 739-761, W.C.D.R. PORCION 37, ABSTRACT 410, JOSE BARTOLO CHAPA, O.G. WEBB COUNTY, TEXAS

SHEET: **1 of 1**

EXHIBIT A

23.942 ACRE TRACT

Out of NDAS DEVELOPMENT LLC, Parcel A (0.2208 AC)

Recorded in Volume 5596, Pages 762-768, Deed Records of Webb County, Texas

NDAS DEVELOPMENT LLC, Tract II (41.063 AC)

Recorded in Volume 5596, Pages 739-761, Deed Records of Webb County, Texas

Within the limits of the

Webb County, Texas

Being a tract of land found to contain 23.942 acres, more or less, situated in Porcion 37, Abstract 410, Jose Bartolo Chapa, Original Grantee within Webb County, Texas, being out of NDAS DEVELOPMENT LLC, Parcel A (0.2208 AC), recorded in Volume 5596, Pages 762-768, Deed Records of Webb County, Texas, and NDAS DEVELOPMENT LLC, Tract II (41.063 AC), recorded in Volume 5596, Pages 739-761, Deed Records of Webb County, Texas; this tract being more particularly described by metes and bounds as follows:

BEGINNING at a 3" steel fence corner post found on the south line of Porcion 37 and North line of Porcion 38, at the centerline of a North-South section of the abandoned La Pita-Mangana Road for the southwest corner of the La Pita Ranch, 1077.9 Acre "Second Tract", recorded in Volume 294, Page 153, Webb County Deed Records, the southeast corner of said NDAS Tract II, the southeast corner of the herein described tract and the **POINT OF BEGINNING**;

THENCE South 88°40'36" West, 564.23 Feet, along the south boundary line of said NDAS, Tract II, to a ½" iron set for the southwest corner of this tract;

THENCE North 00°00'37" East, at 1853.17 Feet passing the north boundary line of said NDAS Tract II, continuing for a total distance of 1863.17 Feet, to a ½" iron rod set in in the north boundary line of said NDAS Parcel A, the south boundary line of the 140 Acre Partnership Tract, recorded in Volume 1073, Page 562, Webb County Deed Records, and the northwest corner of this tract

THENCE North 88°58'15" East, 556.39 Feet, along the common boundary line of said NDAS Parcel A and said 140 Acre Partnership, to a 7" wooden fence post found on the west boundary line of said La Pita Ranch for the northeast corner of said NDAS Parcel A and the northeast corner of this tract;

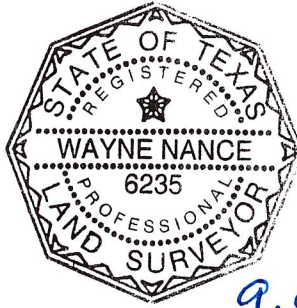
THENCE South 00°13'45" East, at 10.00 Feet passing the northeast corner of said NDAS Tract II, continuing for a total distance of 1860.14 Feet, along the west boundary line of said La Pita Ranch, to a 3" steel fence corner post found for the southwest corner of same La Pita Ranch, the southeast corner of the herein described tract and the **POINT OF BEGINNING**.

Basis of Bearings and Distances:

GPS NAD 83 (2011 Adj.), Texas State Plane, 4205 South Zone

EXHIBIT A

I, Wayne Nance, the undersigned Registered Professional Land Surveyor, Number 6235, do hereby certify that the metes and bounds description shown hereon is true and correct to my best knowledge and belief and that it was prepared from an actual survey made on the ground and from office records available, without the benefit of a complete title examination report.



Witness my Hand and Seal


Wayne Nance, R.P.L.S

9.8.25

SURVEY CLOSURE – NDAS EAST ANNEXATION

North: 17049008.17' East: 676471.78'

Course: S88° 40' 36"W Length: 564.23'
North: 17048995.14' East: 675907.70'

Course: N00° 00' 37"E Length: 1863.17'
North: 17050858.31' East: 675908.03'

Course: N88° 58' 15"E Length: 556.39'
North: 17050868.31' East: 676464.33'

Course: S00° 13' 45"E Length: 1860.14'
North: 17049008.18' East: 676471.77'

Perimeter: 4843.94' Area: 1042922.58 Sq. Ft. 23.9422 ACRES
Error Closure: 0.01 Course: N32° 56' 00"W
Error North: 0.008 East: -0.005
Precision 1: 484393.00

Basis of Bearings and Distances: GPS NAD 83, (2011 Adj) Texas State Plane, 4205 South Zone.



Wayne Nance
9.8.25

FEASABILITY STUDY											
TRACT 1: NDAS Development Tract						Acres: 23.94					
APPLICANT: Javier De Anda - NDAS Development, LLC											
LOCATION: Southeast of Cuatro Vientos and Sierra Vista											
PROPOSED DEVELOPMENT: Commercial Proposed Take Down: 2026											
	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	Build-out
Estimated population per development year	0	0	0	0	0	0	0	0	0	0	0
Total acreage	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94
Single family dwelling units	0	0	0	0	0	0	0	0	0	0.00	0
Institutional	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Industrial/commercial acreage	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94	23.94
Park/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Taxable Value (cumulative)	\$126,975.33	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64	\$7,731,995.64
GENERAL FUND (cumulative; rates shown are static, in all likelihood some increase will occur)											
Taxes: Property	\$642.61	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86	\$39,130.86
Garbage Fees	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Stormwater Fees	\$0.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00
TOTAL	\$642.61	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86	\$39,406.86
<i>*Garbage fees are not applicable to industrial sites because City of Laredo is not capable of providing services. They are serviced by private providers.</i>											
GENERAL FUND EXPENDITURES (data based on per capita cost; cost data not available for commercial properties)											
Police	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72
Fire & EMS	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09
Sanitation/Street Maintenance	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
TOTAL	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82
REVENUES - EXPENDITURES	-\$1,174.21	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04	\$37,590.04
ENTERPRISE SYSTEM REVENUES (cumulative)											
Water System	\$0.00	\$821.68	\$838.12	\$854.88	\$871.98	\$889.41	\$907.20	\$925.35	\$943.85	\$962.73	\$962.73
Wastewater System	\$0.00	\$621.01	\$633.43	\$646.10	\$659.02	\$672.20	\$685.65	\$699.36	\$713.35	\$727.61	\$727.61
ENTERPRISE SYSTEM EXPENDITURES (cumulative)											
Water System	\$0.00	\$791.40	\$807.23	\$823.37	\$839.84	\$856.64	\$873.77	\$891.24	\$909.07	\$927.25	\$927.25
Wastewater System	\$0.00	\$595.56	\$607.47	\$619.62	\$632.01	\$644.65	\$657.55	\$670.70	\$684.11	\$697.79	\$697.79
SYSTEM PROFIT/ (LOSS)	\$0.00	\$55.73	\$56.85	\$57.99	\$59.15	\$60.33	\$61.53	\$62.77	\$64.02	\$65.30	\$65.30
Additional revenues (at proposed rates):		\$46,534	for water treatment capacity								
		\$46,534	for wastewater treatment capacity								
RECOMMENDATION: APPROVAL											

**CITY OF LAREDO
ANNEXATION AGREEMENT AND SERVICE PLAN
TRACT 1
NDAS DEVELOPMENT TRACT**

WHEREAS, the City of Laredo is a home rule municipality and a political subdivision of the State of Texas; and

WHEREAS, Chapter 43.003 of the Texas Local Government Code specifically sets out the legal requirements for the annexation of land adjoining the city limits of a home-rule municipality, such as the City of Laredo, Texas; and

WHEREAS, Javier De Anda, on behalf of NDAS Development, LLC, has filed a voluntary petition with the City of Laredo for the annexation of 23.942 acres, more or less, tract of land, said tract of land being more particularly described by metes and bounds on the attached Exhibit "A"; and

WHEREAS, Section 1.04 of the Charter of the City of Laredo requires the execution of an annexation agreement between the City of Laredo and the landowner of the territory being annexed; and

WHEREAS, Section 43.0672 of the Texas Local Government Code, requires the preparation of a service plan describing the provision of municipal services to the territory being annexed, prior to implementation of annexation proceedings and related public hearings.

NOW, THEREFORE, FOR AND IN CONSIDERATION, of the sum of Seven-Hundred Fifty and No/100 Dollars (\$750.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the **CITY OF LAREDO**, a home-rule municipality, and NDAS Development, LLC, being the parties to this **ANNEXATION AGREEMENT AND SERVICE PLAN**, do hereby mutually acknowledge, consent, and agree to the following terms, conditions and service plan for annexation by the City of Laredo of 23.942 acres tract of land, more or less, belonging to NDAS Development, LLC.

SERVICE PLAN

A petition for annexation from DNAS Development, LLC, was received for property designated as "Tract 1 (DNAS Development Tract)" described by metes and bounds in Exhibit "A" of this Annexation Agreement and Service Plan and made a part hereof for all purposes. This Service Plan was prepared in accordance with the requirements of Section 43.0672 of the Texas Local Government Code and was available for review by the public at hearings duly held on May 18, 2026. Public notice of the hearings was provided on May 2, 2026, not more than twenty or less than ten days before the hearings as provided in Section 43.0673 of the Texas Local Government Code.

Section 1. Services to be provided on the effective date of annexation

1. Police Protection: Police protection shall be provided to the tract immediately upon the effective date of annexation. Police protection shall include traffic control enforcement, crime prevention activities, police patrol, crime investigation, and emergency response.

2. Fire protection and Emergency Medical Services: First response fire and EMS services will be provided to the area from Fire Station No. 10, which is located approximately 8.8 miles from the proposed site. Fire services include protection, prevention, and emergency medical response.

3. Solid Waste Collection: The collection and disposal of solid waste will be extended to the area within thirty days from the effective date of annexation on the same basis as other residential and institutional customers. Institutional, commercial, and industrial generators of solid waste may use city services or contract with private haulers. Disposal of all solid waste will be at the municipal sanitary landfill. Fees charged customers within the tract will be the same as all similarly classified customers.

4a. Operation and Maintenance of Public Water Services

RESIDENTIAL ANNEXATION FEE FOR WATER:

Lots under 10,000 sq.ft.	\$1,298.70/lot (135 gpcd X 3.7 person/lot X \$2.60/gal)
Lots over 10,000 sq.ft.	\$1,943.59/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR WATER:

Less than 1.0 acres	\$1,295.66/lot
Lots 1 acre and Fraction:	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Water service will be to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Water for fire protection services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

4b. Operation and Maintenance of Public Wastewater Services:

RESIDENTIAL ANNEXATION FEE FOR SANITARY SEWER:

Lots under 10,000 sq.ft.	\$2,205.20/lot (100 gpcd X 3.7 person/lot X \$5.96/gal)
Lots over 10,000 sq.ft.	\$2,591.48/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR SANITARY SEWER:

Less than 5.0 acres	\$1,593.00/acre (15 people/ac. X 18 gallons/person/day X \$5.90 gallon=\$1,593.00)
More than 5.01 acres	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Wastewater service will be provided to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Wastewater services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

5. Maintenance of roads and streets: Public roads and streets will be maintained on the effective date of the annexation in the same manner as all roads and streets within the city limits. All thoroughfare rights-of-way shall be dedicated to comply with the Long-Range Thoroughfare requirements of the City of Laredo's Comprehensive Plan. Road maintenance consists of repair of paving, maintenance of traffic lights, controls and signals, and will be provided immediately upon annexation. Street lighting is required of all new development and will be provided at petitioner's expense.

6. Operation and Maintenance of parks, playgrounds and swimming pools: Any future residential developments proposed to be constructed on the annexed property must satisfy all requirements for parkland and improvement fees, as defined in the most recently adopted Parkland Dedication Ordinance.

7. Operation and Maintenance of other public facilities: No public facilities, public buildings, or other service facilities are presently located within the tract. All facilities required by the development shall be provided at the expense of the petitioner, its successors and assigns, or jointly in cooperation with the city at such time as warranted by the development.

The Service Plan does not contemplate the creation of another political subdivision, nor will it require the funding of capital improvements by the petitioner to which petitioner has not agreed prior to the institution of proceedings, or which will be charged in any manner inconsistent with Chapter 395 of the Texas Local Government Code. The Service Plan does not propose services in the area in a manner that would have the effect of reducing by more than a negligible amount the level of fire and police protection and emergency medical services provided within the corporate boundaries of the municipality before annexation.

If the annexed area had a lower level of services, infrastructure, and infrastructure maintenance than the level of services, infrastructure, and infrastructure maintenance provided within the corporate boundaries of the municipality before annexation, a service

plan must provide the annexed area with a level of services, infrastructure, and infrastructure maintenance that is comparable to the level of services, infrastructure, and infrastructure maintenance available in other parts of the municipality with topography, land use, and population density similar to those reasonably contemplated or projected in the area.

Section 2. Capital Improvements

The tract does not require the construction or acquisition of capital improvements by the City. Petitioner agrees to provide all roadways, drainage, and all public improvements at such time as the property is platted.

Section 3. Land Use

When the annexation results in the abutment of residential uses with M-1 (Light Manufacturing District) as defined in the Laredo Land Development Code, a 100 ft. buffer yard between the different land uses shall be required, and the buffer yard shall be maintained by the property owner. This *Section 3. Land Use* shall survive the expiration of this agreement.

The Service Plan is valid for a period of ten years, and all services within the area shall be provided in accordance with the Plan. Should an ordinance pertaining to reserve areas or impact fees be adopted by the City Council, the ordinance shall supersede any provisions established herein.

THIS ANNEXATION AGREEMENT AND SERVICE PLAN WAS ENTERED INTO AND EXECUTED ON THIS _____ DAY OF _____, 2026.

**CITY OF LAREDO,
a Texas Municipal Corporation**

By: _____

**Joseph Neeb
City Manager**

ATTESTED:

Mario Maldonado, Jr.
City Secretary

NDAS Development, LLC

By: _____
Javier De Anda

APPROVED AS TO FORM:

Doanh "Zone" T. Nguyen
City Attorney

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ___ day of _____ ,
2026 by Joseph Neeb, for and on behalf of the City of Laredo.

Notary Public, State of Texas

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ___ day of _____ ,
2026 by Javier De Anda, on behalf of NDAS Development, LLC.

Notary Public, State of Texas

ORDINANCE NO. 2026-O-XX

ALTERING AND EXTENDING THE BOUNDARY LIMITS OF THE CITY OF LAREDO, ANNEXING ADDITIONAL TERRITORY OF APPROXIMATELY 23.942 ACRES, MORE OR LESS, TRACT OF LAND, LOCATED SOUTHEAST OF CUATRO VIENTOS AND SIERRA VISTA BOULEVARD; PROVIDING FOR THE EFFECTIVE DATE OF THE ORDINANCE; AUTHORIZING THE CITY MANAGER TO EXECUTE A CONTRACT ADOPTING A SERVICE PLAN FOR THE ANNEXED TERRITORY; AND ESTABLISHING THE INITIAL ZONING OF B-3 (COMMUNITY BUSINESS DISTRICT) FOR THE SUBJECT TRACT, AS DESCRIBED BY METES AND BOUNDS IN THE ATTACHED EXHIBIT "A."

WHEREAS, the land hereinafter described is contiguous to the corporate limits of the City of Laredo, Texas, and is located within its extraterritorial jurisdiction; and

WHEREAS, the owner of the land has applied for the voluntary annexation of the land, described by the metes and bounds and attached hereto and made a part hereof for all the purposes, as set out in Exhibit "A"; and

WHEREAS, the City of Laredo has an unused allocation from prior calendar years; and

WHEREAS, the City Council believes and so finds that the annexation of such land is in the public interest and will promote the general welfare; and

WHEREAS, a public hearing was held in compliance with Article 43.0673, of the Municipal Annexation Act, giving all persons interested in such annexation an opportunity to be heard; and

WHEREAS, notice of such public hearing was duly given, as provided by law, and such hearing was held on the date and at the time, place and hour so announced; and

WHEREAS, at said Public Hearing, the proposed Service Plan for the annexation land herein described was considered by the City Council and was made available for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City of Laredo hereby adopts a Service Plan for the extension of municipal services into the land described in Exhibit "A". A copy of said Service Plan is marked Exhibit "B" attached hereto and made a part hereof for all purposes.

Section 2: That the following described land containing 23.942 acres lying adjacent to

and adjoining the City of Laredo is hereby added and annexed to the City of Laredo, and said land be and is included within the boundary limits of the City of Laredo, and the present boundary limits of said City, at the various points contiguous to the area hereinafter described, are altered and amended so as to include said area within the corporate limits of the City of Laredo. That from and after the effective date of this Ordinance, the Boundary Limits of the City of Laredo shall include all such additional, adjacent, and hereby annexed land herein above described in Section 2. That from and after the final passage and adoption of this Ordinance, the Boundary Limits of the City of Laredo, Texas, shall be as herein above set out in Exhibit "A", and the property situated therein shall bear its pro rata part of the taxes levied by the City of Laredo, and the inhabitants thereof shall be entitled to all the rights and privileges of all the citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Laredo.

Section 3: That the Zoning Map of the City of Laredo be and is hereby amended to show the initial zoning designation boundaries for the land, as per the attached survey and metes and bounds, as set out in Exhibit "A", attached hereto and made a part hereof for all purposes as B-3 (Community Business District).

Section 4: Severability

If any provision, section subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity or another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 5: Open Meeting

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

Section 6: That this Ordinance shall be published in the manner provided in article II, Section 2.09 (D) of the Charter of the City of Laredo.

Section 7: This Ordinance shall become effective upon passage.

APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 18.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Lucia Elizondo Paez, on behalf of All Carriers, Inc., altering and extending the boundary limits of the City of Laredo by annexing approximately 8.42-acres, more or less, tract of land located south of FM 1472 and west of Ben-Hur Ranch Road; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A."

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-002-2026
District 7 - Cm. Vanessa Perez

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

Pursuant to Section 43.0673 of the Texas Local Government Code, a public hearing before the City Council was held for the proposed annexation on May 18, 2026. The petition will subsequently go before the City Council for final reading of the ordinance on July 20, 2026.

PROPERTY INFORMATION:

Annexation Type: Voluntary annexation
Petitioner: Lucia Elizondo Paez, on behalf of All Carriers, Inc.

Tract: Approximately 8.42 acres, more or less
Location: South of FM 1472 and west of Ben-Hur Ranch Road
Site: Vacant and undeveloped
Council District: District 7 - Cm. Vanessa Perez
Proposed Use: M-1 (Light Manufacturing District)

SURROUNDING LAND USES:

To the west are existing trailer yards. To the north and across FM 1472 are existing trailer yards within the Ashley Acres Development. To the southeast is an existing aggregate extraction facility.

COMPREHENSIVE PLAN:

The Future Land Use Map identifies this tract as Agricultural Rural.

https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39

TRANSPORTATION PLAN:

The Future Transportation Plan identifies FM 1472 as expressway.

<https://www.cityoflaredo.com/home/showpublisheddocument/21421/638941324987500000>

PUBLIC NOTIFICATION:

Letters sent to surrounding property owners: (3) In Favor: (0) Opposed: (0)

STAFF COMMENTS:

Property owners have 180 days following the effective date of an annexation to request a zone change without a fee charged.

COMMITTEE RECOMMENDATION

The petition for annexation was considered by the Planning and Zoning Commission on April 16, 2026.

The P&Z Commission, by a 6 to 0 vote, recommended approval of the proposed annexation and initial zoning of M-1 (Light Manufacturing District).

STAFF RECOMMENDATION

Staff supports the proposed annexation.

Staff supports the initial zoning of M-1 (Light Manufacturing District). The proposed zoning is consistent with the surrounding development pattern, which includes industrial and transportation-related uses to the west, similar uses along the FM 1472 corridor, and an aggregate materials operation to the south. In addition, the subject tract is part of a larger tract (All Carriers) already zoned M-1 (Light Manufacturing District).

IMPACT ANALYSIS

M-1 (Light Manufacturing District):

The purpose of the M-1 Light Manufacturing District is to encourage the development of manufacturing and wholesale business establishments, which are clean quiet, and free of hazardous or objectionable elements, such as noise, odor, dust, smoke or glare. Research activities are encouraged. This district is further designed to act as a transitional use between industrial uses and other less intense and residential uses.

Is this change contrary to the established land pattern?

No. The surrounding area is predominately industrial in nature, including uses to the west and along the FM 1472 corridor.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The subject tract is part of a larger tract already zoned M-1 (Light Manufacturing District).

Will this change adversely influence living condition in the neighborhood?
No. There are no residential neighborhoods in the area.

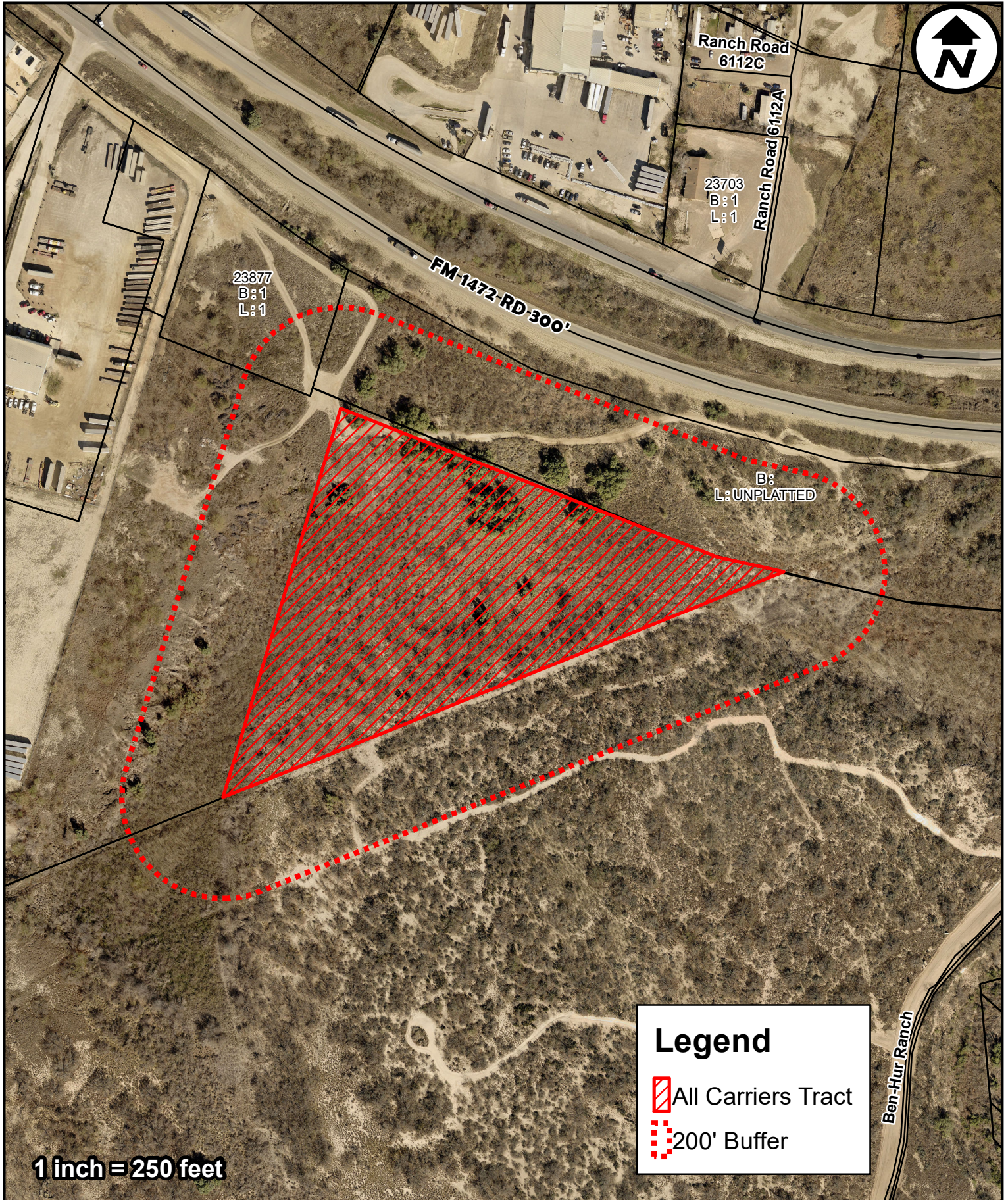
Are there substantial reasons why the property cannot be used in accordance with existing zoning?
N/A.

Fiscal Impact



Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.



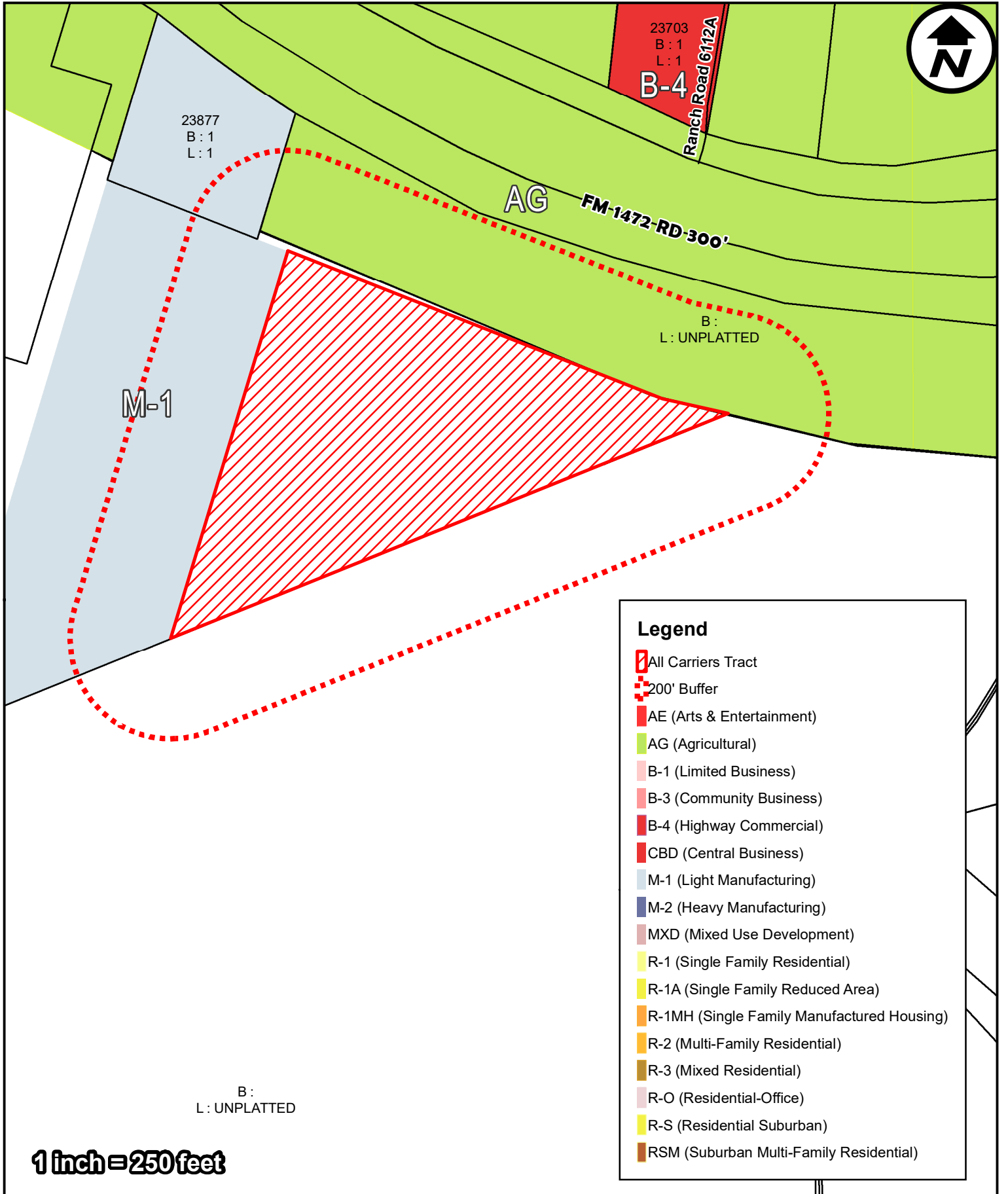
Legend

-  All Carriers Tract
-  200' Buffer

1 inch = 250 feet

ZONING MAP

BLUE TOP LAND SURVEYING



Legend

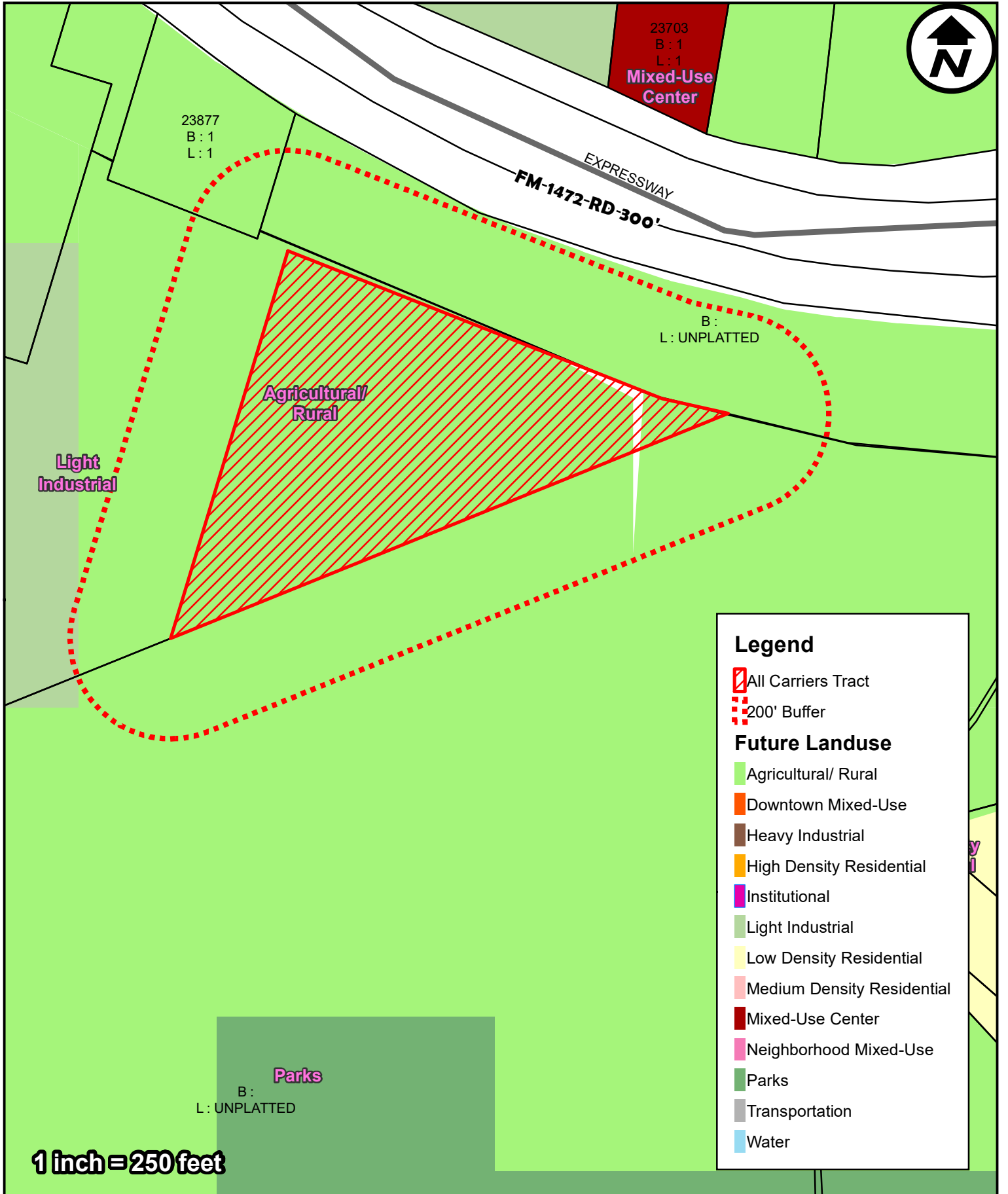
- All Carriers Tract
- 200' Buffer
- AE (Arts & Entertainment)
- AG (Agricultural)
- B-1 (Limited Business)
- B-3 (Community Business)
- B-4 (Highway Commercial)
- CBD (Central Business)
- M-1 (Light Manufacturing)
- M-2 (Heavy Manufacturing)
- MXD (Mixed Use Development)
- R-1 (Single Family Residential)
- R-1A (Single Family Reduced Area)
- R-1MH (Single Family Manufactured Housing)
- R-2 (Multi-Family Residential)
- R-3 (Mixed Residential)
- R-O (Residential-Office)
- R-S (Residential Suburban)
- RSM (Suburban Multi-Family Residential)

B:
L: UNPLATTED

1 inch = 250 feet

FUTURE LANDUSE

BLUE TOP LAND SURVEYING



Legend

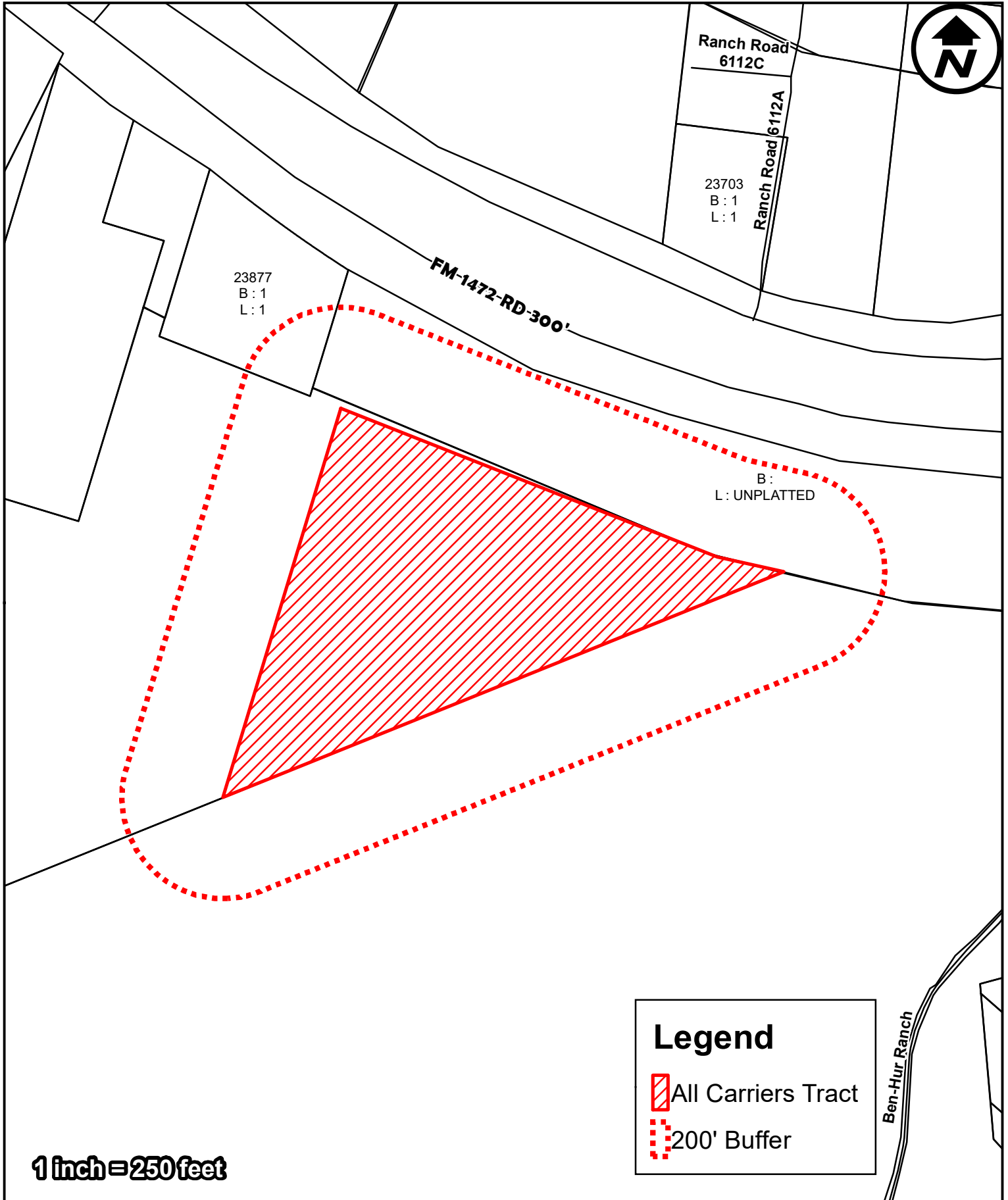
- All Carriers Tract
- 200' Buffer

Future Landuse

- Agricultural/ Rural
- Downtown Mixed-Use
- Heavy Industrial
- High Density Residential
- Institutional
- Light Industrial
- Low Density Residential
- Medium Density Residential
- Mixed-Use Center
- Neighborhood Mixed-Use
- Parks
- Transportation
- Water

200' NOTIFICATION

BLUE TOP LAND SURVEYING



1 inch = 250 feet

Legend



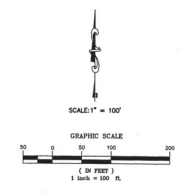
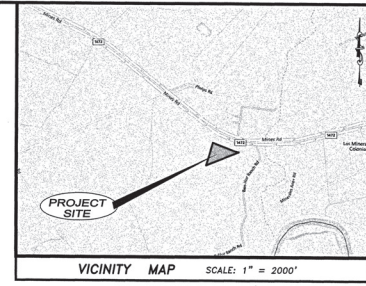
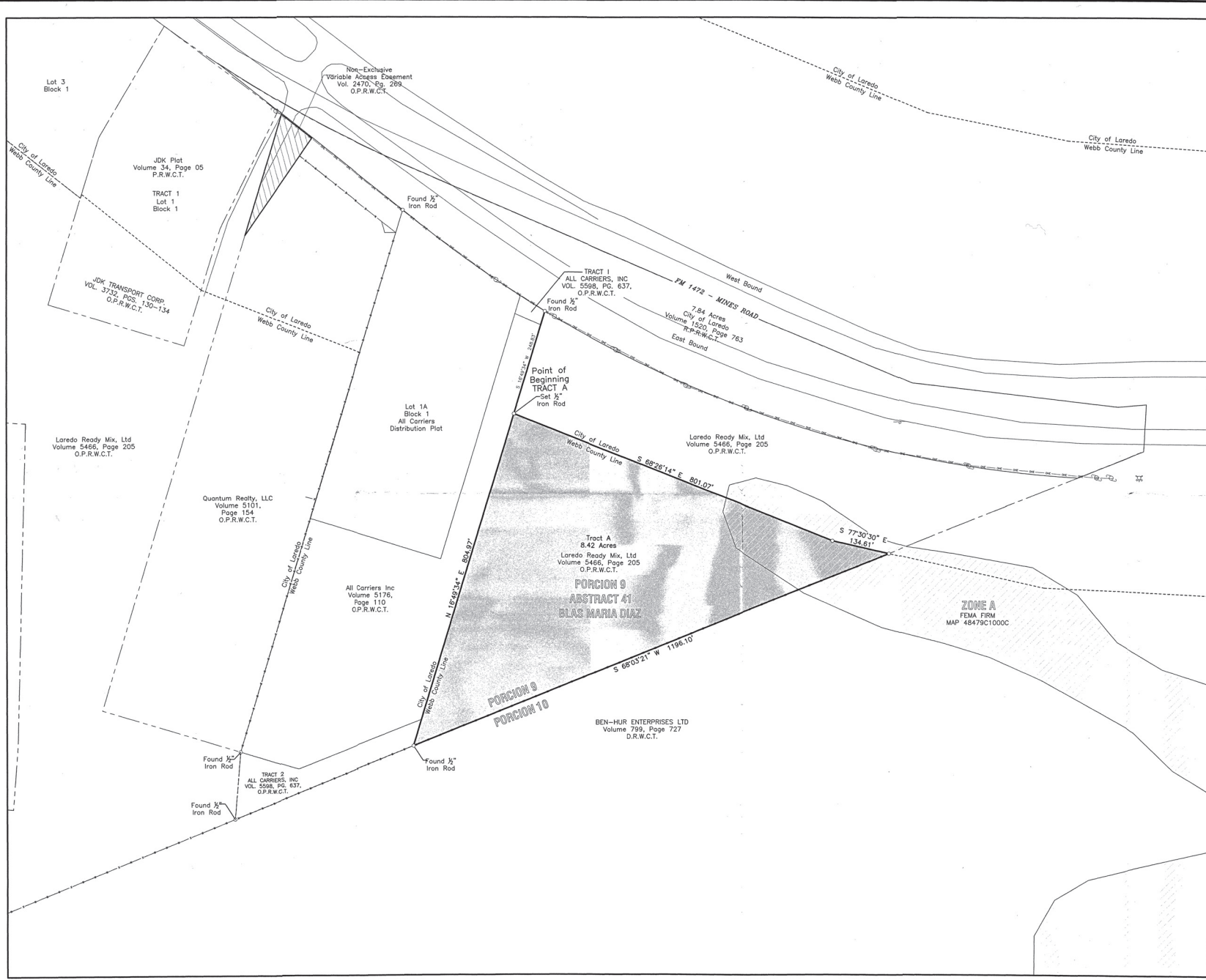
-  All Carriers Tract
-  200' Buffer

EXHIBIT A



BASIS OF BEARINGS:
 D.P.S., TEXAS STATE PLANE COORDINATE SYSTEM,
 TEXAS SOUTH ZONE 4200, NAD83, USFT,
 VERTICAL DATUM: NAVD83, USFT.

SURVEYOR'S NOTE:
 1. THE SURVEYOR DID NOT REQUIRE AHS OR, IF
 INCLUDE, ANY RESEARCH AND INVESTIGATION
 OF SURVEYORS OR EASEMENTS.
 2. NOT ALL EASEMENTS OR UTILITIES SHOWN
 HERE ON.



ERIC A. WAGO II
 COUNTY OF WEBB

I, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR
 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 AND WAS PROVIDED WITH MY ACTUAL KNOWLEDGE OF THE FACTS AS TO THE
 WORK UNDER MY SUPERVISION ON THE GROUND, THAT THE CORNER
 MONUMENTS SHOWN WERE PROPERLY PLACED OR LOCATED UNDER
 MY SUPERVISION.

E.A. Wago II
 Eric A. Wago II, R.P.L.S. No. 5653 12-04-25
 DATE

Annexation Survey of
 Tract A, being a 8.42 acre tract of land out of a
 tract of land conveyed by deed to Laredo Ready Mix
 recorded in Volume 5486, Page 205, Official Public
 Records, Webb County, Texas

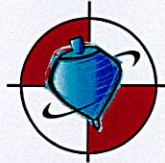
**Blue Top
 Land Surveying**

101 West-Holmes, Suite 10
 Laredo, Texas 78041
 Phone: (956) 724-6423
 Fax: (956) 712-2580
 FIRM No: 1007100

REVISED: _____
 DATE: _____
 DRAWN BY: E.L.
 CHECKED BY: E.A.M.
 DATE: 12-04-25
 JOB No. 250163
 (Sheet 1 of 1)

FILE: 250163 annexation survey.dwg

EXHIBIT A



Blue Top Land Surveying
101 W. Hillside, Suite 10
Laredo, Texas 78041
956-724-8423 956-712-2580 fax

**Field Notes of
A 8.42 acre tract of land
conveyed by deed to Laredo Ready Mix, Ltd
Situated in City of Laredo, Webb County, Texas**

A 8.42 acre tract of land out of a tract of land conveyed by deed to Laredo Ready Mix, Ltd, recorded in Volume 5466, Page 205, Official Public Records, Webb County, Texas, situated in Porcion 9, Blas Maria Diaz, Abstract 41, Webb County, Texas, and being more particularly described by metes and bounds as follows:

Commencing at a ½" iron rod found at the northwest corner of a tract of land conveyed by deed to Laredo Ready Mix, Ltd, recorded in Volume 5466, Page 205, Official Public Records, Webb County, Texas, the south right of way line of FM 1472 (Mines Road), **Thence, South 16 degrees 49 minutes 34 seconds West, 248.83 feet** to the **Point of Beginning**, for the northwest corner of the herein described tract;

Thence, South 68 degrees 26 minutes 14 seconds East, 801.07 feet, for a point of deflection of the herein described tract;

Thence, South 77 degrees 30 minutes 30 seconds East, 134.61 feet to a point of northwesterly line of a tract conveyed to Ben-Hur Enterprises LTD, recorded in Volume 799, Page 727, Deed Records Webb County, Texas, for the northeast corner of the herein described tract;

Thence, along said Ben-Hur Tract, **South 68 degrees 03 minutes 21 seconds West, 1196.10 feet** to the southeast corner of a tract of land conveyed to All Carriers Inc, recorded in Volume 5176, Page 110, Official Public Records, Webb County, Texas, for the south corner of the herein described tract;

Thence, along the east line of said All Carriers Inc tract, **North 16 degrees 49 minutes 34 seconds East, 804.97 feet**, to return and close to the **POINT OF BEGINNING** of this 8.42 Acre Tract, more or less.

Basis of Bearings:

G.P.S., Texas Coordinate System, Texas South Zone, NAD 1983

State of Texas:

County of Webb:

I, Oscar Almaguer, a Registered Professional Land Surveyor in the State of Texas, do hereby state that the above captioned "Field Notes" and attached "Drawing" was prepared from an actual survey performed on the ground under my supervision.

R.P.L.S. No. 6886 – Texas

12-04-25

Current Date



FEASABILITY STUDY

TRACT 2: All Carriers Tract

Acres: 8.42

APPLICANT: Lucia Elizondo Paez - All Carriers, Inc

LOCATION: South of FM 1472 and West of Ben-Hur Ranch Road

PROPOSED DEVELOPMENT: Industrial **Proposed Take Down:** 2026

	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	Build-out
Estimated population per development year	0	0	0	0	0	0	0	0	0	0	0
Total acreage	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42
Single family dwelling units	0	0	0	0	0	0	0	0	0	0.00	0
Institutional	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Industrial/ commercial acreage	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42	8.42
Park/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Taxable Value (cumulative)	\$273.78	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75	\$840,307.75
GENERAL FUND (cumulative; rates shown are static, in all likelihood some increase will occur)											
Taxes: Property	\$1.39	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71	\$4,252.71
Garbage Fees	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Stormwater Fees	\$0.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00
TOTAL	\$1.39	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71	\$4,528.71
<i>*Garbage fees are not applicable to industrial sites because City of Laredo is not capable of providing services. They are serviced by private providers.</i>											
GENERAL FUND EXPENDITURES (data based on per capita cost; cost data not available for commercial properties)											
Police	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72
Fire & EMS	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09
Sanitation/Street Maintenance	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
TOTAL	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82
REVENUES - EXPENDITURES	-\$1,815.43	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90	\$2,711.90
ENTERPRISE SYSTEM REVENUES (cumulative)											
Water System	\$0.00	\$821.68	\$838.12	\$854.88	\$871.98	\$889.41	\$907.20	\$925.35	\$943.85	\$962.73	\$962.73
Wastewater System	\$0.00	\$621.01	\$633.43	\$646.10	\$659.02	\$672.20	\$685.65	\$699.36	\$713.35	\$727.61	\$727.61
ENTERPRISE SYSTEM EXPENDITURES (cumulative)											
Water System	\$0.00	\$791.40	\$807.23	\$823.37	\$839.84	\$856.64	\$873.77	\$891.24	\$909.07	\$927.25	\$927.25
Wastewater System	\$0.00	\$595.56	\$607.47	\$619.62	\$632.01	\$644.65	\$657.55	\$670.70	\$684.11	\$697.79	\$697.79
SYSTEM PROFIT/ (LOSS)	\$0.00	\$55.73	\$56.85	\$57.99	\$59.15	\$60.33	\$61.53	\$62.77	\$64.02	\$65.30	\$65.30
Additional revenues (at proposed rates):	\$16,365	for water treatment capacity									
	\$16,365	for wastewater treatment capacity									

RECOMMENDATION: APPROVAL

**CITY OF LAREDO
ANNEXATION AGREEMENT AND SERVICE PLAN
TRACT 2
ALL CARRIERS TRACT**

WHEREAS, the City of Laredo is a home rule municipality and a political subdivision of the State of Texas; and

WHEREAS, Chapter 43.003 of the Texas Local Government Code specifically sets out the legal requirements for the annexation of land adjoining the city limits of a home-rule municipality, such as the City of Laredo, Texas; and

WHEREAS, Lucia Elizondo Paez, on behalf of All Carriers, Inc., has filed a voluntary petition with the City of Laredo for the annexation of 8.42 acres, more or less, tract of land, said tract of land being more particularly described by metes and bounds on the attached Exhibit "A"; and

WHEREAS, Section 1.04 of the Charter of the City of Laredo requires the execution of an annexation agreement between the City of Laredo and the landowner of the territory being annexed; and

WHEREAS, Section 43.0672 of the Texas Local Government Code, requires the preparation of a service plan describing the provision of municipal services to the territory being annexed, prior to implementation of annexation proceedings and related public hearings.

NOW, THEREFORE, FOR AND IN CONSIDERATION, of the sum of Seven-Hundred Fifty and No/100 Dollars (\$750.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the **CITY OF LAREDO**, a home-rule municipality, and All Carriers, Inc., being the parties to this **ANNEXATION AGREEMENT AND SERVICE PLAN**, do hereby mutually acknowledge, consent, and agree to the following terms, conditions and service plan for annexation by the City of Laredo of 8.42 acres tract of land, more or less, belonging to All Carriers, Inc.

SERVICE PLAN

A petition for annexation from All Carriers, Inc., was received for property designated as "Tract 2 (All Carriers Tract)" described by metes and bounds in Exhibit "A" of this Annexation Agreement and Service Plan and made a part hereof for all purposes. This Service Plan was prepared in accordance with the requirements of Section 43.0672 of the Texas Local Government Code and was available for review by the public at hearings duly held on May 18, 2026. Public notice of the hearings was provided on May 2, 2026, not more than twenty or less than ten days before the hearings as provided in Section 43.0673 of the Texas Local Government Code.

Section 1. Services to be provided on the effective date of annexation

1. Police Protection: Police protection shall be provided to the tract immediately upon the effective date of annexation. Police protection shall include traffic control enforcement, crime prevention activities, police patrol, crime investigation, and emergency response.

2. Fire protection and Emergency Medical Services: First response fire and EMS services will be provided to the area from Fire Station No. 10, which is located approximately 8.8 miles from the proposed site. Fire services include protection, prevention, and emergency medical response.

3. Solid Waste Collection: The collection and disposal of solid waste will be extended to the area within thirty days from the effective date of annexation on the same basis as other residential and institutional customers. Institutional, commercial, and industrial generators of solid waste may use city services or contract with private haulers. Disposal of all solid waste will be at the municipal sanitary landfill. Fees charged customers within the tract will be the same as all similarly classified customers.

4a. Operation and Maintenance of Public Water Services

RESIDENTIAL ANNEXATION FEE FOR WATER:

Lots under 10,000 sq.ft.	\$1,298.70/lot (135 gpcd X 3.7 person/lot X \$2.60/gal)
Lots over 10,000 sq.ft.	\$1,943.59/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR WATER:

Less than 1.0 acres	\$1,295.66/lot
Lots 1 acre and Fraction:	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Water service will be to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Water for fire protection services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

4b. Operation and Maintenance of Public Wastewater Services:

RESIDENTIAL ANNEXATION FEE FOR SANITARY SEWER:

Lots under 10,000 sq.ft.	\$2,205.20/lot (100 gpcd X 3.7 person/lot X \$5.96/gal)
Lots over 10,000 sq.ft.	\$2,591.48/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR SANITARY SEWER:

Less than 5.0 acres	\$1,593.00/acre (15 people/ac. X 18 gallons/person/day X \$5.90 gallon=\$1,593.00)
More than 5.01 acres	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Wastewater service will be provided to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Wastewater services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

5. Maintenance of roads and streets: Public roads and streets will be maintained on the effective date of the annexation in the same manner as all roads and streets within the city limits. All thoroughfare rights-of-way shall be dedicated to comply with the Long-Range Thoroughfare requirements of the City of Laredo's Comprehensive Plan. Road maintenance consists of repair of paving, maintenance of traffic lights, controls and signals, and will be provided immediately upon annexation. Street lighting is required of all new development and will be provided at petitioner's expense.

6. Operation and Maintenance of parks, playgrounds and swimming pools: Any future residential developments proposed to be constructed on the annexed property must satisfy all requirements for parkland and improvement fees, as defined in the most recently adopted Parkland Dedication Ordinance.

7. Operation and Maintenance of other public facilities: No public facilities, public buildings, or other service facilities are presently located within the tract. All facilities required by the development shall be provided at the expense of the petitioner, its successors and assigns, or jointly in cooperation with the city at such time as warranted by the development.

The Service Plan does not contemplate the creation of another political subdivision, nor will it require the funding of capital improvements by the petitioner to which petitioner has not agreed prior to the institution of proceedings, or which will be charged in any manner inconsistent with Chapter 395 of the Texas Local Government Code. The Service Plan does not propose services in the area in a manner that would have the effect of reducing by more than a negligible amount the level of fire and police protection and emergency medical services provided within the corporate boundaries of the municipality before annexation.

If the annexed area had a lower level of services, infrastructure, and infrastructure maintenance than the level of services, infrastructure, and infrastructure maintenance provided within the corporate boundaries of the municipality before annexation, a service

plan must provide the annexed area with a level of services, infrastructure, and infrastructure maintenance that is comparable to the level of services, infrastructure, and infrastructure maintenance available in other parts of the municipality with topography, land use, and population density similar to those reasonably contemplated or projected in the area.

Section 2. Capital Improvements

The tract does not require the construction or acquisition of capital improvements by the City. Petitioner agrees to provide all roadways, drainage, and all public improvements at such time as the property is platted.

Section 3. Land Use

When the annexation results in the abutment of residential uses with M-1 (Light Manufacturing District) as defined in the Laredo Land Development Code, a 100 ft. buffer yard between the different land uses shall be required, and the buffer yard shall be maintained by the property owner. This *Section 3. Land Use* shall survive the expiration of this agreement.

The Service Plan is valid for a period of ten years, and all services within the area shall be provided in accordance with the Plan. Should an ordinance pertaining to reserve areas or impact fees be adopted by the City Council, the ordinance shall supersede any provisions established herein.

THIS ANNEXATION AGREEMENT AND SERVICE PLAN WAS ENTERED INTO AND EXECUTED ON THIS _____ DAY OF _____, 2026.

**CITY OF LAREDO,
a Texas Municipal Corporation**

By: _____

**Joseph Neeb
City Manager**

ATTESTED:

Mario Maldonado, Jr.
City Secretary

All Carriers, Inc.

By: _____
Lucia Elizondo Paez

APPROVED AS TO FORM:

Doanh "Zone" T. Nguyen
City Attorney

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ___ day of _____ ,
2026 by Joseph Neeb, for and on behalf of the City of Laredo.

Notary Public, State of Texas

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ___ day of _____ ,
2026 by Lucia Elizondo Paez, on behalf of All Carriers, Inc.

Notary Public, State of Texas

ORDINANCE NO. 2026-O-XX

ALTERING AND EXTENDING THE BOUNDARY LIMITS OF THE CITY OF LAREDO, ANNEXING ADDITIONAL TERRITORY OF APPROXIMATELY 8.42 ACRES OF LAND, MORE OR LESS, LOCATED SOUTH OF FM 1472 AND WEST OF BEN-HUR RANCH ROAD; PROVIDING FOR THE EFFECTIVE DATE OF THE ORDINANCE; AUTHORIZING THE CITY MANAGER TO EXECUTE A CONTRACT ADOPTING A SERVICE PLAN FOR THE ANNEXED TERRITORY; AND ESTABLISHING THE INITIAL ZONING OF M-1 (LIGHT INDUSTRIAL DISTRICT) FOR THE SUBJECT TRACT, AS DESCRIBED BY METES AND BOUNDS IN THE ATTACHED EXHIBIT "A."

WHEREAS, the land hereinafter described is contiguous to the corporate limits of the City of Laredo, Texas, and is located within its extraterritorial jurisdiction; and

WHEREAS, the owner of the land has applied for the voluntary annexation of the land, described by the metes and bounds and attached hereto and made a part hereof for all the purposes, as set out in Exhibit "A"; and

WHEREAS, the City of Laredo has an unused allocation from prior calendar years; and

WHEREAS, the City Council believes and so finds that the annexation of such land is in the public interest and will promote the general welfare; and

WHEREAS, a public hearing was held in compliance with Article 43.0673, of the Municipal Annexation Act, giving all persons interested in such annexation an opportunity to be heard; and

WHEREAS, notice of such public hearing was duly given, as provided by law, and such hearing was held on the date and at the time, place and hour so announced; and

WHEREAS, at said Public Hearing, the proposed Service Plan for the annexation land herein described was considered by the City Council and was made available for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City of Laredo hereby adopts a Service Plan for the extension of municipal services into the land described in Exhibit "A". A copy of said Service Plan is marked Exhibit "B" attached hereto and made a part hereof for all purposes.

Section 2: That the following described land containing 8.42 acres lying adjacent to and adjoining the City of Laredo is hereby added and annexed to the City of Laredo,

and said land be and is included within the boundary limits of the City of Laredo, and the present boundary limits of said City, at the various points contiguous to the area hereinafter described, are altered and amended so as to include said area within the corporate limits of the City of Laredo. That from and after the effective date of this Ordinance, the Boundary Limits of the City of Laredo shall include all such additional, adjacent, and hereby annexed land herein above described in Section 2. That from and after the final passage and adoption of this Ordinance, the Boundary Limits of the City of Laredo, Texas, shall be as herein above set out in Exhibit "A", and the property situated therein shall bear its pro rata part of the taxes levied by the City of Laredo, and the inhabitants thereof shall be entitled to all the rights and privileges of all the citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Laredo.

Section 3: That the Zoning Map of the City of Laredo be and is hereby amended to show the initial zoning designation boundaries for the land, as per the attached survey and metes and bounds, as set out in Exhibit "A", attached hereto and made a part hereof for all purposes as M-1 (Light Manufacturing District).

Section 4: Severability

If any provision, section subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity or another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 5: Open Meeting

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

Section 6: That this Ordinance shall be published in the manner provided in article II, Section 2.09 (D) of the Charter of the City of Laredo.

Section 7: This Ordinance shall become effective upon passage.

APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 19.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance concerning a voluntary annexation request by Luke Colbert, on behalf of ARP Laredo, LLC, altering and extending the boundary limits of the City of Laredo by annexing approximately 5.19-acres, more or less, tract of land located south of FM 1472 and north of Mercury Mine Road; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A."

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-003-2026
District 7 - Cm. Vanessa Perez

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

Pursuant to Section 43.0673 of the Texas Local Government Code, a public hearing before the City Council was held for the proposed annexation on May 18, 2026. The petition will subsequently go before the City Council for final reading of the ordinance on July 20, 2026.

PROPERTY INFORMATION:

Annexation Type: Voluntary annexation
Petitioner: Luke Colbert, on behalf of ARP Laredo, LLC.

Tract: Approximately 5.19 acres, more or less
Location: South of FM 1472 and north of Mercury Mine Road
Site: The site is part of a larger tract within the city limits that is currently operating as a trailer yard.
Council District: District 7 Cm. Vanessa Perez
Proposed Use: M-1 (Light Manufacturing District)

SURROUNDING LAND USES:

To the north, east, and west are existing trailer yard/warehousing uses, while to the south is the Pinnacle Industrial Center.

COMPREHENSIVE PLAN:

The Future Land Use Map identifies this tract as Medium Density Residential.

https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39

TRANSPORTATION PLAN:

The Future Transportation Plan identifies FM 1472 as expressway.

<https://www.cityoflaredo.com/home/showpublisheddocument/21421/638941324987500000>

PUBLIC NOTIFICATION:

Letters sent to surrounding property owners: (7) In Favor: (0) Opposed: (0)

STAFF COMMENTS:

Property owners have 180 days following the effective date of an annexation to request a zone change without a fee charged.

COMMITTEE RECOMMENDATION

The petition for annexation was considered by the Planning and Zoning Commission on April 16, 2026.

The P&Z Commission, by a 7 to 0 vote, recommended approval of the proposed annexation and initial zoning of M-1 (Light Manufacturing District).

STAFF RECOMMENDATION

Staff supports the proposed annexation.

Staff supports the initial zoning of M-1 (Light Manufacturing District). The proposed zoning is consistent with the surrounding development pattern, which includes existing trailer yard/warehousing uses to the north, east, and west, as well as the Pinnacle Industrial Center to the south. In addition, the subject tract is part of a larger tract already zoned M-1 (Light Manufacturing District) and currently operating as a trailer yard.

IMPACT ANALYSIS

M-1 (Light Manufacturing District):

The purpose of the M-1 Light Manufacturing District is to encourage the development of manufacturing and wholesale business establishments, which are clean quiet, and free of hazardous or objectionable elements, such as noise, odor, dust, smoke or glare. Research activities are encouraged. This district is further designed to act as a transitional use between industrial uses and other less intense and residential uses.

Is this change contrary to the established land pattern?

No. The surrounding area is predominately industrial, including trailer yard/warehousing uses.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The subject tract is part of a larger tract already zoned M-1 (Light Manufacturing District).

Will this change adversely influence living condition in the neighborhood?

No. There are no established residential neighborhoods in the area.

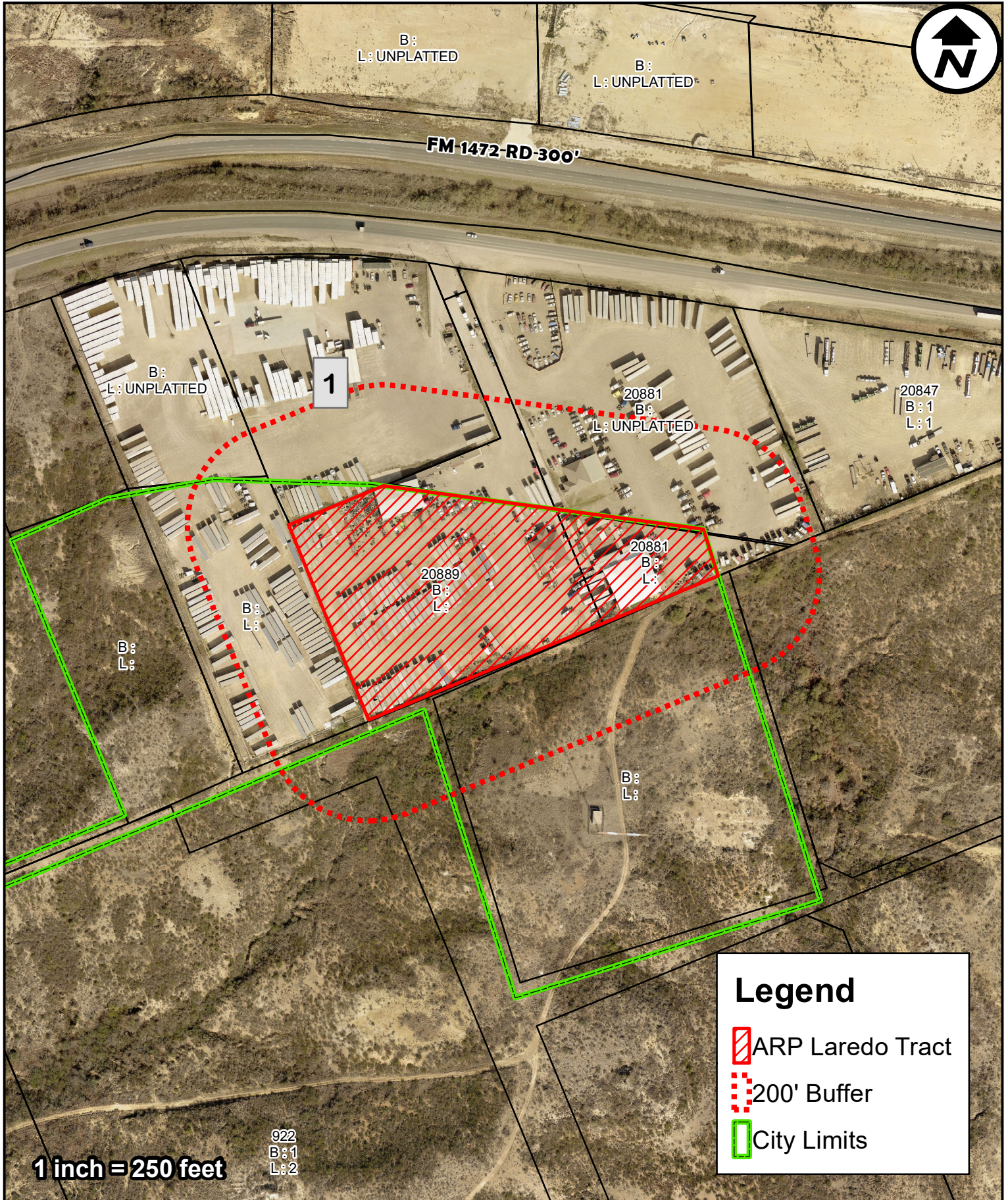
Are there substantial reasons why the property cannot be used in accordance with existing zoning?
N/A

Fiscal Impact




Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.



Legend

-  ARP Laredo Tract
-  200' Buffer
-  City Limits

1 inch = 250 feet

922
B: 1
L: 2



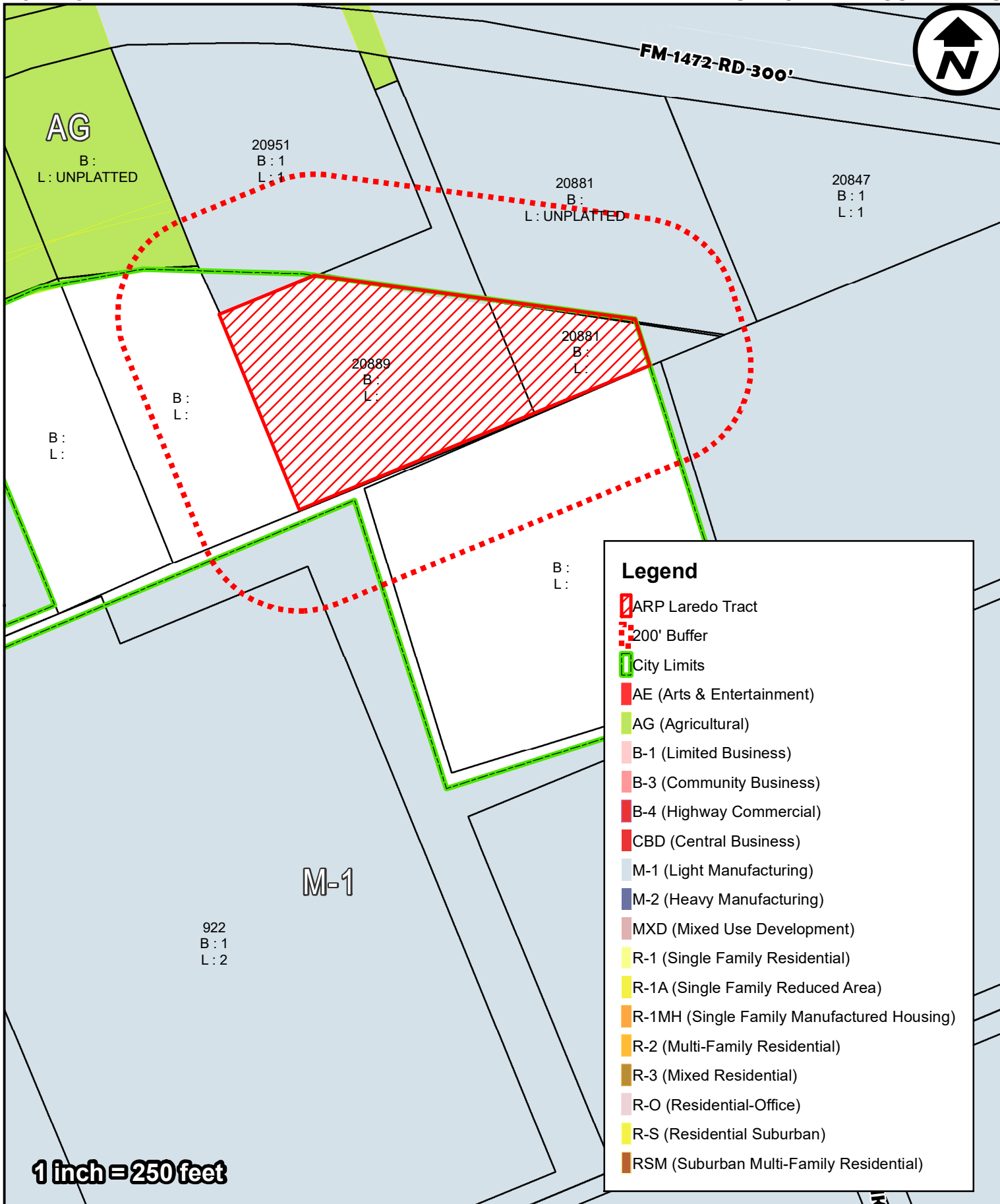
City of Laredo Planning Department
1413 Houston Street
Laredo, Texas 78040

DISCLAIMER

The information provided in this map submitted to, gathered by and/or developed by the City of Laredo from various sources. Geographic Information has a high probability of becoming outdated from the time it is collected and therefore, at-present ground conditions should be assessed to determine the accuracy of provided information. The city of Laredo assumes no liability for any decisions made or actions taken or no taken by the user of this data in reliance upon any data furnished herewith. The use of this data indicates your unconditional acceptance of all risks associated with the use of this data.

ZONING MAP

BLUE TOP LAND SURVEYING

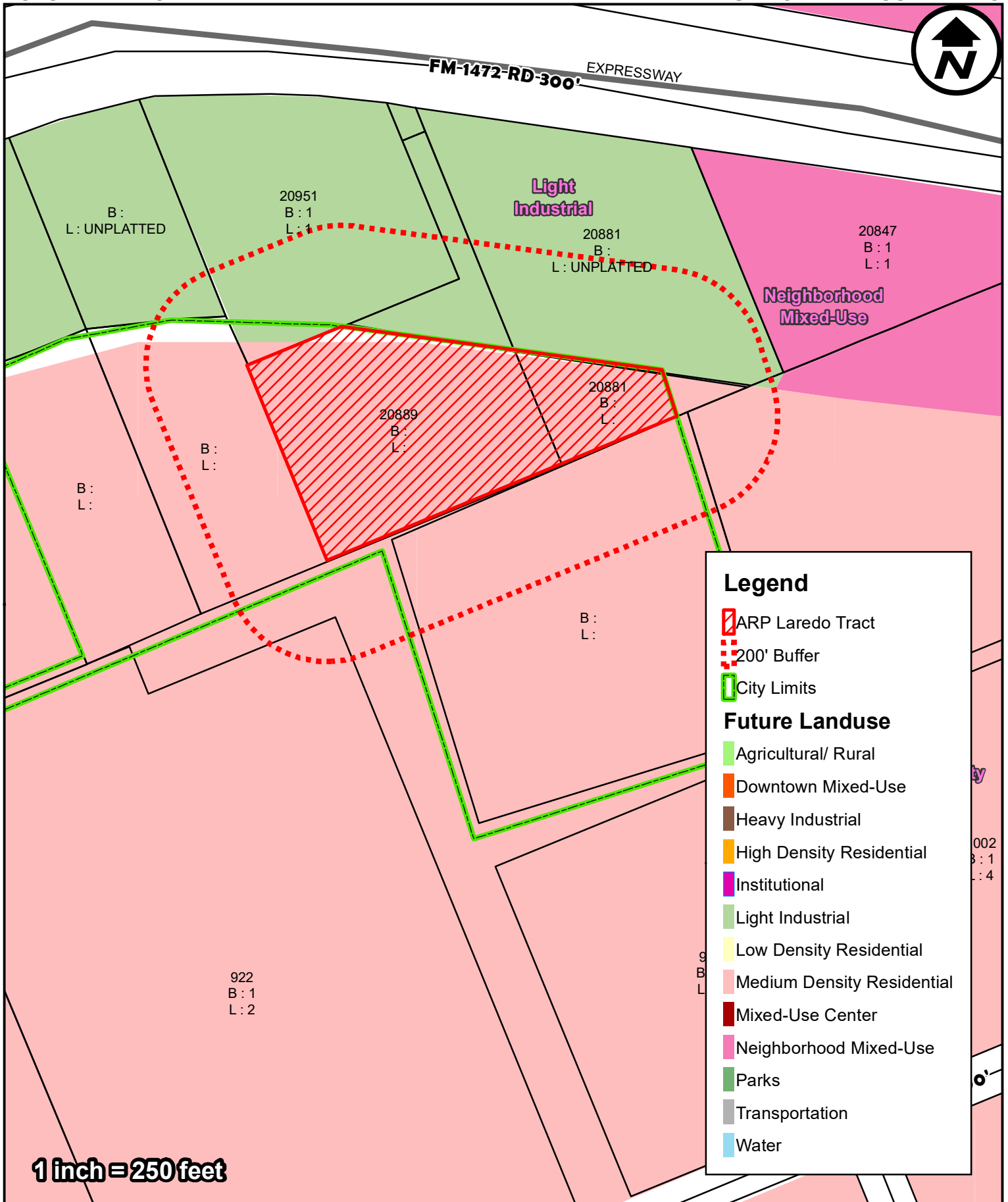


Legend

- ARP Laredo Tract
- 200' Buffer
- City Limits
- AE (Arts & Entertainment)
- AG (Agricultural)
- B-1 (Limited Business)
- B-3 (Community Business)
- B-4 (Highway Commercial)
- CBD (Central Business)
- M-1 (Light Manufacturing)
- M-2 (Heavy Manufacturing)
- MXD (Mixed Use Development)
- R-1 (Single Family Residential)
- R-1A (Single Family Reduced Area)
- R-1MH (Single Family Manufactured Housing)
- R-2 (Multi-Family Residential)
- R-3 (Mixed Residential)
- R-O (Residential-Office)
- R-S (Residential Suburban)
- RSM (Suburban Multi-Family Residential)

FUTURE LANDUSE

BLUE TOP LAND SURVEYING



Legend

- ARP Laredo Tract
- 200' Buffer
- City Limits

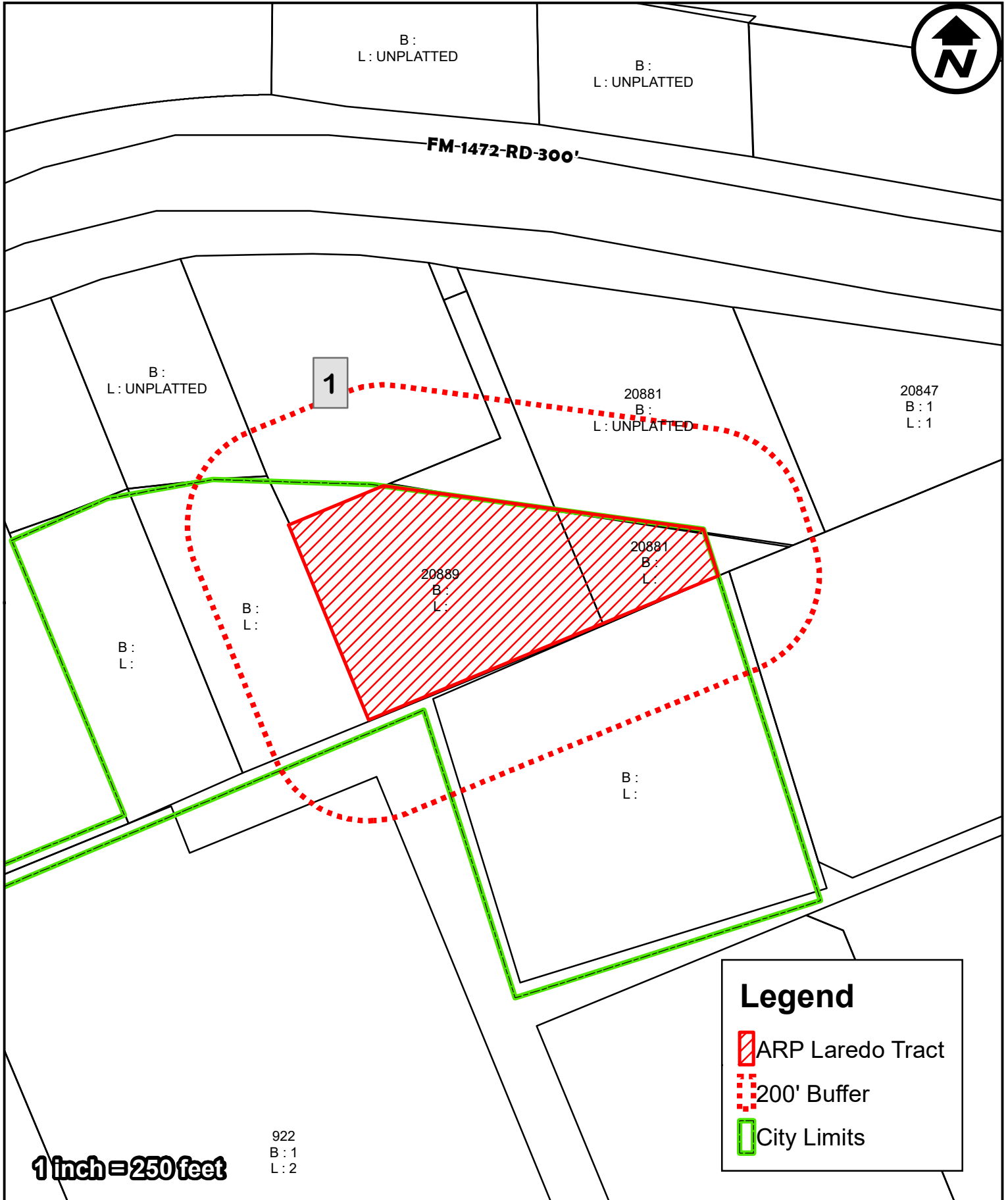
Future Landuse

- Agricultural/ Rural
- Downtown Mixed-Use
- Heavy Industrial
- High Density Residential
- Institutional
- Light Industrial
- Low Density Residential
- Medium Density Residential
- Mixed-Use Center
- Neighborhood Mixed-Use
- Parks
- Transportation
- Water

1 inch = 250 feet

200' NOTIFICATION

BLUE TOP LAND SURVEYING

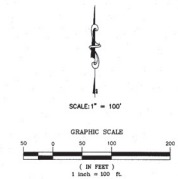
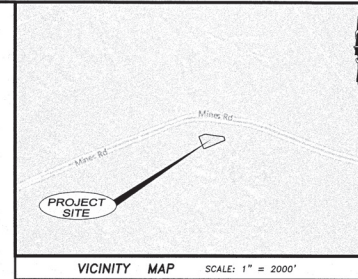
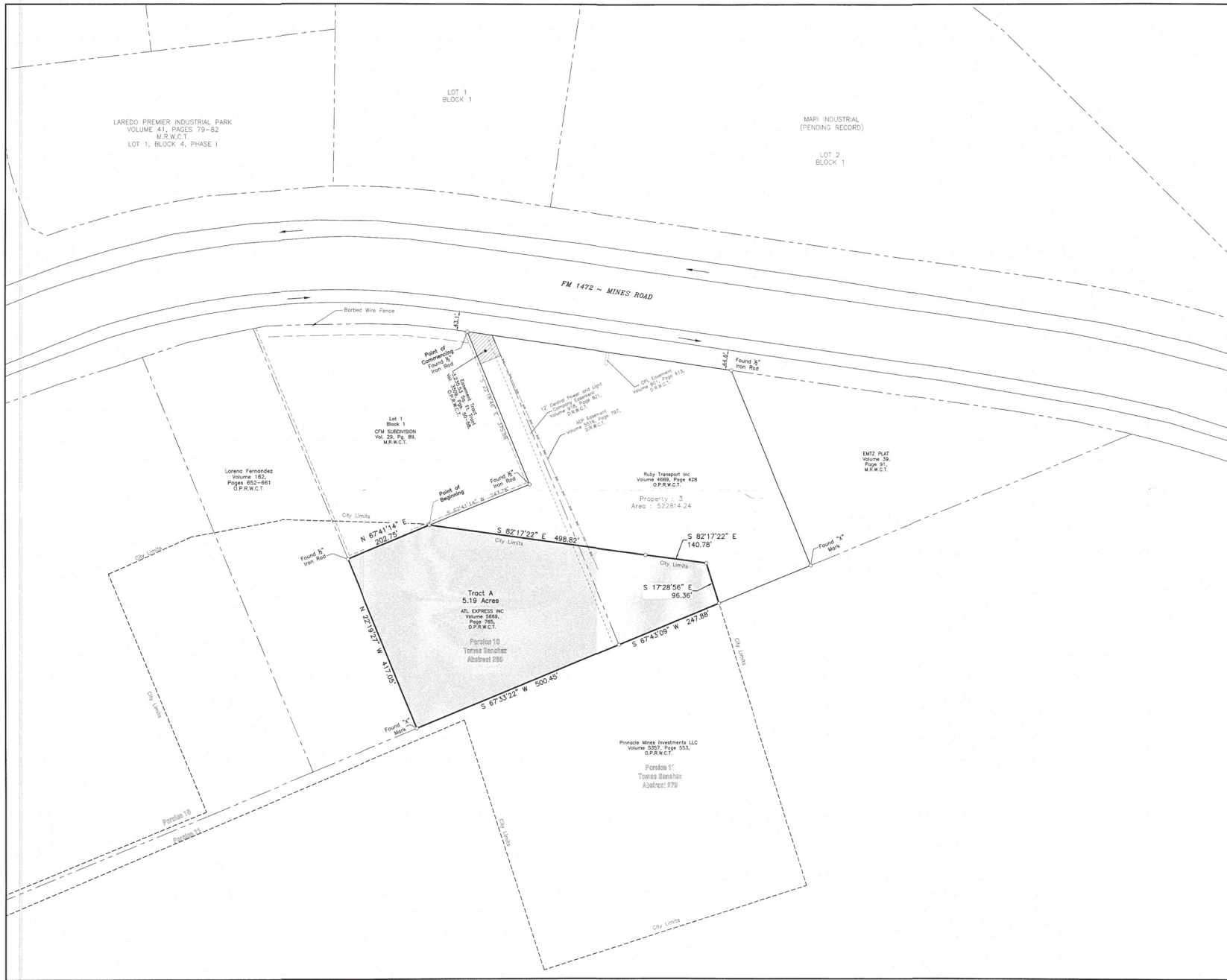


1 inch = 250 feet

Legend

- ARP Laredo Tract
- 200' Buffer
- City Limits

EXHIBIT A



BASIS OF BEARINGS:
 G.P.S., TEXAS STATE PLANE COORDINATE SYSTEM,
 TEXAS SOUTH ZONE 4200, NAD83, USPT.

DISCLAIMER:
 1. THIS SURVEY DID NOT REQUIRE NOR DID IT
 INCLUDE ANY RESEARCH AND INVESTIGATION
 OF SERVITUDES OR EASEMENTS
 2. NOT ALL EASEMENTS OR UTILITIES SHOWN
 HERE ON.



STATE OF TEXAS
 COUNTY OF WEBB
 I, ENRIQUE A. MEJO II, A REGISTERED PROFESSIONAL LAND SURVEYOR
 IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SURVEY WAS
 MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY
 INCLUDING AN INSPECTION OF THE RECORDS, THAT THE CORNER
 MONUMENTS SHOWN WERE PROPERLY PLACED OR LOCATED UNDER
 MY SUPERVISION.
 ENRIQUE A. MEJO II
 01-15-26
 Enrique A. Mejo II, R.P.L.S. No. 5653 DATE

Annexation Survey of
 Tract A, being a 5.19 acre tract of land out of a
 tract of land conveyed by deed to Ruby Transport Inc.
 Volume 4669, Page 426, and ATX EXPRESS INC.
 Volume 5669, Page 765, Official Public Records, Webb
 County, Texas, situated partially within City of Laredo,
 and Webb County, Texas.

Blue Top
 Land Surveying
 101 West Hibbs, Suite 10
 Laredo, Texas 78041
 Phone: (956) 724-8423
 Fax: (956) 712-2600
 FIRM No: 10071800



REVISED
 DATE:
 DRAWN BY: E.L.
 CHECKED BY: E.A.M.
 DATE: 01-15-26
 JOB No: 255012
 (Sheet 1 of 1)

FILE: 250012 annexation_survey.dwg

EXHIBIT A



Blue Top Land Surveying
101 W. Hillside, Suite 10
Laredo, Texas 78041
956-724-8423 712-2580 fax
FIRM#10071800

Field Notes

Tract A, being a 5.19 acre tract of land being out of a tract of land conveyed by deed to ATL Express Inc. and Ruby Transport Inc. situated in Porcion 10, Tomas Sanchez, Abstract 280, Webb County, Texas

Tract A, being a tract of land containing 5.19 acre conveyed by deed to ATL Express Inc, recorded in Volume 566, Page 765, Official Public Records, Webb County, Texas, and a tract of land conveyed to Ruby Transport, Inc., recorded in Volume 4669, Page 428, Official Public Records, Webb County, Texas, situated in Porcion 10, Tomas Sanchez, Abstract 280, Webb County, Texas, said 5.19 acre tract being more particularly described by metes and bounds as follows:

Commencing at a ½” iron rod found at the most northerly corner of Lot 1, Block 1, CFM Subdivision, recorded in Volume 29, Page 89, Map Records, Webb County, Texas, at the southerly right of way line of FM 1472 ~ Mines Road, Thence, **South 22°18’46” East, 375.98 feet**, to a ½” **iron rod found**, Thence, **South 67°41’14” West, 247.78 feet** to a point at the south line of said Lot 1, Block 1, CFM Subdivision and being the **Point of Beginning** and the most northerly corner of the herein described tract;

Thence, along the city limit line the following courses and distances;

South 82°03’22” East, 498.82 feet, for a point of deflection of the herein described tract;

South 82°17’22” East, 140.78 feet, for a point of deflection of the herein described tract;

South 17°28’56” East, 96.36 feet, to a point at the north line of a tract conveyed to Pinnacle Mines Investments, LLC, recorded in Volume 5357, Page 553, Official Public Records, Webb County, Texas, for the southeast corner of the herein described tract;

Thence, along the northerly line of said Pinnacle Mines tract, **South 67°43’09” West, 247.88 feet**, for a point of deflection of the herein described tract;

Thence, along the northerly line of said Pinnacle Mines tract, **South 67°33’22” West, 500.45 feet** to the southeast corner of a tract of land conveyed to Lorena Fernandez recorded in Volume 162, Pages 652-661, Official Public Records, Webb County, Texas, for the southwest corner of the herein described tract;

Thence, along the easterly line of a tract of land conveyed to Lorena Fernandez, **North 22°19’27” West, 417.05 feet**, to a ½” **iron rod found** at the southerly corner of aforementioned Lot 1, Block 1, CFM Subdivision, for the most westerly northwest corner of the herein described tract;

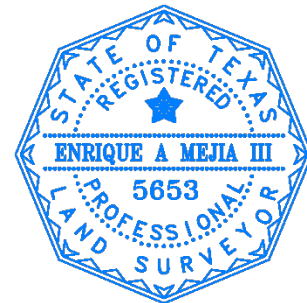
Thence, along the south line CFM Subdivision, **North 67°41’14” East, 202.75 feet**, to return and close at the **POINT OF BEGINNING** of this 5.19 acre tract, more or less.

Basis of Bearings:

G.P.S., Texas State Plane Coordinate System,
Texas South Zone 4205, NAD83, USFT.

State of Texas:

County of Webb:



I, **Enrique A. Mejia III**, a Registered Professional Land Surveyor in the State of Texas, do hereby state that the above captioned “Field Notes” and attached “Drawing” was prepared from an actual survey performed on the ground under my supervision.



R.P.L.S. No. 5653 – Texas

01-15-25

Current Date



Blue Top Land Surveying
101 W. Hillside, Suite 10
Laredo, Texas 78041
956-724-8423 712-2580 fax
FIRM#10071800

Closure of
Tract A, being a 5.19 acre tract of land being out of a tract of land
conveyed by deed to ATL Express Inc. and Ruby Transport Inc.
situated in Porcion 10, Tomas Sanchez, Abstract 280, Webb County, Texas

North:17,127,965.36' East:630,714.91'

Segment# 1: Line

Course: S82° 17' 22"E Length: 498.82'
North: 17,127,898.44' East: 631,209.22'

Segment# 2: Line

Course: S82° 17' 22"E Length: 140.78'
North: 17,127,879.55' East: 631,348.73'

Segment# 3: Line

Course: S17° 28' 56"E Length: 96.36'
North: 17,127,787.64' East: 631,377.68'

Segment# 4: Line

Course: S67° 43' 09"W Length: 247.88'
North: 17,127,693.66' East: 631,148.31'

Segment# 5: Line

Course: S67° 33' 22"W Length: 500.45'
North: 17,127,502.60' East: 630,685.76'

Segment# 6: Line

Course: N22° 19' 27"W Length: 417.05'
North: 17,127,888.39' East: 630,527.35'

Segment# 7: Line

Course: N67° 41' 14"E Length: 202.75'
North: 17,127,965.36' East: 630,714.92'

Perimeter: 2,104.08' Area: 5.19Acre
Error Closure: 0.00 Course: N72° 10' 11"E
Error North : 0.001 East: 0.003

Precision 1: 2,104,090,000.00

State of Texas:
County of Webb:

I, **Enrique A. Mejia III**, a Registered Professional Land Surveyor in the State of Texas, do hereby state that the above captioned "Clorure" was prepared from an actual survey performed on the ground under my supervision.



R.P.L.S. No. 5653 – Texas

01-16-25
Current Date

FEASIBILITY STUDY

TRACT 3: ARP Laredo Tract **Acres:** 5.19
APPLICANT: Luke Colbert - ARP Laredo, LLC
LOCATION: South of FM 1472 and North of Mercury Mine Road
PROPOSED DEVELOPMENT: Industrial **Proposed Take Down:** 2026

	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	Build-out
Estimated population per development year	0	0	0	0	0	0	0	0	0	0	0
Total acreage	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19
Single family dwelling units	0	0	0	0	0	0	0	0	0	0.00	0
Institutional	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Industrial/ commercial acreage	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19	5.19
Park/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00

Taxable Value (cumulative)	\$457,622.00	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91	\$517,956.91
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GENERAL FUND (cumulative; rates shown are static, in all likelihood some increase will occur)

Taxes: Property	\$2,315.98	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33	\$2,621.33
Garbage Fees	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Stormwater Fees	\$0.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00	\$276.00
TOTAL	\$2,315.98	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33	\$2,897.33

**Garbage fees are not applicable to industrial sites because City of Laredo is not capable of providing services. They are serviced by private providers.*

GENERAL FUND EXPENDITURES (data based on per capita cost; cost data not available for commercial properties)

Police	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72	\$1,106.72
Fire & EMS	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09	\$710.09
Sanitation/Street Maintenance	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
TOTAL	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82	\$1,816.82

REVENUES - EXPENDITURES	499.16	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51	\$1,080.51
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ENTERPRISE SYSTEM REVENUES (cumulative)

Water System	\$0.00	\$821.68	\$838.12	\$854.88	\$871.98	\$889.41	\$907.20	\$925.35	\$943.85	\$962.73	\$962.73
Wastewater System	\$0.00	\$621.01	\$633.43	\$646.10	\$659.02	\$672.20	\$685.65	\$699.36	\$713.35	\$727.61	\$727.61

ENTERPRISE SYSTEM EXPENDITURES (cumulative)

Water System	\$0.00	\$791.40	\$807.23	\$823.37	\$839.84	\$856.64	\$873.77	\$891.24	\$909.07	\$927.25	\$927.25
Wastewater System	\$0.00	\$595.56	\$607.47	\$619.62	\$632.01	\$644.65	\$657.55	\$670.70	\$684.11	\$697.79	\$697.79

SYSTEM PROFIT/ (LOSS)	\$0.00	\$55.73	\$56.85	\$57.99	\$59.15	\$60.33	\$61.53	\$62.77	\$64.02	\$65.30	\$65.30
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Additional revenues (at proposed rates):	\$10,087	for water treatment capacity
	\$10,087	for wastewater treatment capacity

RECOMMENDATION: APPROVAL

**CITY OF LAREDO
ANNEXATION AGREEMENT AND SERVICE PLAN
TRACT 3
ARP LAREDO TRACT**

WHEREAS, the City of Laredo is a home rule municipality and a political subdivision of the State of Texas; and

WHEREAS, Chapter 43.003 of the Texas Local Government Code specifically sets out the legal requirements for the annexation of land adjoining the city limits of a home-rule municipality, such as the City of Laredo, Texas; and

WHEREAS, Luke Colbert, on behalf of ARP Laredo, LLC, has filed a voluntary petition with the City of Laredo for the annexation of 5.19 acres, more or less, tract of land, said tract of land being more particularly described by metes and bounds on the attached Exhibit "A"; and

WHEREAS, Section 1.04 of the Charter of the City of Laredo requires the execution of an annexation agreement between the City of Laredo and the landowner of the territory being annexed; and

WHEREAS, Section 43.0672 of the Texas Local Government Code, requires the preparation of a service plan describing the provision of municipal services to the territory being annexed, prior to implementation of annexation proceedings and related public hearings.

NOW, THEREFORE, FOR AND IN CONSIDERATION, of the sum of Seven-Hundred Fifty and No/100 Dollars (\$750.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the **CITY OF LAREDO**, a home-rule municipality, and ARP Laredo, LLC, being the parties to this **ANNEXATION AGREEMENT AND SERVICE PLAN**, do hereby mutually acknowledge, consent, and agree to the following terms, conditions and service plan for annexation by the City of Laredo of 5.19 acres tract of land, more or less, belonging to ARP Laredo, LLC.

SERVICE PLAN

A petition for annexation from ARP Laredo, LLC, was received for property designated as "Tract 3 (ARP Laredo Tract)" described by metes and bounds in Exhibit "A" of this Annexation Agreement and Service Plan and made a part hereof for all purposes. This Service Plan was prepared in accordance with the requirements of Section 43.0672 of the Texas Local Government Code and was available for review by the public at hearings duly held on May 18, 2026. Public notice of the hearings was provided on May 2, 2026, not more than twenty or less than ten days before the hearings as provided in Section 43.0673 of the Texas Local Government Code.

Section 1. Services to be provided on the effective date of annexation

1. Police Protection: Police protection shall be provided to the tract immediately upon the effective date of annexation. Police protection shall include traffic control enforcement, crime prevention activities, police patrol, crime investigation, and emergency response.

2. Fire protection and Emergency Medical Services: First response fire and EMS services will be provided to the area from Fire Station No. 10, which is located approximately 8.8 miles from the proposed site. Fire services include protection, prevention, and emergency medical response.

3. Solid Waste Collection: The collection and disposal of solid waste will be extended to the area within thirty days from the effective date of annexation on the same basis as other residential and institutional customers. Institutional, commercial, and industrial generators of solid waste may use city services or contract with private haulers. Disposal of all solid waste will be at the municipal sanitary landfill. Fees charged customers within the tract will be the same as all similarly classified customers.

4a. Operation and Maintenance of Public Water Services

RESIDENTIAL ANNEXATION FEE FOR WATER:

Lots under 10,000 sq.ft.	\$1,298.70/lot (135 gpcd X 3.7 person/lot X \$2.60/gal)
Lots over 10,000 sq.ft.	\$1,943.59/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR WATER:

Less than 1.0 acres	\$1,295.66/lot
Lots 1 acre and Fraction:	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Water service will be to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Water for fire protection services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

4b. Operation and Maintenance of Public Wastewater Services:

RESIDENTIAL ANNEXATION FEE FOR SANITARY SEWER:

Lots under 10,000 sq.ft.	\$2,205.20/lot (100 gpcd X 3.7 person/lot X \$5.96/gal)
Lots over 10,000 sq.ft.	\$2,591.48/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR SANITARY SEWER:

Less than 5.0 acres	\$1,593.00/acre (15 people/ac. X 18 gallons/person/day X \$5.90 gallon=\$1,593.00)
More than 5.01 acres	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Wastewater service will be provided to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Wastewater services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

5. Maintenance of roads and streets: Public roads and streets will be maintained on the effective date of the annexation in the same manner as all roads and streets within the city limits. All thoroughfare rights-of-way shall be dedicated to comply with the Long-Range Thoroughfare requirements of the City of Laredo's Comprehensive Plan. Road maintenance consists of repair of paving, maintenance of traffic lights, controls and signals, and will be provided immediately upon annexation. Street lighting is required of all new development and will be provided at petitioner's expense.

6. Operation and Maintenance of parks, playgrounds and swimming pools: Any future residential developments proposed to be constructed on the annexed property must satisfy all requirements for parkland and improvement fees, as defined in the most recently adopted Parkland Dedication Ordinance.

7. Operation and Maintenance of other public facilities: No public facilities, public buildings, or other service facilities are presently located within the tract. All facilities required by the development shall be provided at the expense of the petitioner, its successors and assigns, or jointly in cooperation with the city at such time as warranted by the development.

The Service Plan does not contemplate the creation of another political subdivision, nor will it require the funding of capital improvements by the petitioner to which petitioner has not agreed prior to the institution of proceedings, or which will be charged in any manner inconsistent with Chapter 395 of the Texas Local Government Code. The Service Plan does not propose services in the area in a manner that would have the effect of reducing by more than a negligible amount the level of fire and police protection and emergency medical services provided within the corporate boundaries of the municipality before annexation.

If the annexed area had a lower level of services, infrastructure, and infrastructure maintenance than the level of services, infrastructure, and infrastructure maintenance provided within the corporate boundaries of the municipality before annexation, a service

plan must provide the annexed area with a level of services, infrastructure, and infrastructure maintenance that is comparable to the level of services, infrastructure, and infrastructure maintenance available in other parts of the municipality with topography, land use, and population density similar to those reasonably contemplated or projected in the area.

Section 2. Capital Improvements

The tract does not require the construction or acquisition of capital improvements by the City. Petitioner agrees to provide all roadways, drainage, and all public improvements at such time as the property is platted.

Section 3. Land Use

When the annexation results in the abutment of residential uses with M-1 (Light Manufacturing District) as defined in the Laredo Land Development Code, a 100 ft. buffer yard between the different land uses shall be required, and the buffer yard shall be maintained by the property owner. This *Section 3. Land Use* shall survive the expiration of this agreement.

The Service Plan is valid for a period of ten years, and all services within the area shall be provided in accordance with the Plan. Should an ordinance pertaining to reserve areas or impact fees be adopted by the City Council, the ordinance shall supersede any provisions established herein.

THIS ANNEXATION AGREEMENT AND SERVICE PLAN WAS ENTERED INTO AND EXECUTED ON THIS _____ DAY OF _____, 2026.

**CITY OF LAREDO,
a Texas Municipal Corporation**

By: _____

**Joseph Neeb
City Manager**

ATTESTED:

Mario Maldonado, Jr.
City Secretary

ARP Laredo, LLC

By: _____
Luke Colbert

APPROVED AS TO FORM:

Doanh "Zone" T. Nguyen
City Attorney

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ____ day of _____ ,
2026 by Joseph Neeb, for and on behalf of the City of Laredo.

Notary Public, State of Texas

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ____ day of _____ ,
2026 by Luke Colbert, on behalf of ARP Laredo, LLC.

Notary Public, State of Texas

ORDINANCE NO. 2026-O-XX

ALTERING AND EXTENDING THE BOUNDARY LIMITS OF THE CITY OF LAREDO, ANNEXING ADDITIONAL TERRITORY OF APPROXIMATELY 5.19 ACRES OF LAND, MORE OR LESS, LOCATED SOUTH OF FM 1472 AND NORTH OF MERCURY MINE ROAD; PROVIDING FOR THE EFFECTIVE DATE OF THE ORDINANCE; AUTHORIZING THE CITY MANAGER TO EXECUTE A CONTRACT ADOPTING A SERVICE PLAN FOR THE ANNEXED TERRITORY; AND ESTABLISHING THE INITIAL ZONING OF M-1 (LIGHT INDUSTRIAL DISTRICT) FOR THE SUBJECT TRACT, AS DESCRIBED BY METES AND BOUNDS IN THE ATTACHED EXHIBIT "A."

WHEREAS, the land hereinafter described is contiguous to the corporate limits of the City of Laredo, Texas, and is located within its extraterritorial jurisdiction; and

WHEREAS, the owner of the land has applied for the voluntary annexation of the land, described by the metes and bounds and attached hereto and made a part hereof for all the purposes, as set out in Exhibit "A"; and

WHEREAS, the City of Laredo has an unused allocation from prior calendar years; and

WHEREAS, the City Council believes and so finds that the annexation of such land is in the public interest and will promote the general welfare; and

WHEREAS, a public hearing was held in compliance with Article 43.0673, of the Municipal Annexation Act, giving all persons interested in such annexation an opportunity to be heard; and

WHEREAS, notice of such public hearing was duly given, as provided by law, and such hearing was held on the date and at the time, place and hour so announced; and

WHEREAS, at said Public Hearing, the proposed Service Plan for the annexation land herein described was considered by the City Council and was made available for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City of Laredo hereby adopts a Service Plan for the extension of municipal services into the land described in Exhibit "A". A copy of said Service Plan is marked Exhibit "B" attached hereto and made a part hereof for all purposes.

Section 2: That the following described land containing 5.19 acres lying adjacent to and adjoining the City of Laredo is hereby added and annexed to the City of Laredo,

and said land be and is included within the boundary limits of the City of Laredo, and the present boundary limits of said City, at the various points contiguous to the area hereinafter described, are altered and amended so as to include said area within the corporate limits of the City of Laredo. That from and after the effective date of this Ordinance, the Boundary Limits of the City of Laredo shall include all such additional, adjacent, and hereby annexed land herein above described in Section 2. That from and after the final passage and adoption of this Ordinance, the Boundary Limits of the City of Laredo, Texas, shall be as herein above set out in Exhibit "A", and the property situated therein shall bear its pro rata part of the taxes levied by the City of Laredo, and the inhabitants thereof shall be entitled to all the rights and privileges of all the citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Laredo.

Section 3: That the Zoning Map of the City of Laredo be and is hereby amended to show the initial zoning designation boundaries for the land, as per the attached survey and metes and bounds, as set out in Exhibit "A", attached hereto and made a part hereof for all purposes as M-1 (Light Manufacturing District).

Section 4: Severability

If any provision, section subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity or another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 5: Open Meeting

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

Section 6: That this Ordinance shall be published in the manner provided in article II, Section 2.09 (D) of the Charter of the City of Laredo.

Section 7: This Ordinance shall become effective upon passage.

APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 20.

Planning & Zoning Public Hearing &

SUBJECT

Public hearing and Introductory Ordinance concerning a voluntary annexation request by Robert J. Gilpin, altering and extending the boundary limits of the City of Laredo by annexing approximately 150.8236-acres, more or less, tract of land located northwest of Nicolas D. Hachar Road and River Bank Drive; providing for the effective date of the ordinance; authorizing the City Manager to execute a contract adopting a service plan for the annexed territory; and establishing the initial zoning of M-1 (Light Manufacturing District) for the subject tract, as described by metes and bounds in the attached Exhibit "A."

The Planning and Zoning Commission recommended approval of the proposed annexation and the initial zoning of M-1 (Light Manufacturing District). Staff supports the proposed annexation and the initial zoning of M-1 (Light Manufacturing District).

AN-004-2026
District 7 - Cm. Vanessa Perez

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

Pursuant to Section 43.0673 of the Texas Local Government Code, a public hearing before the City Council was held for the proposed annexation on May 18, 2026. The petition will subsequently go before the City Council for final reading of the ordinance on July 20, 2026.

PROPERTY INFORMATION:

Annexation Type: Voluntary annexation
Petitioner: Robert J. Gilpin

Tract: Approximately 150.8236 acres, more or less
Location: Northwest of Nicolas D. Hachar road River Bank Drive (Pinnacle Industrial Center)
Site: Vacant and undeveloped
Council District: District 7 - Cm. Vanessa Perez
Proposed Use: M-1 (Light Manufacturing District)

SURROUNDING LAND USES:

To the north and east is the Pinnacle Industrial Center, which includes developed sites and areas under construction. To the south is the El Pico Water Treatment Plant. To the west is vacant and

undeveloped land extending toward the Rio Grande River.

COMPREHENSIVE PLAN:

The Future Land Use Map identifies this tract as High Density Residential and Parks.
https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39

TRANSPORTATION PLAN:

The Future Transportation Plan identifies FM 1472 as expressway.
<https://www.cityoflaredo.com/home/showpublisheddocument/21421/638941324987500000>

PUBLIC NOTIFICATION:

Letters sent to surrounding property owners: (11) In Favor: (0) Opposed: (0)

STAFF COMMENTS:

Property owners have 180 days following the effective date of an annexation to request a zone change without a fee charged.

COMMITTEE RECOMMENDATION

The petition for annexation was considered by the Planning and Zoning Commission on April 16, 2026.

The P&Z Commission, by a 7 to 0 vote, recommended approval of the proposed annexation and initial zoning of M-1 (Light Manufacturing District).

STAFF RECOMMENDATION

Staff supports the proposed annexation.

Staff supports the initial zoning of M-1 (Light Manufacturing District). The proposed zoning is consistent with the surrounding industrial development pattern, as the subject tract is located within the Pinnacle Industrial Center and surrounded by existing M-1 zoning uses.

IMPACT ANALYSIS

M-1 (Light Manufacturing District):

The purpose of the M-1 Light Manufacturing District is to encourage the development of manufacturing and wholesale business establishments, which are clean quiet, and free of hazardous or objectionable elements, such as noise, odor, dust, smoke or glare. Research activities are encouraged. This district is further designed to act as a transitional use between industrial uses and other less intense and residential uses.

Is this change contrary to the established land pattern?

No. The area is characterized by industrial development, including the Pinnacle Industrial Center and the El Pico Water Treatment Plant.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The subject tract is located within the Pinnacle Industrial Center and is surrounded by industrial zoning.

Will this change adversely influence living condition in the neighborhood?
No. There are no established residential neighborhoods in the area.

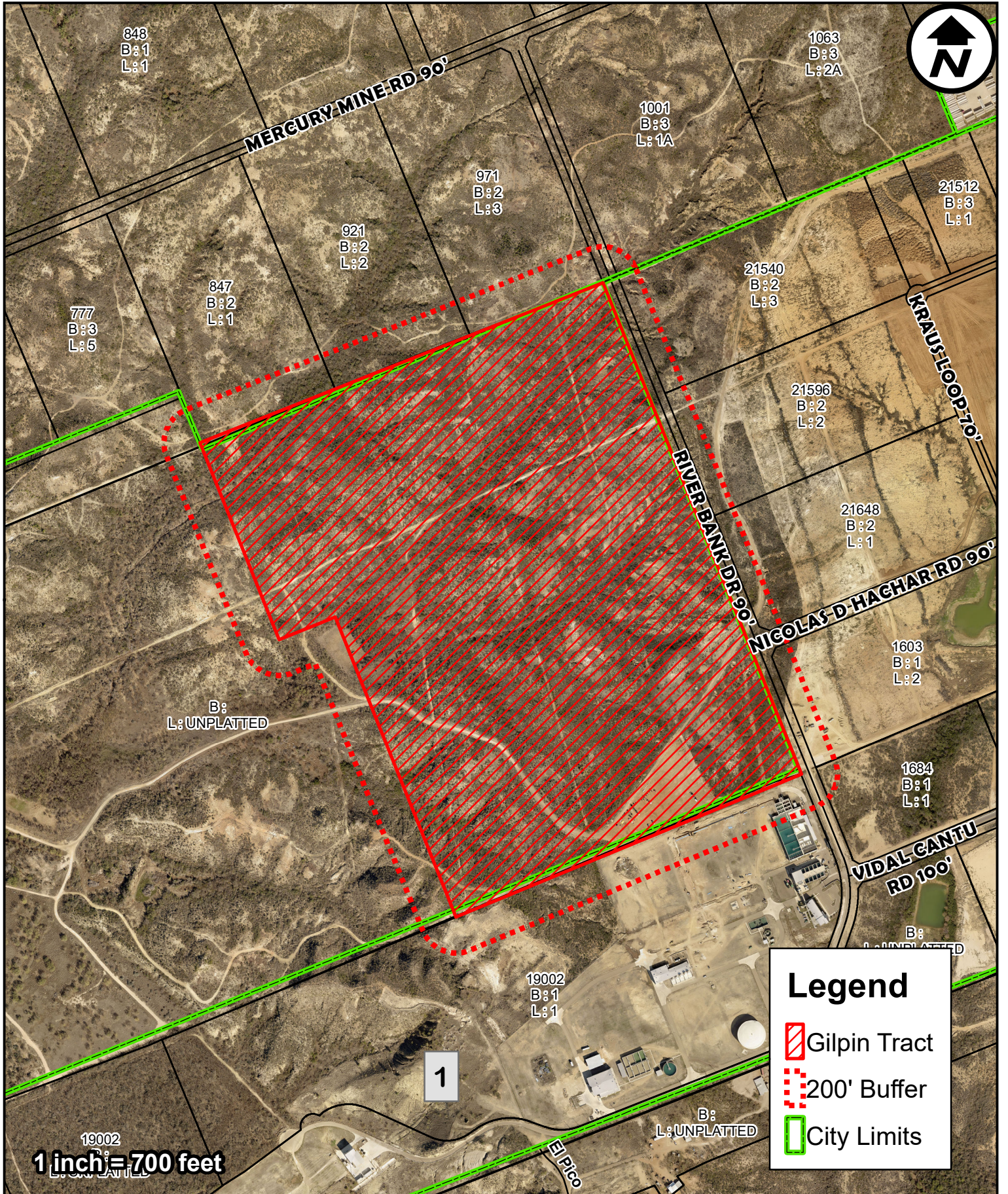
Are there substantial reasons why the property cannot be used in accordance with existing zoning?
N/A

Fiscal Impact


Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.

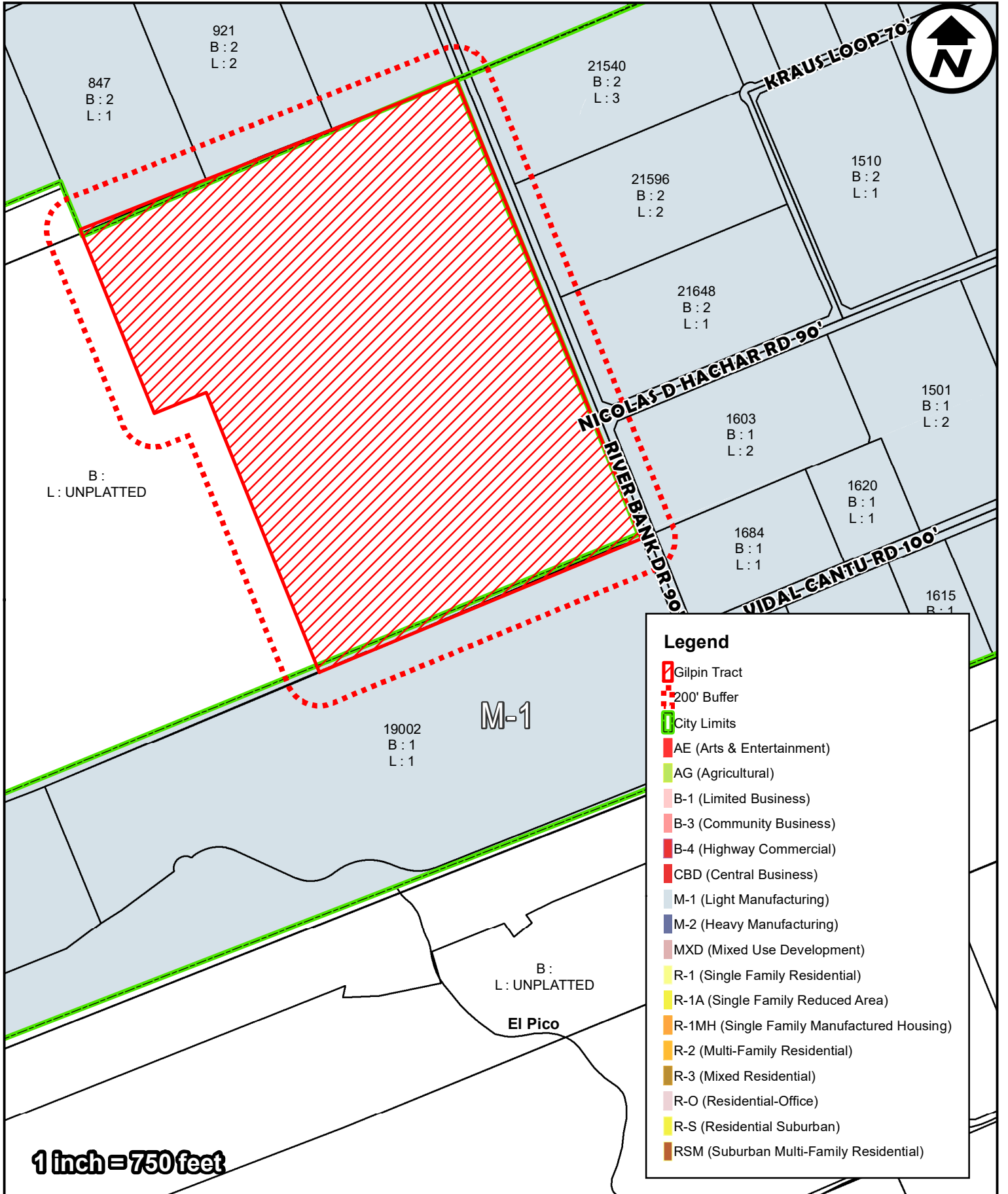


Legend

-  Gilpin Tract
-  200' Buffer
-  City Limits

ZONING MAP

GILPIN ENGINEERING



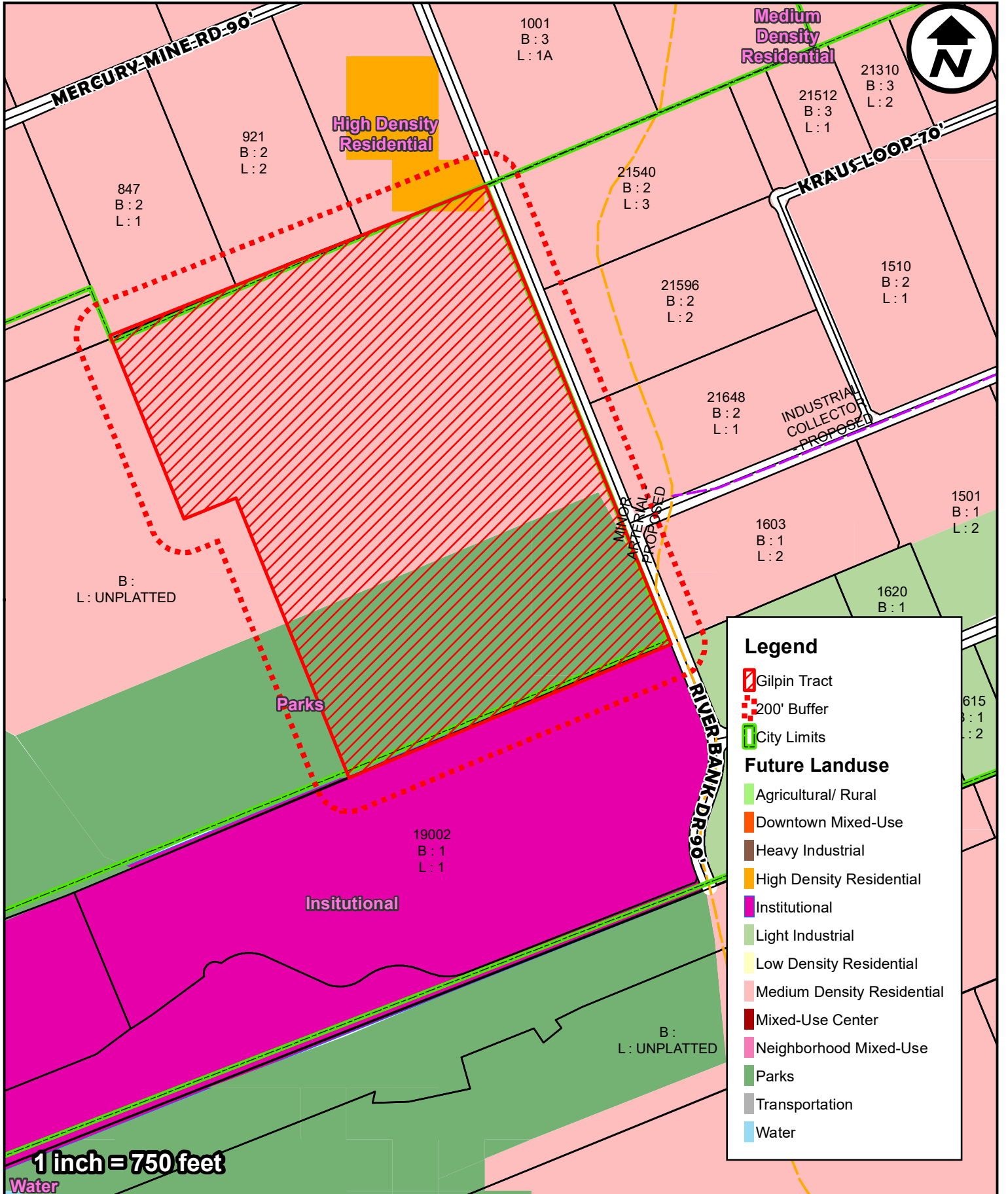
Legend

- Gilpin Tract
- 200' Buffer
- City Limits
- AE (Arts & Entertainment)
- AG (Agricultural)
- B-1 (Limited Business)
- B-3 (Community Business)
- B-4 (Highway Commercial)
- CBD (Central Business)
- M-1 (Light Manufacturing)
- M-2 (Heavy Manufacturing)
- MXD (Mixed Use Development)
- R-1 (Single Family Residential)
- R-1A (Single Family Reduced Area)
- R-1MH (Single Family Manufactured Housing)
- R-2 (Multi-Family Residential)
- R-3 (Mixed Residential)
- R-O (Residential-Office)
- R-S (Residential Suburban)
- RSM (Suburban Multi-Family Residential)

1 inch = 750 feet

FUTURE LANDUSE

GILPIN ENGINEERING



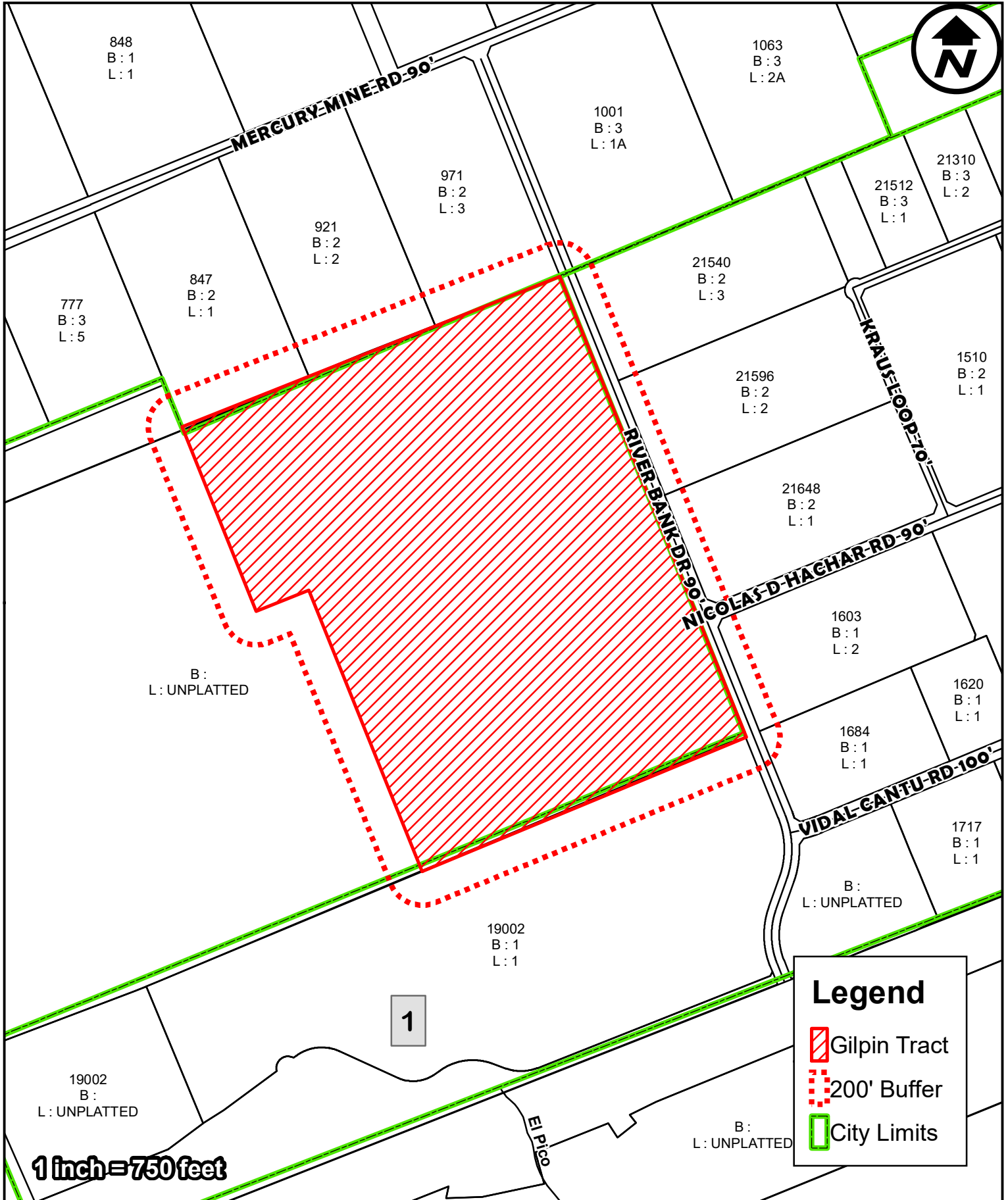
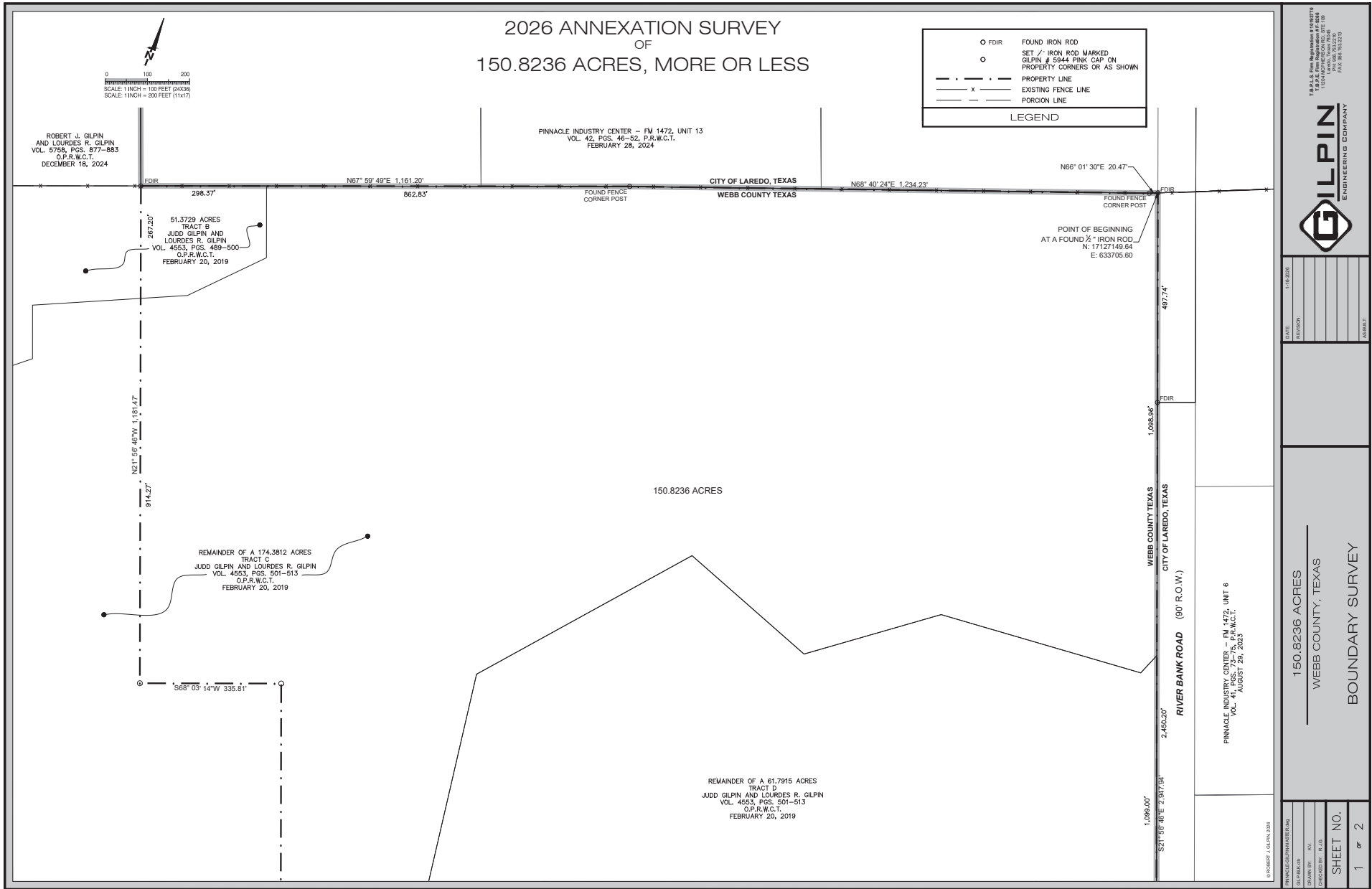


EXHIBIT A



T.S.B.L.S. Firm Registration # 1592779
T.S.B.L.S. Firm Registration # 1592779
T.S.B.L.S. Firm Registration # 1592779
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T.S.B.L.S. Firm Registration # 1592779



DATE:	1/18/2026
REVISION:	
APPROVAL:	

DATE:	1/18/2026
REVISION:	
APPROVAL:	

DATE:	1/18/2026
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DATE:	1/18/2026
REVISION:	
APPROVAL:	

EXHIBIT A

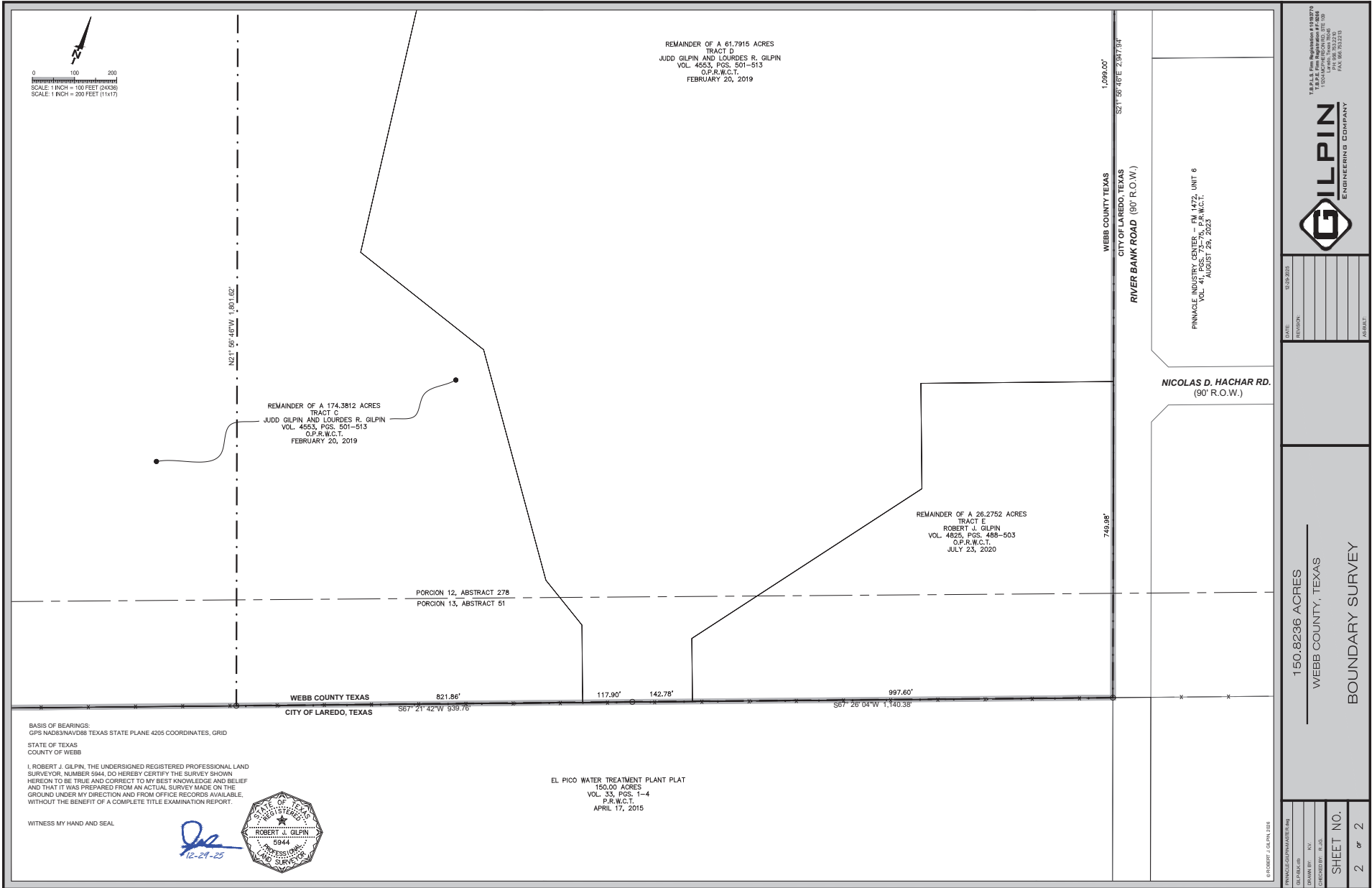


EXHIBIT A

December 29, 2025

STATE OF TEXAS *
COUNTY OF WEBB*
Annexation 2026
150.8236 Acres

FIELD NOTES DESCRIBING A 150.8236 ACRE PARCEL OF LAND, MORE OR LESS, BEING OUT OF A 51.3729 ACRE TRACT (TRACT B), RECORDED IN VOLUME 4553, PAGES 489-500, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS, THE REMAINDER OF A 174.3812 ACRE TRACT (TRACT C) AND A 61.7915 ACRE TRACT (TRACT D), RECORDED IN VOLUME 4553, PAGES 501 - 513, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS, AND THE REMAINDER OF A 26.2752 ACRE TRACT, RECORDED IN VOLUME 4825, PAGES 488 - 503, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY, TEXAS. HEREIN DESCRIBED PARCEL SITUATED IN PORCION 12, ABSTRACT 278, ORIGINAL GRANTEE S. SANCHES AND PORCION 13, ABSTRACT 51, ORIGINAL GRANTEE J.M. GARCIA, BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

Beginning at a found ½ inch iron rod being an interior corner of Pinnacle Industry Center – FM 1472, Unit 13, recorded in Volume 42, Pages 46 – 52, Plat Records of Webb County, Texas, same being situated on the southwesterly right-of-way line of River Bank Road, for the **POINT OF BEGINNING** of this 150.8236 acre parcel, more or less, and the **northerly corner** hereof;

Thence, S21° 56' 46"E, with the common boundary between said Pinnacle Industry Center – FM 1472, Unit 13 and said remainder of a 174.3812 Acre Tract, a distance of 497.74 feet, to a found ½ inch iron rod being an exterior corner of said Pinnacle Industry Center – FM 1472, Unit 13, same being an exterior corner of Pinnacle Industry Center – FM 1472, Unit 6, recorded in Volume 41, Pages 73 - 75, Plat Records of Webb County, Texas, continuing with the same bearing and the common boundary between said Pinnacle Industry Center – FM 1472, Unit 6 and said remainder of a 174.3812 Acre Tract, a distance of 601.22 feet, to a point being the northerly corner of said the remainder of a 61.7915 Acre Tract, continuing with the same bearing and the common boundary between said Pinnacle Industry Center – FM 1472, Unit 6 and said remainder of 61.7915 Acre Tract, a distance of 1,099.00 feet, to a point being the northerly corner of said remainder of a 26.2752 Acre Tract, same being the westerly corner of said remainder of a 61.7915 Acre Tract, continuing with the same bearing and the common boundary between said Pinnacle Industry Center – Fm 1472, Unit 6 and said remainder of a 26.2752 Acre Tract, a distance of 749.98 feet, for a total distance of 2,947.94 feet, with the northeasterly line of herein described parcel, same being the southwesterly right-of-way line of River Bank Road, to a set ½ inch iron rod, being the southerly corner of said Pinnacle Industry Center – FM 1472, Unit 6, situated on the northwesterly line of El Pico Water Treatment Plant Plat, recorded in Volume 33, Pages 1-4, Plat Records of Webb County, Texas, for the **easterly corner** hereof;

EXHIBIT A

December 29, 2025

Thence, S67° 26' 04"W, along a fence occupied as the common boundary between said El Pico Water Treatment Plant Plat and said remainder of a 26.2752 Acre Tract, a distance of 997.60 feet, to a point being the southerly corner of said remainder of a 26.2752 Acre Tract, same being an exterior corner of said remainder of a 61.7915 Acre Tract, continuing with the same bearing along a fence occupied as the common boundary between said El Pico Water Plant Plat and said remainder of a 61.7915 Acre Tract, a distance of 142.78 feet, for a total distance of 1,140.38 feet, with the southeasterly line of herein described parcel, to a set ½ inch iron rod, for a point of deflection hereof;

Thence, S67° 21' 42"W, along a fence occupied as the common boundary between said El Pico Water Treatment Plant Plat and said remainder of a 61.7915 Acre Tract, a distance of 117.90 feet, to a point being the southerly corner of said remainder of a 61.7915 Acre Tract, same being an exterior corner of said remainder of a 174.3812 Acre Tract, continuing with the common boundary along a fence occupied as the common boundary between said El Pico Water Treatment Plant Plat and said remainder of a 174.3812 Acre tract a distance of 821.86 feet, for a total distance of 939.76 feet, with the southeasterly line of herein described parcel, to a set ½ inch iron rod, for the **southerly corner** hereof;

Thence, N21° 56' 46"W, with the southwesterly line of herein described parcel, a distance of 1,801.62 feet, to a set ½ inch iron rod, for an interior corner hereof;

Thence, S68° 03' 14"W, with the southwesterly line of herein described parcel, a distance of 335.81 feet, to a set ½ inch iron rod, for an exterior corner hereof;

Thence, N21° 56' 46"W, with the southwesterly line of herein described parcel, a distance of 914.27 feet, to a point situated on the common boundary line between said 51.3729 Acre Tract and said remainder of a 174.3812 Acre Tract, continuing with the same bearing and southwesterly line of herein described parcel, a distance of 267.20 feet, for a total distance of 1,181.47 feet, to a found ½ inch iron rod, being the southerly corner of said Pinnacle Industry Center – FM 1472, Unit 13, same being the easterly corner of a 66.4720 Acre Tract, recorded in Volume 5758, Pages 877 – 883, Official Public Records of Webb County Texas, for the **westerly corner** hereof;

Thence, N67° 59' 49" E, along a fence occupied as the common boundary between said Pinnacle Industry Center – FM 1472, Unit 13 and said 51.3729 Acre Tract, a distance of 298.37 feet, to a point being the northerly corner of said 51.3729 Acre Tract, same being an exterior corner of said remainder of a 174.3812 Acre Tract, continuing with the same bearing along a fence occupied as the common boundary between said Pinnacle Industry Center FM 1472, Unit 13 and said remainder of a 174.3812 Acre Tract, a distance of 862.83 feet, for a total distance of 1,161.20 feet, with the northwesterly line of herein described parcel, for a point of deflection hereof;

EXHIBIT A

December 29, 2025

Thence, N68° 40' 24" E, along a fence occupied as the common boundary between said Pinnacle Industry Center – FM 1472, Unit 13 and said remainder of a 174.3812 Acre Tract, same being the northwesterly line of herein described parcel, a distance of 1,234.23 feet, to a found fence corner post, for a point of deflection hereof;

Thence, N66° 01' 30"E, along a fence occupied as the common boundary between said Pinnacle Industry Center – FM 1472, Unit 13 and said remainder of a 174.3812 Acre Tract, a distance of 20.47 feet, same being the northwesterly line of herein described parcel, to said **POINT OF BEGINNING**, containing within these metes and bounds 150.8236 acres, more or less.

BASIS OF BEARINGS:
GPS NAD83/NAVD88 TEXAS STATE PLANE 4205 – GRID

STATE OF TEXAS
COUNTY OF WEBB

I, ROBERT J. GILPIN, THE UNDERSIGNED REGISTERED PROFESSIONAL LAND SURVEYOR, NUMBER 5944, DO HEREBY CERTIFY THE FOREGOING METES AND BOUNDS DESCRIPTION TO BE TRUE AND CORRECT TO MY BEST KNOWLEDGE AND BELIEF, AND THAT IT WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY DIRECTION AND FROM OFFICE RECORDS AVAILABLE, WITHOUT THE BENEFIT OF A COMPLETE TITLE EXAMINATION REPORT.

WITNESS MY HAND AND SEAL


12-29-25



The seal is an octagonal stamp with a decorative border. The text inside the seal reads: "STATE OF TEXAS" at the top, "REGISTERED" below it, a five-pointed star in the center, "ROBERT J. GILPIN" below the star, "5944" below the name, and "PROFESSIONAL LAND SURVEYOR" at the bottom.

2026 ANNEXATION
150.8236 ACRES

Point of Beginning: North: 17127149.64' East: 633705.60'

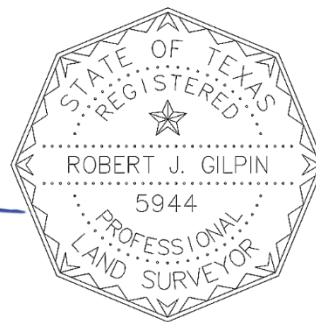
Line Course : S66° 01' 30"W Length: 20.47'
North : 17127141.32' East: 633686.90'
Line Course : S68° 40' 24"W Length: 1234.23'
North : 17126692' East: 632537.19'
Line Course : S67° 59' 49"W Length: 1161.20'
North : 17126257' East: 631460.56'
Line Course : S21° 56' 46"E Length: 1181.47'
North : 17125161.55' East: 631902.12'
Line Course : N68° 03' 14"E Length: 335.81'
North : 17125287.05' East: 632213.60'
Line Course : S21° 56' 46"E Length: 1801.62'
North : 17123615.98' East: 632886.92'
Line Course : N67° 21' 42"E Length: 939.76'
North : 17123977.71' East: 633754.28'
Line Course : N67° 26' 04"E Length: 1140.38'
North : 17124415.32' East: 634807.35'
Line Course: N21° 56' 46"W Length: 2947.94'
North : 17127149.64' East: 633705.61'

Closure Course : N27° 38' 19"W Length: 0.00'
North : 17127149.64' East: 633705.60'

Error North:-0.00 East: 0.00

Perimeter: 10,762.88' Area: 150.8236 Acres


12-29-25



FEASIBILITY STUDY

TRACT 4: Gilpin Tract Acres: 150.82

APPLICANT: Robert J. Gilpin

LOCATION: Northwest of Nicolas D. Hachar road and River Bank Drive

PROPOSED DEVELOPMENT: Industrial **Proposed Take Down:** 2026

	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	Build-out
Estimated population per development year	0	0	0	0	0	0	0	0	0	0	0
Total acreage	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82
Single family dwelling units	0	0	0	0	0	0	0	0	0	0	0
Institutional	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Industrial/ commercial acreage	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82	150.82
Park/Open Space (acres)	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Taxable Value (cumulative)	\$53,245.00	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32	\$41,768,095.32
GENERAL FUND (cumulative; rates shown are static, in all likelihood some increase will occur)											
Taxes: Property	\$269.47	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15	\$211,384.15
Garbage Fees	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Stormwater Fees	\$0.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00	\$1,104.00
TOTAL	\$269.47	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15	\$212,488.15
<i>*Garbage fees are not applicable to industrial sites because City of Laredo is not capable of providing services. They are serviced by private providers.</i>											
GENERAL FUND EXPENDITURES (data based on per capita cost; cost data not available for commercial properties)											
Police	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90	\$4,426.90
Fire & EMS	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36	\$2,840.36
Sanitation/Street Maintenance	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56	\$489.56
TOTAL	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82	\$7,756.82
REVENUES - EXPENDITURES	-\$7,487.35	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34	\$204,731.34
ENTERPRISE SYSTEM REVENUES (cumulative)											
Water System	\$0.00	\$3,286.73	\$3,352.46	\$3,419.51	\$3,487.90	\$3,557.66	\$3,628.81	\$3,701.39	\$3,775.42	\$3,850.93	\$3,850.93
Wastewater System	\$0.00	\$2,484.04	\$2,533.72	\$2,584.40	\$2,636.09	\$2,688.81	\$2,742.59	\$2,797.44	\$2,853.39	\$2,910.45	\$2,910.45
ENTERPRISE SYSTEM EXPENDITURES (cumulative)											
Water System	\$0.00	\$3,165.60	\$3,228.91	\$3,293.49	\$3,359.36	\$3,426.54	\$3,495.08	\$3,564.98	\$3,636.28	\$3,709.00	\$3,709.00
Wastewater System	\$0.00	\$2,382.24	\$2,429.88	\$2,478.48	\$2,528.05	\$2,578.61	\$2,630.18	\$2,682.79	\$2,736.44	\$2,791.17	\$2,791.17
SYSTEM PROFIT/ (LOSS)	\$0.00	\$222.94	\$227.39	\$231.94	\$236.58	\$241.31	\$246.14	\$251.06	\$256.08	\$261.20	\$261.20
Additional revenues (at proposed rates):											
	\$293,141	for water treatment capacity									
	\$293,141	for wastewater treatment capacity									
RECOMMENDATION: APPROVAL											

**CITY OF LAREDO
ANNEXATION AGREEMENT AND SERVICE PLAN
TRACT 4
GILPIN TRACT**

WHEREAS, the City of Laredo is a home rule municipality and a political subdivision of the State of Texas; and

WHEREAS, Chapter 43.003 of the Texas Local Government Code specifically sets out the legal requirements for the annexation of land adjoining the city limits of a home-rule municipality, such as the City of Laredo, Texas; and

WHEREAS, Robert J. Gilpin has filed a voluntary petition with the City of Laredo for the annexation of 150.8236 acres, more or less, tract of land, said tract of land being more particularly described by metes and bounds on the attached Exhibit "A"; and

WHEREAS, Section 1.04 of the Charter of the City of Laredo requires the execution of an annexation agreement between the City of Laredo and the landowner of the territory being annexed; and

WHEREAS, Section 43.0672 of the Texas Local Government Code, requires the preparation of a service plan describing the provision of municipal services to the territory being annexed, prior to implementation of annexation proceedings and related public hearings.

NOW, THEREFORE, FOR AND IN CONSIDERATION, of the sum of Seven-Hundred Fifty and No/100 Dollars (\$750.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the **CITY OF LAREDO**, a home-rule municipality, and Robert J. Gilpin being the parties to this **ANNEXATION AGREEMENT AND SERVICE PLAN**, do hereby mutually acknowledge, consent, and agree to the following terms, conditions and service plan for annexation by the City of Laredo of 150.8236 acres tract of land, more or less, belonging to Robert J. Gilpin.

SERVICE PLAN

A petition for annexation from Robert J. Gilpin, was received for property designated as "Tract 4 (Gilpin Tract)" described by metes and bounds in Exhibit "A" of this Annexation Agreement and Service Plan and made a part hereof for all purposes. This Service Plan was prepared in accordance with the requirements of Section 43.0672 of the Texas Local Government Code and was available for review by the public at hearings duly held on May 18, 2026. Public notice of the hearings was provided on May 2, 2026, not more than twenty or less than ten days before the hearings as provided in Section 43.0673 of the Texas Local Government Code.

Section 1. Services to be provided on the effective date of annexation

1. Police Protection: Police protection shall be provided to the tract immediately upon the effective date of annexation. Police protection shall include traffic control enforcement, crime prevention activities, police patrol, crime investigation, and emergency response.

2. Fire protection and Emergency Medical Services: First response fire and EMS services will be provided to the area from Fire Station No. 10, which is located approximately 8.8 miles from the proposed site. Fire services include protection, prevention, and emergency medical response.

3. Solid Waste Collection: The collection and disposal of solid waste will be extended to the area within thirty days from the effective date of annexation on the same basis as other residential and institutional customers. Institutional, commercial, and industrial generators of solid waste may use city services or contract with private haulers. Disposal of all solid waste will be at the municipal sanitary landfill. Fees charged customers within the tract will be the same as all similarly classified customers.

4a. Operation and Maintenance of Public Water Services

RESIDENTIAL ANNEXATION FEE FOR WATER:

Lots under 10,000 sq.ft.	\$1,298.70/lot (135 gpcd X 3.7 person/lot X \$2.60/gal)
Lots over 10,000 sq.ft.	\$1,943.59/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR WATER:

Less than 1.0 acres	\$1,295.66/lot
Lots 1 acre and Fraction:	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Water service will be to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Water for fire protection services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

4b. Operation and Maintenance of Public Wastewater Services:

RESIDENTIAL ANNEXATION FEE FOR SANITARY SEWER:

Lots under 10,000 sq.ft.	\$2,205.20/lot (100 gpcd X 3.7 person/lot X \$5.96/gal)
Lots over 10,000 sq.ft.	\$2,591.48/lot

COMMERCIAL/INDUSTRIAL ANNEXATION FEE FOR SANITARY SEWER:

Less than 5.0 acres	\$1,593.00/acre (15 people/ac. X 18 gallons/person/day X \$5.90 gallon=\$1,593.00)
More than 5.01 acres	\$1,943.60/acre

This fee is in addition to water availability or other fees but shall be superseded by the adoption and implementation of impact fees. Wastewater service will be provided to the customer at the same rates charged like customers within the City Limits. The City Charter and City Ordinance require that all line extensions be made at the expense of the developer to conform to City Standards. Wastewater services will be provided to the tract on the same basis and subject to the same requirements as all new development within City Limits.

5. Maintenance of roads and streets: Public roads and streets will be maintained on the effective date of the annexation in the same manner as all roads and streets within the city limits. All thoroughfare rights-of-way shall be dedicated to comply with the Long-Range Thoroughfare requirements of the City of Laredo's Comprehensive Plan. Road maintenance consists of repair of paving, maintenance of traffic lights, controls and signals, and will be provided immediately upon annexation. Street lighting is required of all new development and will be provided at petitioner's expense.

6. Operation and Maintenance of parks, playgrounds and swimming pools: Any future residential developments proposed to be constructed on the annexed property must satisfy all requirements for parkland and improvement fees, as defined in the most recently adopted Parkland Dedication Ordinance.

7. Operation and Maintenance of other public facilities: No public facilities, public buildings, or other service facilities are presently located within the tract. All facilities required by the development shall be provided at the expense of the petitioner, its successors and assigns, or jointly in cooperation with the city at such time as warranted by the development.

The Service Plan does not contemplate the creation of another political subdivision, nor will it require the funding of capital improvements by the petitioner to which petitioner has not agreed prior to the institution of proceedings, or which will be charged in any manner inconsistent with Chapter 395 of the Texas Local Government Code. The Service Plan does not propose services in the area in a manner that would have the effect of reducing by more than a negligible amount the level of fire and police protection and emergency medical services provided within the corporate boundaries of the municipality before annexation.

If the annexed area had a lower level of services, infrastructure, and infrastructure maintenance than the level of services, infrastructure, and infrastructure maintenance provided within the corporate boundaries of the municipality before annexation, a service

plan must provide the annexed area with a level of services, infrastructure, and infrastructure maintenance that is comparable to the level of services, infrastructure, and infrastructure maintenance available in other parts of the municipality with topography, land use, and population density similar to those reasonably contemplated or projected in the area.

Section 2. Capital Improvements

The tract does not require the construction or acquisition of capital improvements by the City. Petitioner agrees to provide all roadways, drainage, and all public improvements at such time as the property is platted.

Section 3. Land Use

When the annexation results in the abutment of residential uses with M-1 (Light Manufacturing District) as defined in the Laredo Land Development Code, a 100 ft. buffer yard between the different land uses shall be required, and the buffer yard shall be maintained by the property owner. This *Section 3. Land Use* shall survive the expiration of this agreement.

The Service Plan is valid for a period of ten years, and all services within the area shall be provided in accordance with the Plan. Should an ordinance pertaining to reserve areas or impact fees be adopted by the City Council, the ordinance shall supersede any provisions established herein.

THIS ANNEXATION AGREEMENT AND SERVICE PLAN WAS ENTERED INTO AND EXECUTED ON THIS _____ DAY OF _____, 2026.

**CITY OF LAREDO,
a Texas Municipal Corporation**

By: _____

**Joseph Neeb
City Manager**

ATTESTED:

Mario Maldonado, Jr.
City Secretary

Robert J. Gilpin

By: _____
Roberto J. Gilpin

APPROVED AS TO FORM:

Doanh "Zone" T. Nguyen
City Attorney

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ____ day of _____ ,
2026 by Joseph Neeb, for and on behalf of the City of Laredo.

Notary Public, State of Texas

ACKNOWLEDGMENT

State of Texas *
County of Webb *

This instrument was acknowledged before me on this ____ day of _____ ,
2026 by Robert J. Gilpin.

Notary Public, State of Texas

ORDINANCE NO. 2026-O-XX

ALTERING AND EXTENDING THE BOUNDARY LIMITS OF THE CITY OF LAREDO, ANNEXING ADDITIONAL TERRITORY OF APPROXIMATELY 150.8236 ACRES OF LAND, MORE OR LESS, LOCATED NORTHWEST OF NICOLAS D. HACHAR ROAD AND RIVER BANK DRIVE; PROVIDING FOR THE EFFECTIVE DATE OF THE ORDINANCE; AUTHORIZING THE CITY MANAGER TO EXECUTE A CONTRACT ADOPTING A SERVICE PLAN FOR THE ANNEXED TERRITORY; AND ESTABLISHING THE INITIAL ZONING OF M-1 (LIGHT INDUSTRIAL DISTRICT) FOR THE SUBJECT TRACT, AS DESCRIBED BY METES AND BOUNDS IN THE ATTACHED EXHIBIT "A."

WHEREAS, the land hereinafter described is contiguous to the corporate limits of the City of Laredo, Texas, and is located within its extraterritorial jurisdiction; and

WHEREAS, the owner of the land has applied for the voluntary annexation of the land, described by the metes and bounds and attached hereto and made a part hereof for all the purposes, as set out in Exhibit "A"; and

WHEREAS, the City of Laredo has an unused allocation from prior calendar years; and

WHEREAS, the City Council believes and so finds that the annexation of such land is in the public interest and will promote the general welfare; and

WHEREAS, a public hearing was held in compliance with Article 43.0673, of the Municipal Annexation Act, giving all persons interested in such annexation an opportunity to be heard; and

WHEREAS, notice of such public hearing was duly given, as provided by law, and such hearing was held on the date and at the time, place and hour so announced; and

WHEREAS, at said Public Hearing, the proposed Service Plan for the annexation land herein described was considered by the City Council and was made available for public inspection.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That the City of Laredo hereby adopts a Service Plan for the extension of municipal services into the land described in Exhibit "A". A copy of said Service Plan is marked Exhibit "B" attached hereto and made a part hereof for all purposes.

Section 2: That the following described land containing 150.8236 acres lying adjacent to and adjoining the City of Laredo is hereby added and annexed to the City of Laredo,

and said land be and is included within the boundary limits of the City of Laredo, and the present boundary limits of said City, at the various points contiguous to the area hereinafter described, are altered and amended so as to include said area within the corporate limits of the City of Laredo. That from and after the effective date of this Ordinance, the Boundary Limits of the City of Laredo shall include all such additional, adjacent, and hereby annexed land herein above described in Section 2. That from and after the final passage and adoption of this Ordinance, the Boundary Limits of the City of Laredo, Texas, shall be as herein above set out in Exhibit "A", and the property situated therein shall bear its pro rata part of the taxes levied by the City of Laredo, and the inhabitants thereof shall be entitled to all the rights and privileges of all the citizens and shall be bound by the acts, ordinances, resolutions and regulations of the City of Laredo.

Section 3: That the Zoning Map of the City of Laredo be and is hereby amended to show the initial zoning designation boundaries for the land, as per the attached survey and metes and bounds, as set out in Exhibit "A", attached hereto and made a part hereof for all purposes as M-1 (Light Manufacturing District).

Section 4: Severability

If any provision, section subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity or another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 5: Open Meeting

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

Section 6: That this Ordinance shall be published in the manner provided in article II, Section 2.09 (D) of the Charter of the City of Laredo.

Section 7: This Ordinance shall become effective upon passage.

APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 21.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 4, Larga Vista Subdivision, located at 5602 State Highway 359, from B-1 (Limited Business District) to B-3 (Community Business District).

The Planning and Zoning Commission recommended approval of the proposed zone change. Staff supports the application.

ZC-052-2026
District III

Council District: District 3 **Zone Case:** ZC-052-2026

Letters sent to property owners: 15

In Favor (within 200 radius): 0
Opposed (within 200 radius): 0

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 7 to 0 vote recommended approval of the proposed zone change.

STAFF RECOMMENDATION - Supports

Staff supports the application.

Comprehensive Alignment

ZC-052-2026

1. Level of Alignment

Moderate – Indirectly supports or contributes to the intent of a verbatim goal or policy.

The proposed rezoning from B-1 (Limited Business District) to B-3 (Community Business District) for a proposed car lot at 5602 State Highway 359 generally aligns with the Comprehensive Plan’s mixed-use and corridor-based commercial development framework. However, the proposal also presents potential compatibility concerns due to its direct adjacency to residential uses.

2. Supporting Goal(s)/Policy(ies)

Goal 7.3 – Encourage physical activity through the design of the built environment.

“Policy 7.3.1: Study existing neighborhoods for deficiencies.

a. Determine if residents can easily walk to retail, especially a grocer, where they may obtain daily necessities.

c. Work with communities to increase density, connectivity, and completeness (mixture of uses).”

— Viva Laredo City of Laredo Comprehensive Plan, p. 7.24

Relevance:

The subject property is designated as “Neighborhood Mixed Use” on the Future Land Use Map, and the rezoning would expand commercial opportunities within an existing corridor. The addition of commercial activity contributes to the Plan’s stated objective of increasing “mixture of uses” and neighborhood completeness.

Policy 7.3.2

“Adjust land development regulations and zoning policies in order to make neighborhoods more complete, walkable and connected.”

— Viva Laredo City of Laredo Comprehensive Plan, p. 7.24

Relevance:

The requested zoning amendment modifies the zoning framework to accommodate a broader commercial use within an area identified for mixed-use development. This supports the Plan’s direction to adjust zoning policies in support of more complete development patterns.

Policy 7.3.4

“Design new neighborhoods to be amenity-rich, mixed-use, interconnected, dense, and compact. Neighborhoods should be able to supply most of life’s daily necessities on foot or on bike, with easy access to transit service.”

— Viva Laredo City of Laredo Comprehensive Plan, p. 7.24

Relevance:

The proposed rezoning supports the continuation of commercial development along State Highway 359 within an established mixed-use corridor. The Plan encourages mixed-use environments where services and employment opportunities are integrated into the surrounding urban fabric.

Neighborhood Mixed-Use Designation

“Neighborhood Mixed-Use — ALL EXCEPT M-1, M-2, B-4, AH, AN, FH, OG, FiH.”

— Viva Laredo City of Laredo Comprehensive Plan, p. 1.14

Relevance:

The Comprehensive Plan explicitly identifies Neighborhood Mixed-Use areas as compatible with B-3 zoning districts. Staff similarly noted that the proposed rezoning conforms with the Comprehensive Plan designation.

“Placement of Place-Types”

“This spacing also corresponds with the need to space out commercial uses so that they are convenient to all without having to travel too far, while also having a large enough population base to support the type of commercial envisioned.”

— Viva Laredo City of Laredo Comprehensive Plan, p. 1.23

Relevance:

The proposed rezoning expands commercial opportunities along a major transportation corridor already characterized by commercial activity. The proposal is consistent with the Plan’s concept of appropriately distributed commercial uses within mixed-use neighborhoods and transportation corridors.

Transportation & Land Use

“Like many American cities, Laredo’s regulatory practice of separating land uses by function (e.g. commercial, residential, industrial, etc.) has directed commercial and employment districts to locate along busy streets, away from residential neighborhoods.”

— Viva Laredo City of Laredo Comprehensive Plan, p. 4.28

Relevance:

The subject property fronts State Highway 359, which is identified as an Expressway in the Thoroughfare Plan. The proposed B-3 zoning follows the Plan’s recognition that commercial and employment uses are commonly concentrated along major transportation corridors.

3. Summary of Alignment

The proposed rezoning from B-1 to B-3 demonstrates a moderate level of alignment with the Viva Laredo Comprehensive Plan. The proposal supports the Plan’s broader goals related to mixed-use development, commercial corridor activation, and the integration of commercial services within established neighborhoods and transportation corridors.

The subject site is designated as “Neighborhood Mixed Use” under the Future Land Use Map, and the Comprehensive Plan specifically identifies Neighborhood Mixed-Use areas as compatible with B-3 zoning classifications. Additionally, the site fronts State Highway 359, an identified expressway corridor, and is adjacent to

existing commercial and automotive-oriented businesses, supporting the corridor-based commercial development pattern envisioned by the Plan.

However, the alignment is best characterized as moderate rather than strong because the proposal involves an automobile-oriented commercial use directly adjacent to residential zoning districts. The staff report acknowledges that the rezoning “may negatively impact the surrounding area, as the site directly abuts residential zoning districts.” While the Comprehensive Plan supports mixed-use and commercial activity, it also emphasizes walkability, neighborhood compatibility, connectivity, and complete neighborhood design principles.

Broader planning themes implicated by this agenda item include:

- Economic development and commercial corridor activation;
- Land use compatibility;
- Mixed-use neighborhood planning;
- Mobility and transportation corridor planning; and
- Neighborhood connectivity and completeness.

Overall, the proposal generally advances the intent of the Comprehensive Plan’s mixed-use framework but does not fully satisfy the Plan’s broader walkability and neighborhood compatibility objectives due to the intensity and automobile-oriented nature of the proposed use adjacent to residential properties.

City Council-Regular Meeting

Date: 6/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: Jaime Mendez and Maria Clarissa Mendez, Owner

Staff Source: Vanessa Guerra, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 4, Larga Vista Subdivision, located at 5602 State Highway 359, from B-1 (Limited Business District) to B-3 (Community Business District).

The Planning and Zoning Commission recommended **approval** of the proposed zone change. Staff **supports** the application.

ZC-052-2026

District III

PREVIOUS COUNCIL ACTION

On December 17, 2001, City Council approved an annexation and establish the initial zoning of B-1 and R-3. (Ordinance Number 2001-O-293).

BACKGROUND

Council District: III – Cm. Melissa R. Cigarroa

Proposed use: The proposed use is for a car lot.

Site: The site is currently vacant developed land with a water mill.

Surrounding land uses: To the north of the site is single family residential uses. To the east of the site is Sanchez Tire Center, a plaza with Athletic Planet (clothing store), Floral Boulevard, and Eduardos BBQ Steak & Mexican Grill. To the south of the site is State Highway 359, vacant undeveloped land, Dollar Tree, Family Dollar, and Popeyes Louisiana Kitchen. To the west of the site is Coronado Avenue, single family residential uses, Taqueria Sudadero, LG Truck & Trailer Sales, and Cervantes Truck Center.

Comprehensive Plan: The Future Land Use Map recognizes this area as Neighborhood Mixed Use.

<https://www.openlaredo.com/planning/>

[2017 Comprehensive Plan-Viva Laredo.pdf#page=39](#)

Transportation Plan: The long Range Thoroughfare Plan identifies State Highway 359 as an Expressway.

www.laredompo.org/wp-content/uploads/

[2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf](#)

Letters sent to surrounding property owners: 15

Inside: In Favor: 0 Opposed: 0 Outside: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a 7 to 0 vote recommended **approval** of the zone change.

STAFF RECOMMENDATION

Staff **supports** the zone change for the following reasons:

1. The proposed zone change is in conformance with the Comprehensive Plan's designation as Neighborhood Mixed Use (ALL EXCEPT M-1, M-2, B-4, AH, AN, FH, OG, FiH), which allows B-3 zoning districts.
2. The proposed site is abutting B-3 zoning districts to the east of the site.
3. The proposed zone change is appropriate at this location, as the proposed site abuts State Highway 359, which is identified as an Expressway on the Thoroughfare Plan.
4. The proposed B-3 zoning district is compatible with the established surrounding businesses like Sanchez Tire Center, LG Truck & Trailer Sales, and Cervantes Truck Center.

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

IMPACT ANALYSIS

B-3. The purpose of the B-3 District (Community Business District) is to provide for those businesses and services serving a trade area larger than a neighborhood, but smaller than the entire city and located primarily along minor or principal arterial streets, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily abutting minor or principal arterial streets while preserving established residential neighborhoods along such streets.

Is this change contrary to the established land use pattern?

No. To the east of the site is Sanchez Tire Center. To the west of the site is LG Truck & Trailer Sales and Cervantes Truck Center.

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the proposed zone will not create an isolated zoning district, there's B-3 zoning districts to the east of the site.

Will change adversely influence living conditions in the neighborhood?

The proposed zone change may negatively impact the surrounding area, as the site directly abuts residential zoning districts.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing zone does not allow for a car lot as intended by the applicant.

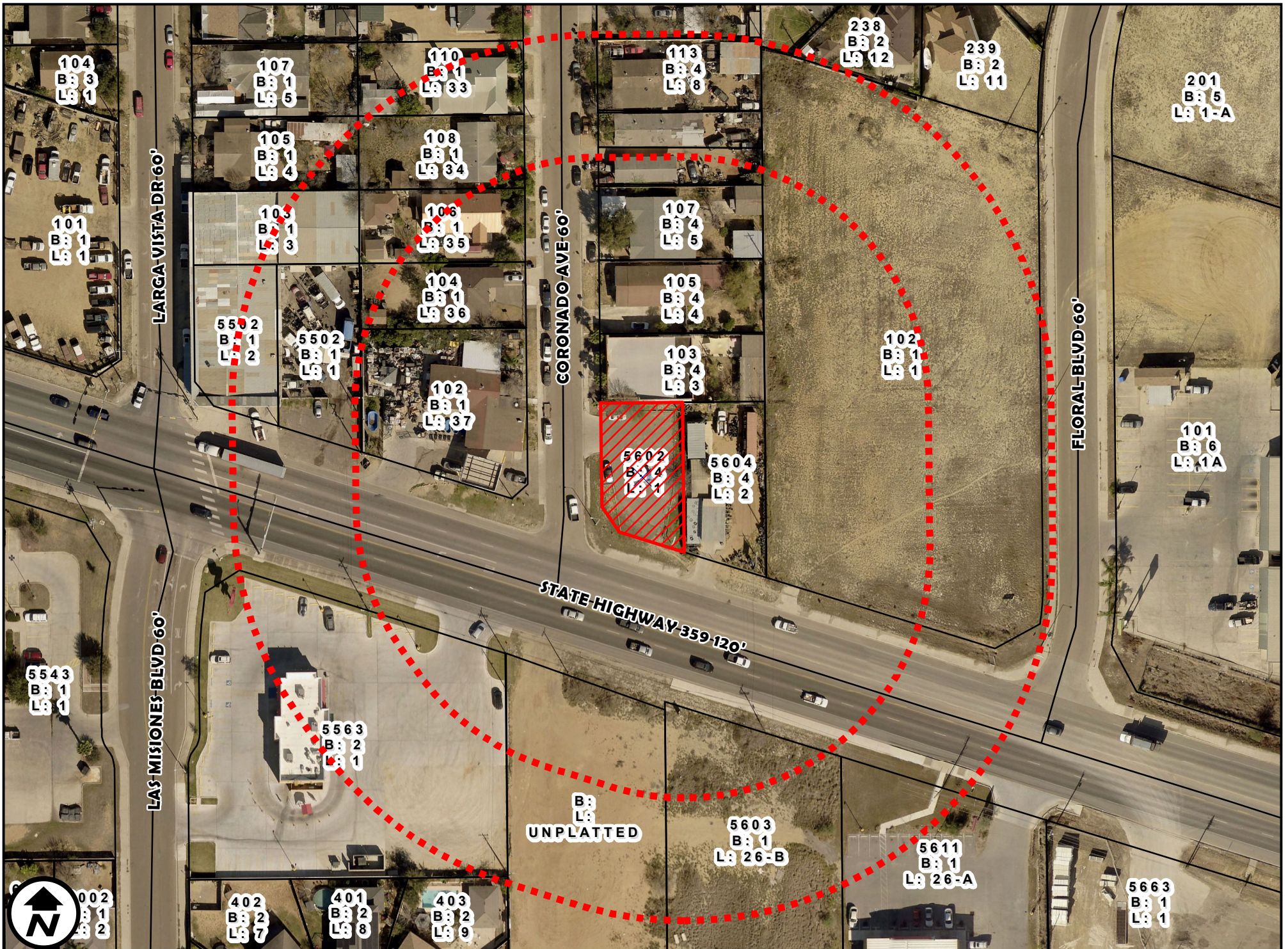
Attachments

Comp Plan Alignment

Maps

Zone Change Signage

Draft Ordinance

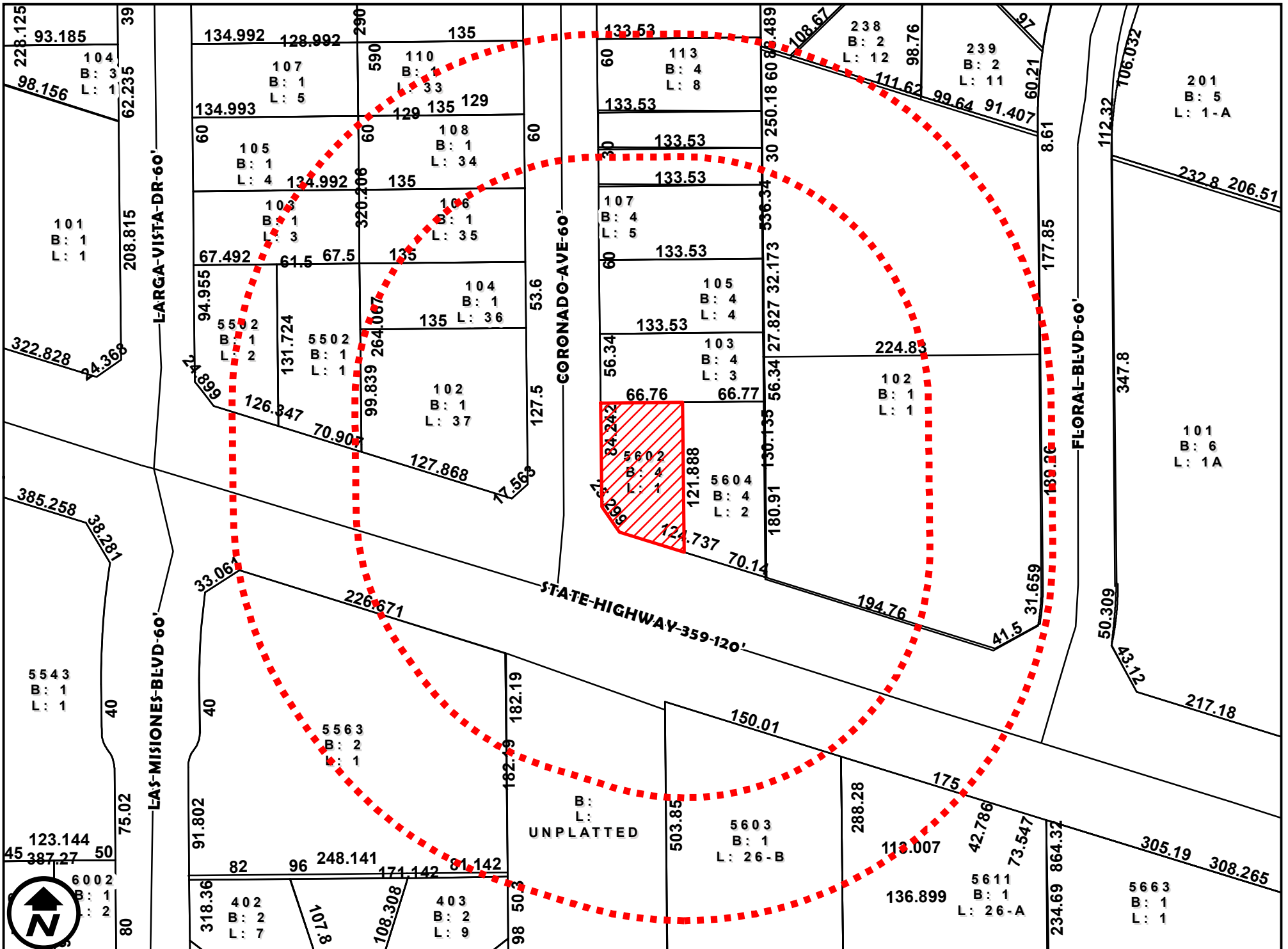


AERIAL MAP

1 inch = 100 feet

ZC-052-2026
 COUNCIL DISTRICT 3
 5602 STATE HIGHWAY 359

APPLICATION F 121
 B-1 (LIMITED BUSINESS DISTRICT) ...
 B-3 (COMMUNITY BUSINESS DISTRICT)

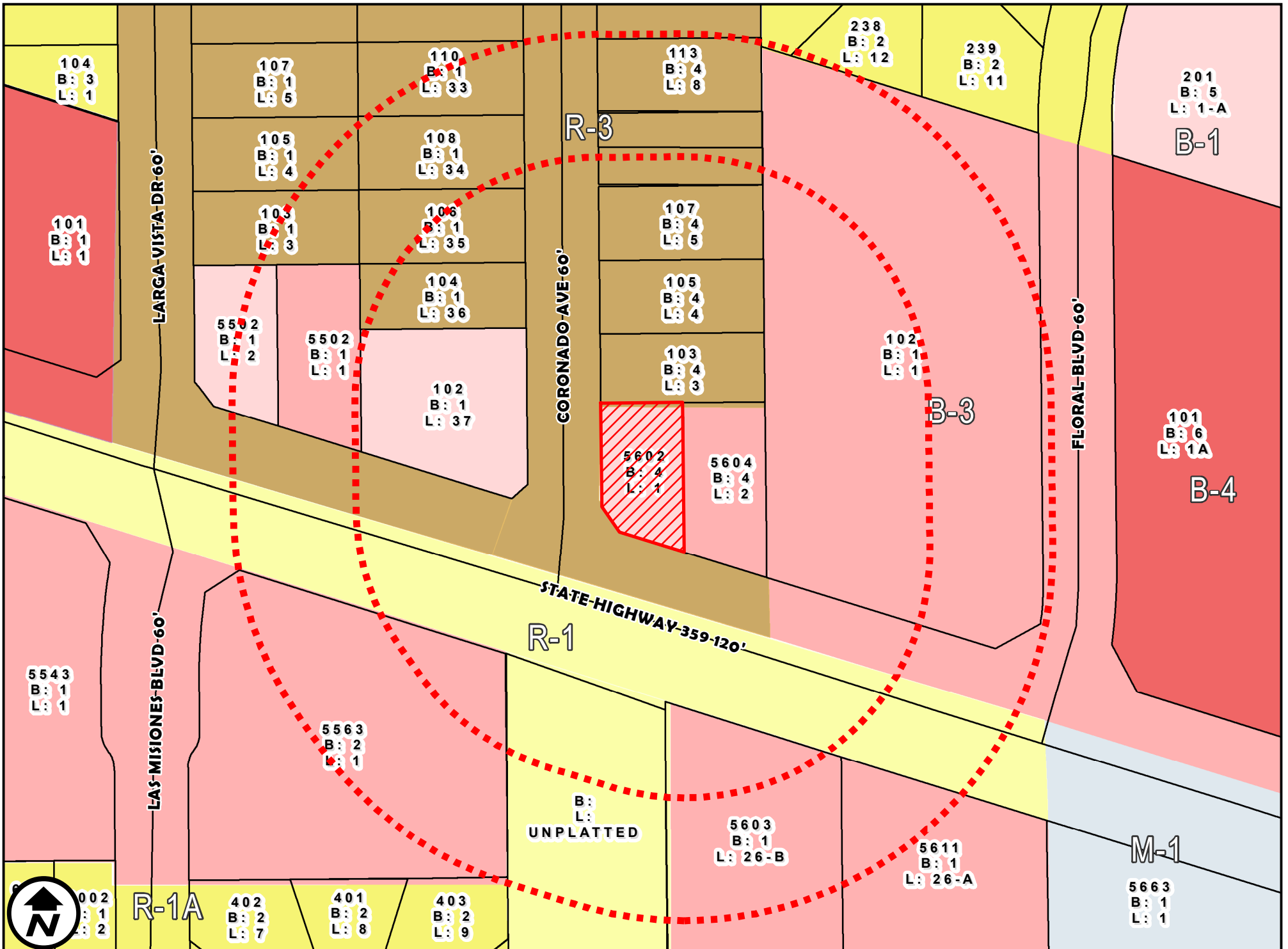


DIMENSIONS MAP

1 inch = 100 feet

ZC-052-2026
 COUNCIL DISTRICT 3
 5602 STATE HIGHWAY 359

APPLICATION F 122
 B-1 (LIMITED BUSINESS DISTRICT) . . .
 B-3 (COMMUNITY BUSINESS DISTRICT)

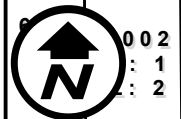


ZONING MAP

1 inch = 100 feet

ZC-052-2026
 COUNCIL DISTRICT 3
 5602 STATE HIGHWAY 359

APPLICATION F 123
 B-1 (LIMITED BUSINESS DISTRICT)
 B-3 (COMMUNITY BUSINESS DISTRICT)

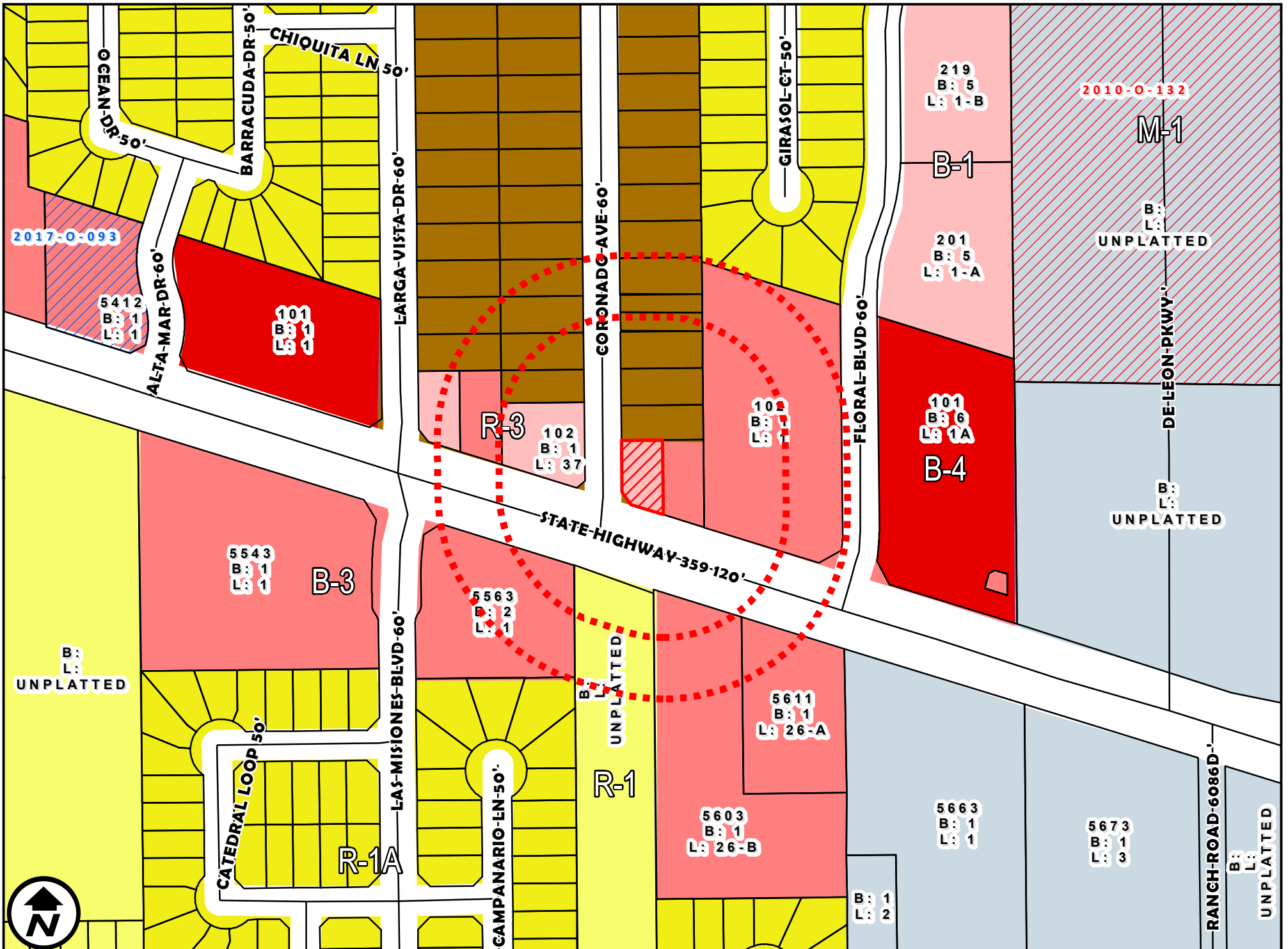


SURVEY MAP

1 inch = 100 feet

ZC-052-2026
 COUNCIL DISTRICT 3
 5602 STATE HIGHWAY 359

APPLICATION F 124
 B-1 (LIMITED BUSINESS DISTRICT) . . .
 B-3 (COMMUNITY BUSINESS DISTRICT)



ZONING OVERVIEW

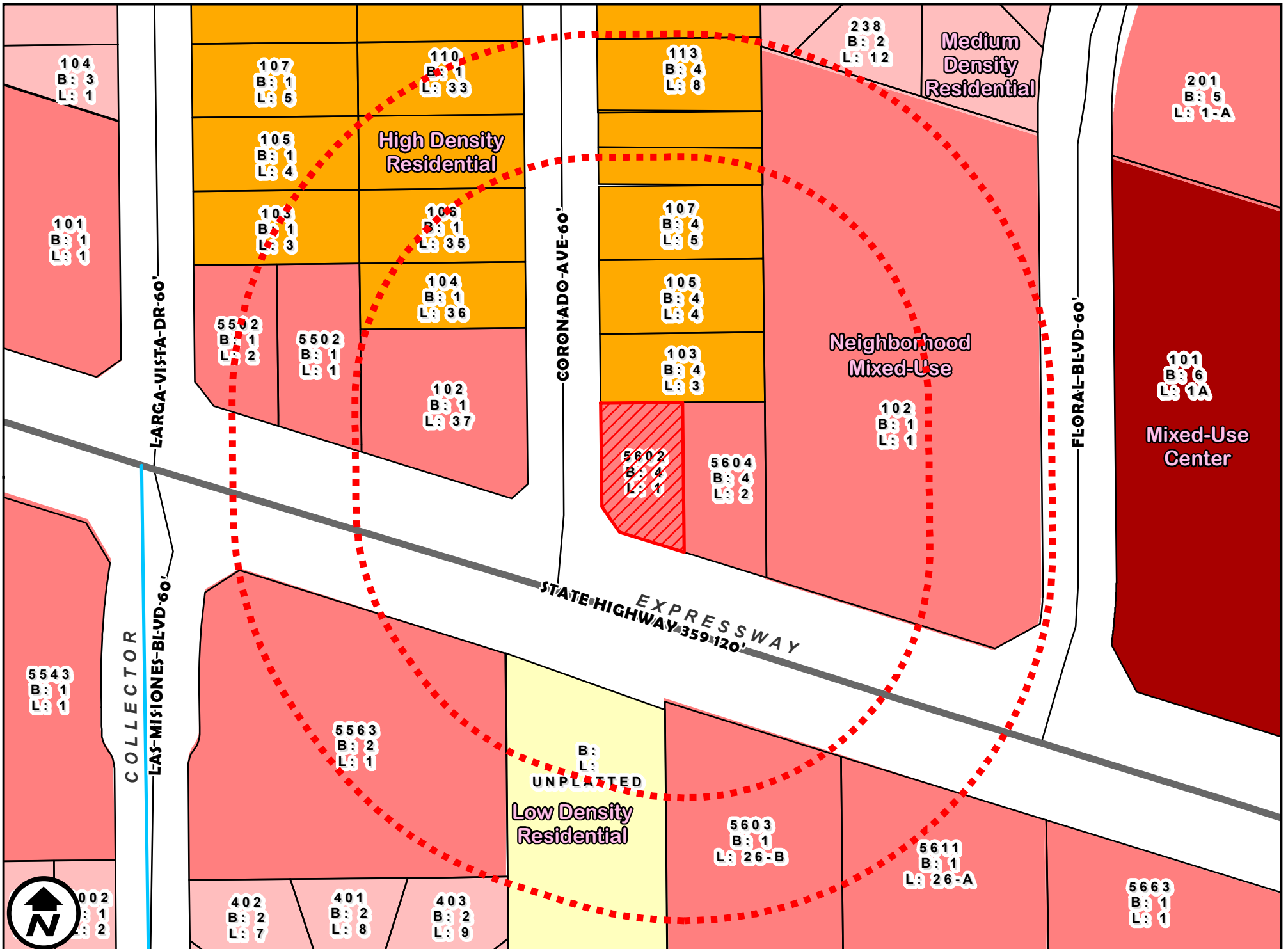
ZC-052-2026

APPLICATION F 125

1 inch = 200 feet

COUNCIL DISTRICT 3
5602 STATE HIGHWAY 359

B-1 (LIMITED BUSINESS DISTRICT)
B-3 (COMMUNITY BUSINESS DISTRICT)



FUTURE LAND USE

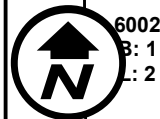
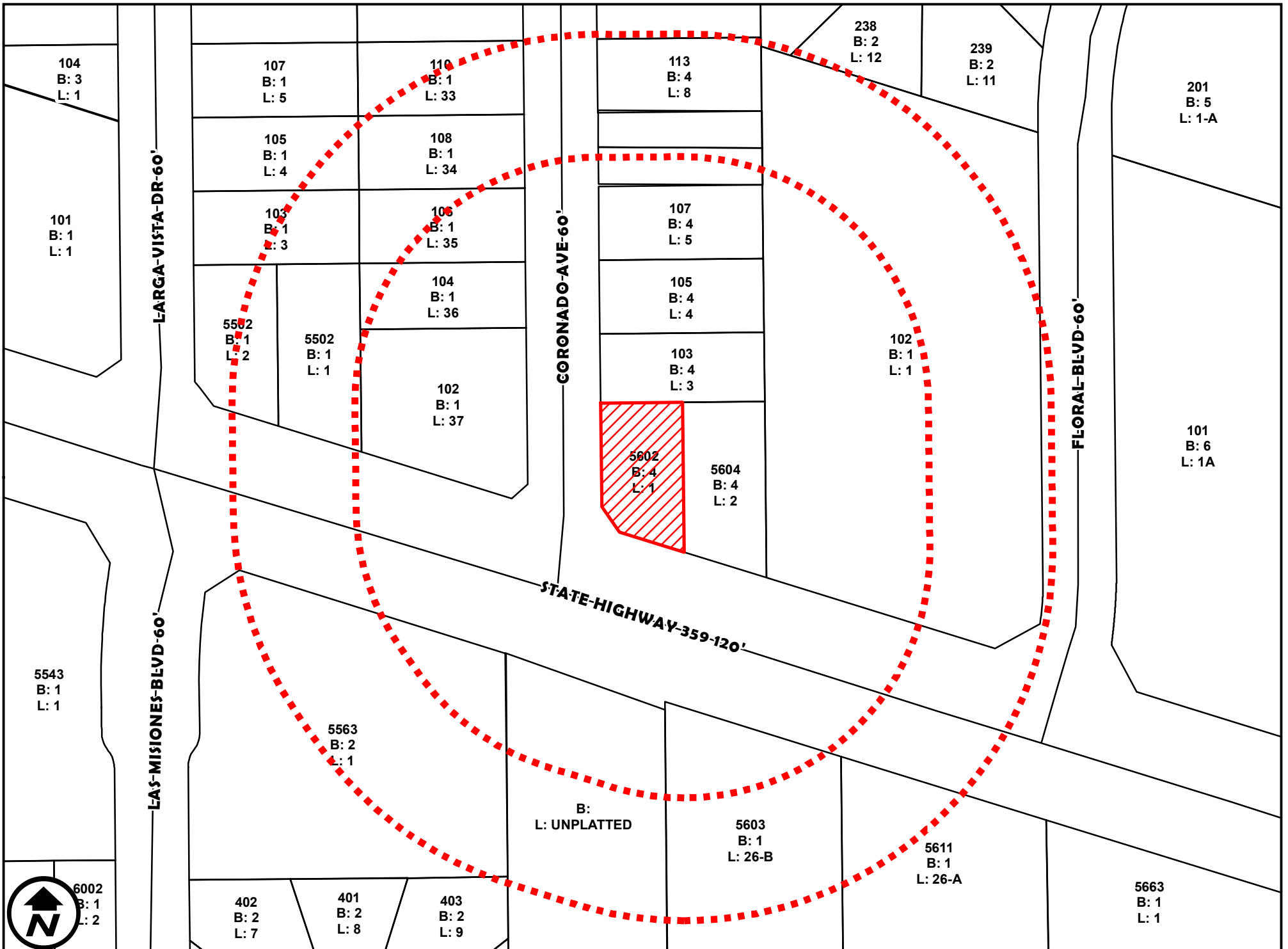
ZC-052-2026

APPLICATION F 126

1 inch = 100 feet

COUNCIL DISTRICT 3
5602 STATE HIGHWAY 359

B-1 (LIMITED BUSINESS DISTRICT)
B-3 (COMMUNITY BUSINESS DISTRICT)

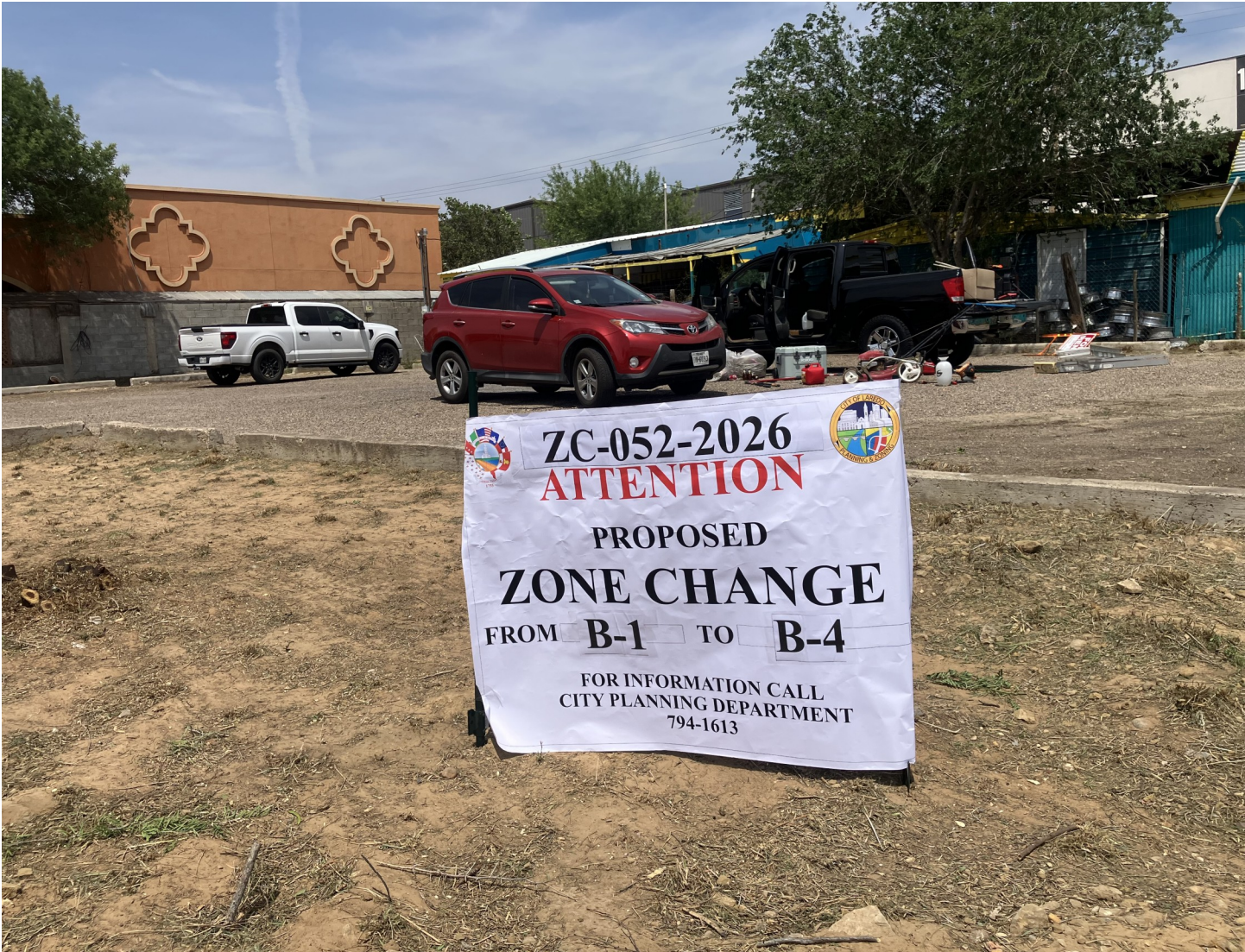


200' AND 300' NOTIFICATION

1 inch = 100 feet

ZC-052-2026
 COUNCIL DISTRICT 3
 5602 STATE HIGHWAY 359

APPLICATION F 127
 B-1 (LIMITED BUSINESS DISTRICT) . . .
 B-3 (COMMUNITY BUSINESS DISTRICT)



ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 1, BLOCK 4, LARGA VISTA SUBDIVISION, LOCATED AT 5602 STATE HIGHWAY 359, FROM B-1 (LIMITED BUSINESS DISTRICT) TO B-3 (COMMUNITY BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on Lot 1, Block 4, Larga Vista Subdivision, located at 5602 State Highway 359, from B-1 (Limited Business District) to B-3 (Community Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on Lot 1, Block 4, Larga Vista Subdivision, located at 5602 State Highway 359, from B-1 (Limited Business District) to B-3 (Community Business District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 22.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately 3.33 Acre Tract, as further described by metes and bounds in Exhibit A, located east of Don Beto Drive and north of Grisell Drive, from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff does not support the application.

ZC-035-2026
District V

Council District: District 5 **Zone Case:** ZC-035-2026

Letters sent to property owners: 33

In Favor (within 200 radius): 0
Opposed (within 200 radius): 7

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 2

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 7 to 1 vote recommended approval of the zone change.

STAFF RECOMMENDATION - Does not support

Staff does not support the application.



AERIAL MAP

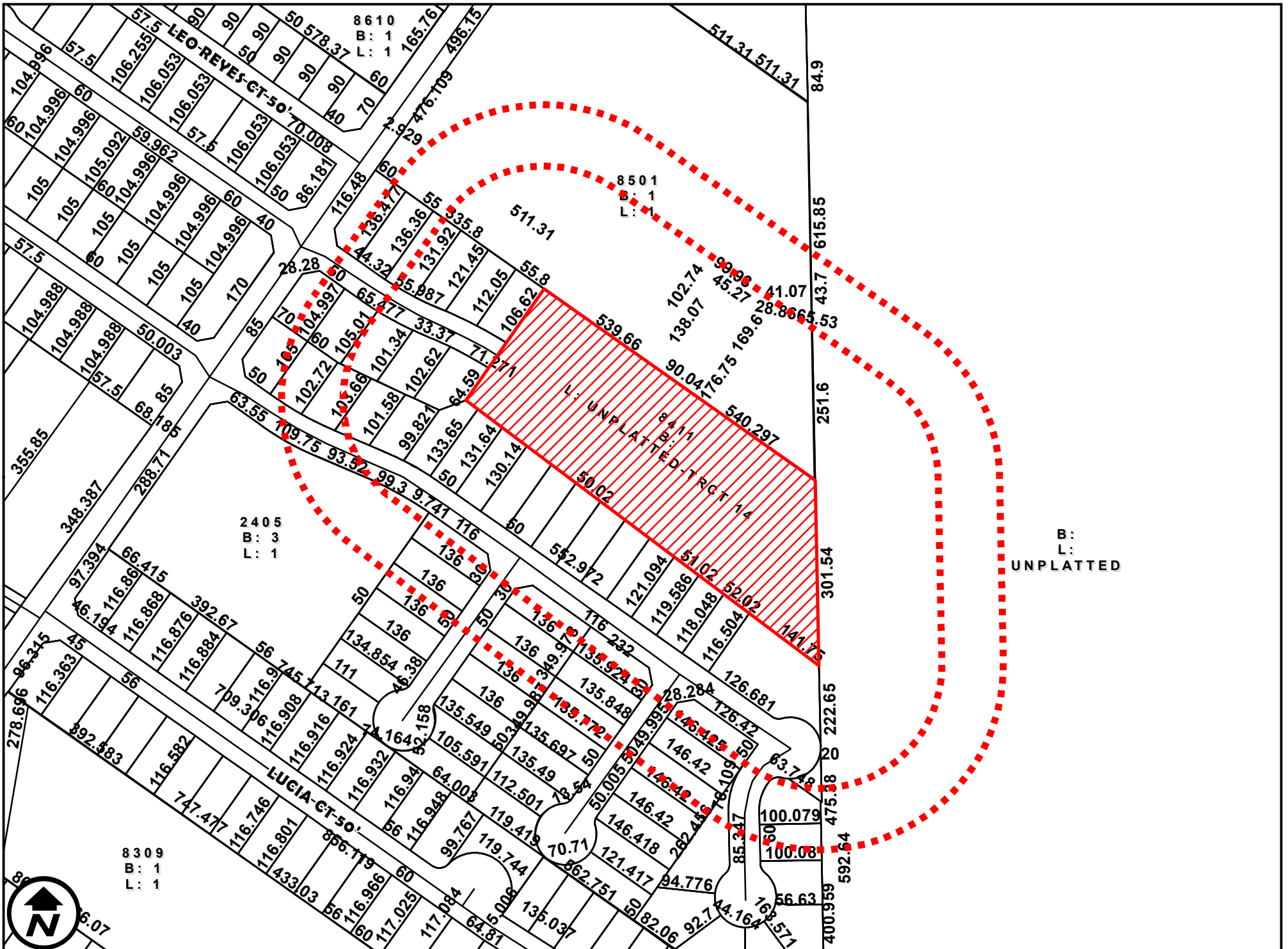
ZC-035-2026

APPLICATION F 132

1 inch = 200 feet

COUNCIL DISTRICT 5
EAST OF DON BETO DRIVE AND NORTH OF GRISELL DRIVE

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT)



DIMENSIONS MAP

1 inch = 200 feet

ZC-035-2026

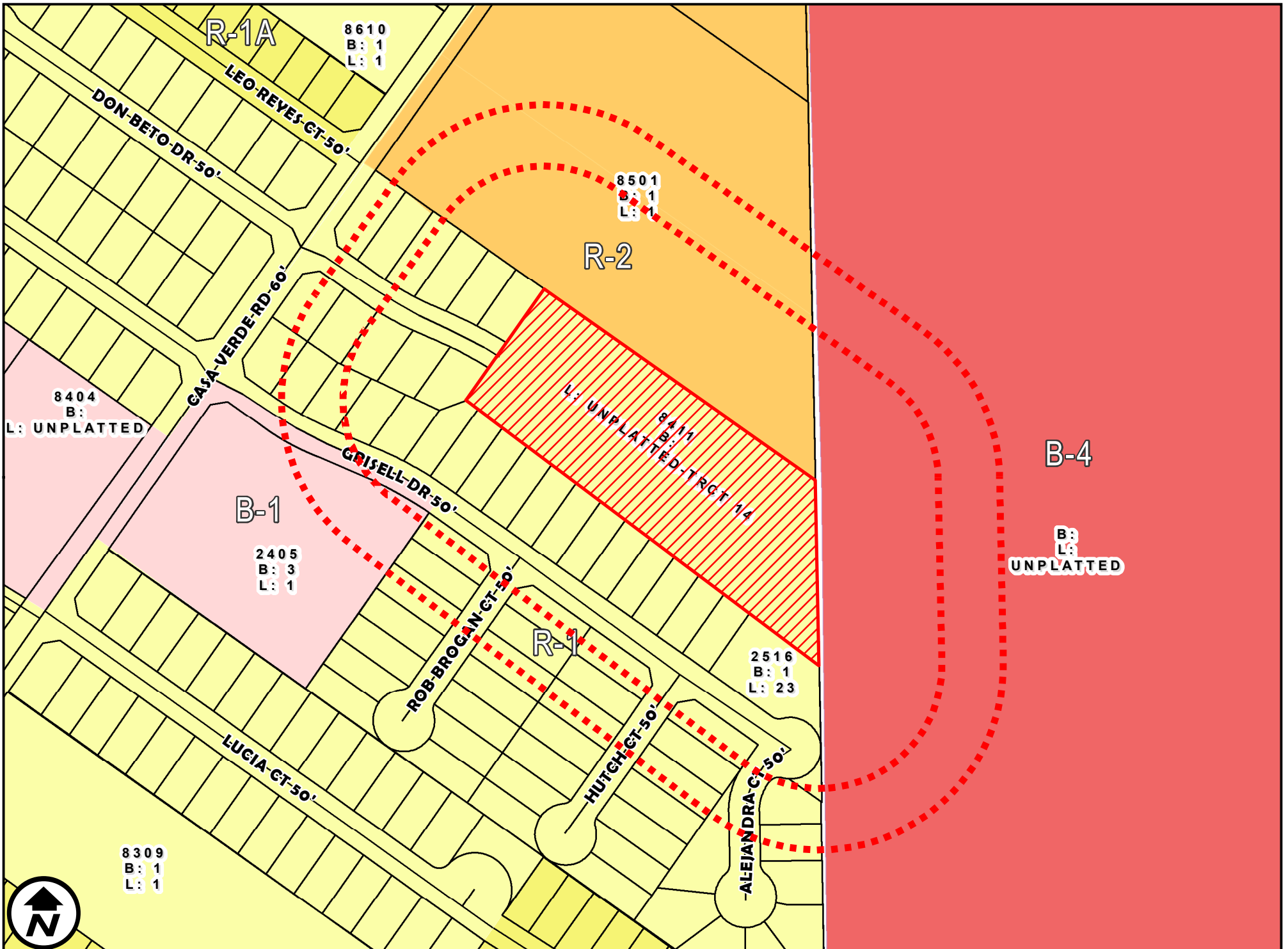
COUNCIL DISTRICT 5

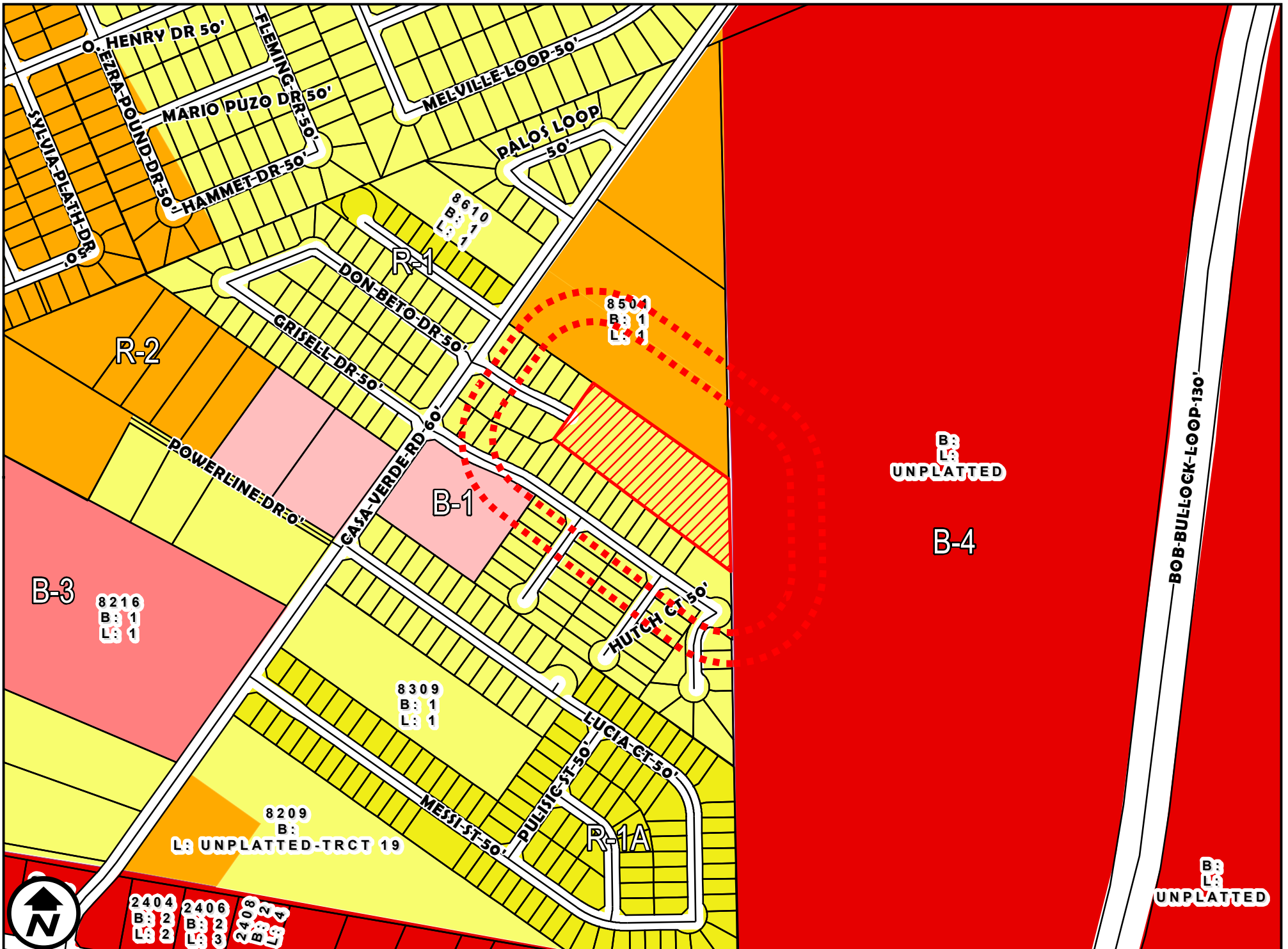
EAST OF DON BETO DRIVE AND NORTH OF GRISELL DRIVE

APPLICATION F 133

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)

R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT)





ZONING OVERVIEW

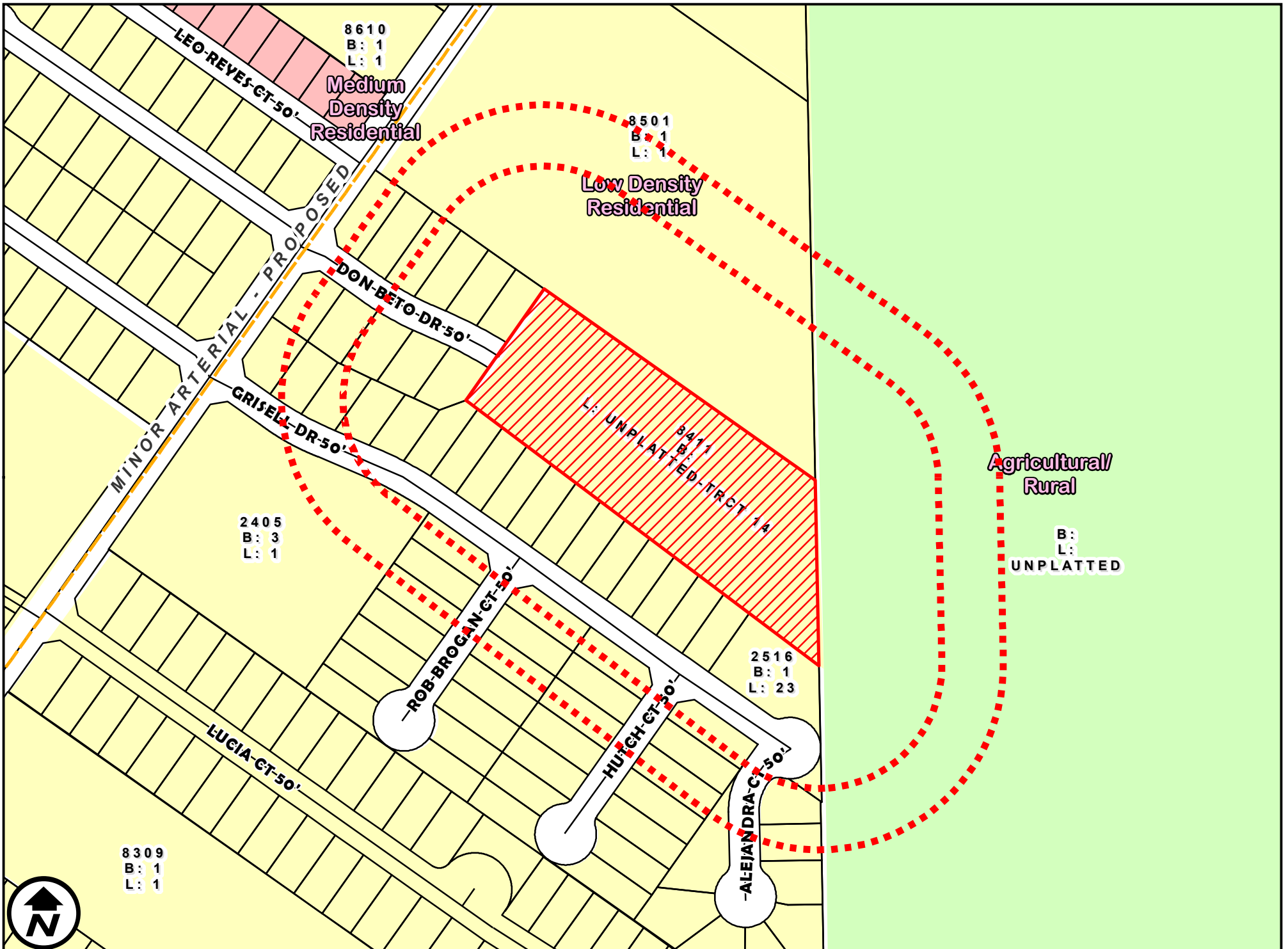
ZC-035-2026

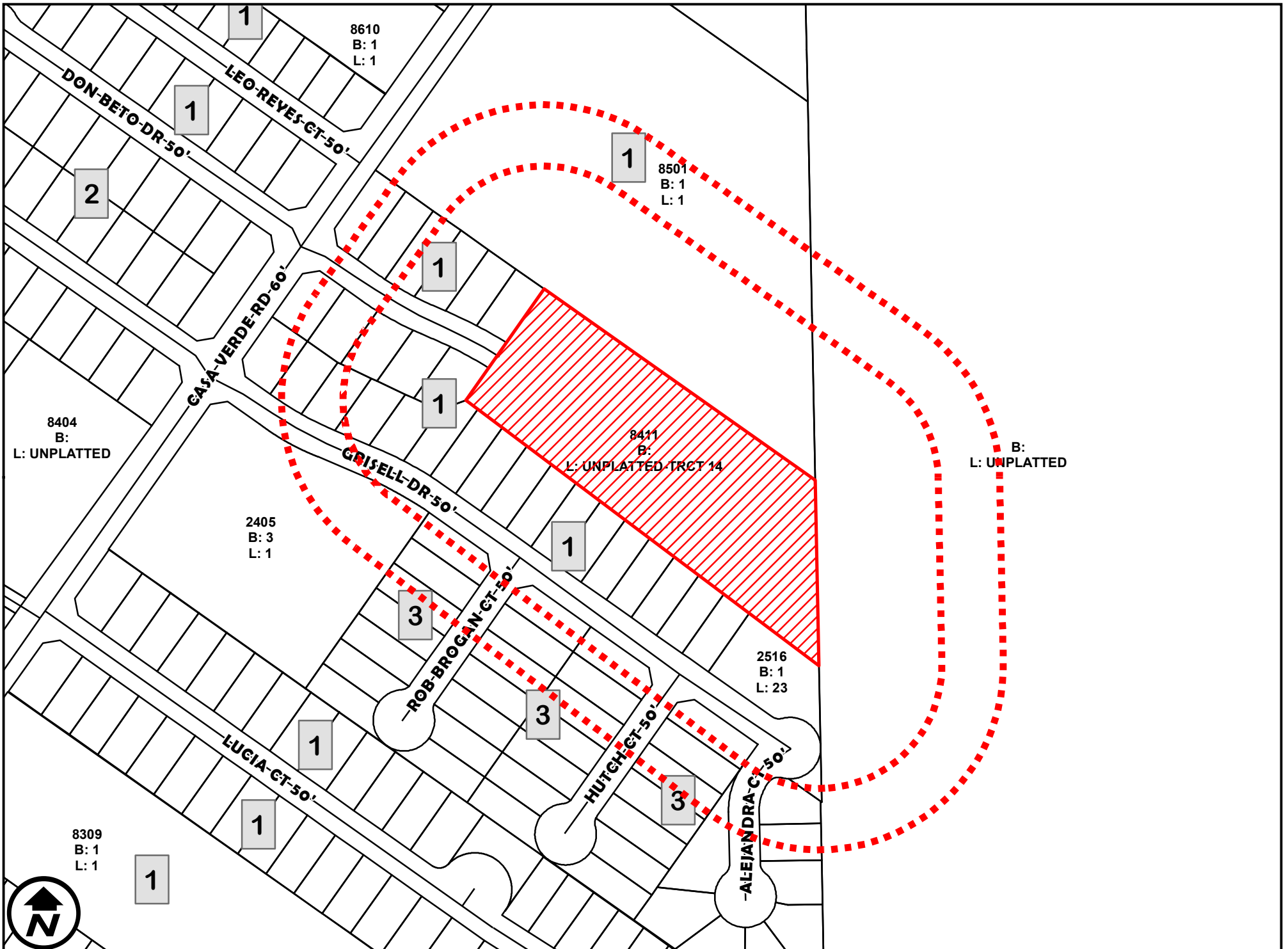
APPLICATION F 136

1 inch = 400 feet

COUNCIL DISTRICT 5
EAST OF DON BETO DRIVE AND NORTH OF GRISELL DRIVE

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT)





200' AND 300' NOTIFICATION

ZC-035-2026

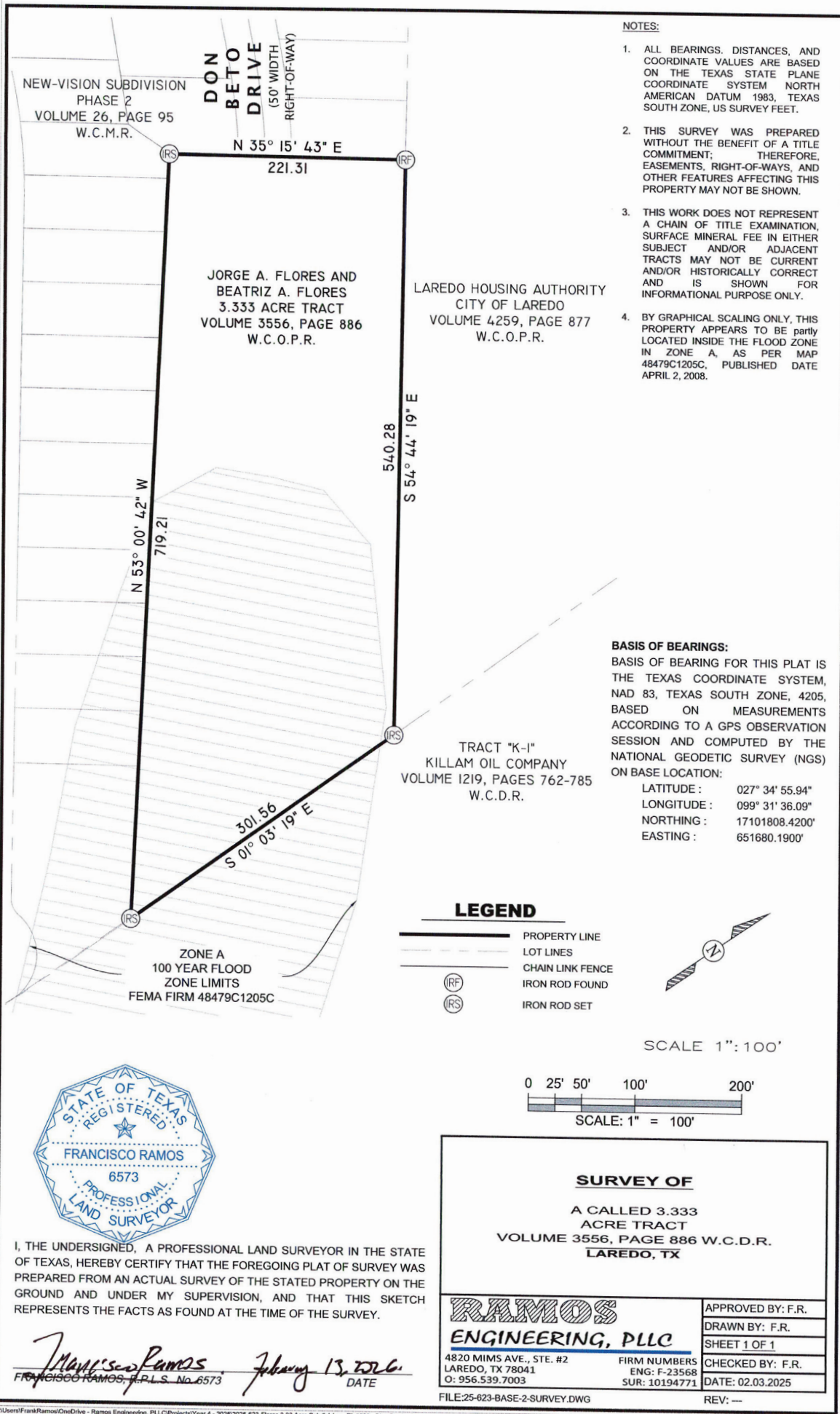
APPLICATION F 138

1 inch = 200 feet

COUNCIL DISTRICT 5
EAST OF DON BETO DRIVE AND NORTH OF GRISELL DRIVE

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT)

EXHIBIT A



LEGAL DESCRIPTION OF
A 3.333 ACRE TRACT

VOLUME 3556, PAGE 886
W.C.O.P.R.
LAREDO, TX

BEING A 3.333 ACRE, TRACT OF LAND, MORE OR LESS, BEING ALL OF A CALLED 3.333 ACRE TRACT OF LAND, CONVEYED TO JORGE A. FLORES AND BEATRIZ A. FLORES, IN A DEED RECORDED IN VOLUME 3556, PAGE 886, WEBB COUNTY OFFICIAL PUBLIC RECORDS, WEBB COUNTY, TEXAS, BEING SITUATED IN SURVEY 2181, ABSTRACT 648, J.W. CODY, ORIGINAL GRANTEE, WEBB COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A FOUND 1/2" IRON ROD, BEING THE NORTHERN MOST SOUTHEAST CORNER OF THE NEW-VISION SUBDIVISION PHASE 2, A 14.667 ACRE TRACT, RECORDED IN VOLUME 26, PAGE 95, WEBB COUNTY MAP RECORDS, WEBB COUNTY, TEXAS, AND BEING THE NORTHWESTERN CORNER OF A CALLED 3.333 ACRE TRACT OF LAND, CONVEYED TO JORGE A. FLORES AND BEATRIZ A. FLORES, IN A DEED RECORDED IN VOLUME 3556, PAGE 886, WEBB COUNTY OFFICIAL PUBLIC RECORDS, WEBB COUNTY, TEXAS, BEING THE **POINT OF BEGINNING** AND THE NORTHWESTERN CORNER HEREOF;

THENCE **S 54° 44' 19" E** A DISTANCE OF **540.28'**, ALONG THE NORTH EASTERN PROPERTY LINE OF SAID CALLED 3.333 ACRE TRACT TO A SET 1/2" IRON ROD WITH PINK CAP, BEING THE NORTHEASTERN CORNER OF SAID 3.333 ACRE TRACT, AND BEING THE NORTHEASTERN CORNER HEREOF;

THENCE **S 01° 03' 19" E** A DISTANCE OF **301.56'**, ALONG THE SOUTHEASTERN PROPERTY LINE OF THE SAID CALLED 3.333 ACRE TRACT TO A SET 1/2" IRON ROD WITH PINK CAP, BEING THE EASTERN MOST NORTHEASTERN CORNER OF SAID NEW-VISION SUBDIVISION PHASE 2, AND BEING THE SOUTHEASTERN CORNER OF SAID CALLED 3.333 ACRE TRACT, AND THE SOUTHEASTERN CORNER HEREOF;

THENCE **N 53° 00' 42" W** A DISTANCE OF **719.21'**, ALONG THE SOUTHWESTERN PROPERTY LINE OF SAID CALLED 3.333 ACRE TRACT AND THE NORTHEASTERN PROPERTY LINE OF SAID NEW-VISION SUBDIVISION PHASE 2, TO A SET 1/2" IRON ROD WITH PINK CAP, BEING AN INTERIOR CORNER OF THE NEW-VISION SUBDIVISION PHASE 2, AND BEING THE SOUTHWESTERN CORNER OF SAID CALLED 3.333 ACRE TRACT AND THE SOUTHWESTERN CORNER HEREOF;

THENCE **N 35° 15' 43" E** A DISTANCE OF **221.31'** ALONG THE NORTHWESTERN PROPERTY LINE OF SAID CALLED 3.333 ACRE TRACT AND THE SOUTHWESTERN PROPERTY LINE OF SAID NEW-VISION SUBDIVISION PHASE 2, TO THE **POINT OF BEGINNING** OF THIS 3.333 ACRE TRACT OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF WEBB:

I, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SURVEY DESCRIPTION IS TRUE AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION, ON THE GROUND, THAT THE CORNER MONUMENTS SHOWN WERE PROPERLY PLACED OR LOCATED UNDER MY SUPERVISION.



Francisco Ramos
FRANCISCO RAMOS, R.P.L.S. No. 6573

February 13, 2026
DATE

SHEET: 2 OF 2

City Council Agenda Item ZC-035-2026, proposing rezoning approximately 3.33 acres from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District), located east of Don Beto Drive and north of Grisell Drive

1. Level of Alignment

- Strong
 - Moderate
 - Weak/None** – Lacks identifiable alignment or conflicts with existing verbatim goals or policies.
-

2. Supporting Goal(s)/Policy(ies)

Goal 1.3

“Ensure the Future Land Use Map and zoning ordinance are aligned and consistently applied.”

Page 60

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The Future Land Use Map designates the subject property as **Low Density Residential**, which does not support R-2 multi-family zoning. The proposed rezoning conflicts directly with the adopted land use designation and therefore does not satisfy the Plan’s requirement for consistency between zoning and land use policy.

Policy 4.1.2

“Encourage additions to existing neighborhoods that diversify housing options while preserving neighborhood character.”

Page 282

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

Although the proposal would introduce additional housing types through multi-family residential development, the increased density is proposed within the rear portion of an established single-family neighborhood. Staff identified concerns that the proposal would negatively impact neighborhood traffic and character, thereby conflicting with the policy’s emphasis on preserving existing neighborhood conditions.

Policy 3.2.2

“Encourage higher-density residential development along arterial and collector streets where adequate infrastructure and access exist.”

Page 93

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The Long Range Thoroughfare Plan identifies Don Beto Drive as a **local street**, not an arterial or collector roadway. The proposal introduces higher-density residential uses in a location lacking the roadway hierarchy anticipated by this policy, creating concerns regarding traffic and infrastructure capacity.

3. Summary of Alignment

The proposed rezoning from R-1 to R-2 demonstrates **Weak/None** alignment with the *Viva Laredo Comprehensive Plan*. The request conflicts with the Future Land Use Map designation of **Low Density Residential**, contrary to **Goal 1.3**, which calls for consistent application of zoning and land use policy.

Although the proposal could contribute to housing diversity, the site’s location within the rear portion of an established single-family neighborhood and along a **local street** undermines compatibility with surrounding development. Staff identified concerns regarding increased traffic volume, neighborhood impacts, and the introduction of higher-density residential uses in an area not designed to accommodate such intensity. These concerns conflict with both **Policy 4.1.2** and **Policy 3.2.2**.

While the site abuts existing multi-family residential uses to the north, the overall proposal remains inconsistent with the adopted land use designation and broader planning objectives related to **neighborhood preservation, mobility, and orderly growth patterns**.

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING APPROXIMATELY 3.33 ACRE TRACT, AS FURTHER DESCRIBED BY METES AND BOUNDS IN EXHIBIT A, LOCATED EAST OF DON BETO DRIVE AND NORTH OF GRISELL DRIVE, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on approximately 3.33 Acre Tract, as further described by metes and bounds in Exhibit A, located east of Don Beto Drive and north of Grisell Drive, from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on approximately 3.33 Acre Tract, as further described by metes and bounds in Exhibit A, located east of Don Beto Drive and north of Grisell Drive, from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: Jorge & Beatriz Flores, Owners; Francisco Ramos, Applicant/Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately 3.33 Acre Tract, as further described by metes and bounds in Exhibit A, located east of Don Beto Drive and north of Grisell Drive, from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District).

The Planning and Zoning Commission recommended **approval** of the proposed zone change, and staff **does not support** the application.

ZC-035-2026

District V

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

Council District: V – Cm. Ruben Gutierrez

Proposed use: The proposed use is Multi-Family Residential.

Site: The site is currently vacant undeveloped land.

Surrounding land uses: To the north of the site is multifamily residential uses (apartments). To the east of the site is vacant undeveloped land. To the south of the site is single family residential uses and Grisell Drive. To the west of the site is single family residential uses, Don Beto Drive, and Casa Verde Road.

Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential. <https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies Don Beto as a local street.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 33

Inside 200' Radius: In Favor: 0 Opposed: 7

Outside 200' Radius: In Favor: 0 Opposed: 2

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a 7 to 1 vote recommended **approval** of the proposed zone change.

STAFF RECOMMENDATION

Staff **does not support** the proposed zone change for the following reasons:

1. The proposed zone change is not in conformance with the Comprehensive Plan's designation as Low Density Residential, which does not include R-2 zoning districts.
2. The site is located towards the back of an established neighborhood and is anticipated to have a negative impact with the creation of additional density, which will significantly impact the established neighborhood's traffic volume.
3. The applicant has stated the proposed use as multi-family residential, townhomes/condos. However, once the zoning has been changed, the property may be used in any manner consistent with the zoning ordinance.
4. High density residential uses are not encouraged along local streets. Don Beto is identified as a local street on the Thoroughfare Plan.

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

Staff **does not support** the application.

R-2. The purpose of the R-2 (Multi-Family Residential District) is to provide an area for higher density residential uses and those public and semi-public uses normally considered an integral part of the neighborhood they serve.

Is this change contrary to the established land use pattern?

No. The proposed site abuts an area of multifamily residential uses to the north.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The proposed zone change does not create an isolated zoning district. There is R-2 zoning north of the site.

Will change adversely influence living conditions in the neighborhood?

The proposed zone change is anticipated to have a negative impact with the surrounding area or neighborhoods.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing zone does not allow for multi-family residential uses intended by the applicant.

Attachments

Maps

Survey

Comp Plan Alignment

Draft Ordinance

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 23.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately 3.08 acre tract of land, as further described by metes and bounds in Exhibit A, located south of Cerralvo Drive and west of Riverbank Drive, from R-1A (Single Family Reduced Area District) to R-2 (Multi-Family Residential District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-037-2026
District VII

Council District: District 7 **Zone Case:** ZC-037-2026

Letters sent to property owners: 25

In Favor (within 200 radius): 0
Opposed (within 200 radius): 1

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in an 8 to 0 vote recommended approval of the zone change.

STAFF RECOMMENDATION - Supports

Staff supports the application.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: Deerfield Land Development, LC., Owners; Madhouse Development, Inc., Applicant; Alyssa Flores, Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning approximately 3.08 acre tract of land, as further described by metes and bounds in Exhibit A, located south of Cerralvo Drive and west of Riverbank Drive, from R-1A (Single Family Reduced Area District) to R-2 (Multi-Family Residential District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-037-2026

District VII

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

Council District: VII – Cm. Vanessa Perez

Proposed use: The proposed use is Multi-Family Residential (Apartments).

Site: The site is currently vacant undeveloped land.

Surrounding land uses: To the north of the site is vacant land and single family residential uses. To the east of the site is Riverbank Drive and single family residential uses. To the south of the site is George Washington Middle School. To the west of the site is vacant land and Barbara Fasken Recreation Center.

Comprehensive Plan: The Future Land Use Map recognizes this area as Medium Density Residential.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies Riverbank Drive a minor arterial.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 25

Inside 200' Radius: In Favor: 0 Opposed: 1

Outside 200' Radius: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a **8** to **0** vote recommended **approval** of the proposed zone change.

STAFF RECOMMENDATION

Staff **supports** the proposed zone change for the following reasons:

1. The proposed zone change is in conformance with the Comprehensive Plan's designation as Medium Density Residential, which includes R-2 zoning districts. The Comprehensive Plan encourages a variety of housing types and residential densities in appropriate locations in order to accommodate future population growth and provide additional housing opportunities within the City.
2. The proposed development promotes orderly growth and development patterns consistent with the City's adopted land use policies. The location along Riverbank Drive, which is identified as a minor arterial in the Long Range Thoroughfare Plan, is appropriate for a higher residential density use due to its accessibility and proximity to existing public facilities and infrastructure.
3. The proposed use complements and is in character with the surrounding uses. The site is primarily surrounded by residential uses, including existing single-family neighborhoods, and the proposed multi-family development serves as a compatible residential transition within the area.
4. The proposed site meets the minimum lot area requirement of 4,600 square feet for R-2 zone districts as per the Laredo Land Development Code, Section 24.77.1 Dimensional Standards. The property lot area is approximately 3.08 acres (1 acre = 43,560 square feet).

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

IMPACT ANALYSIS

R-2. The purpose of the R-2 (Multi-Family Residential District) is to provide an area for higher density residential uses and those public and semi-public uses normally considered an integral part of the neighborhood they serve.

Is this change contrary to the established land use pattern?

No. There are multi-family uses within the vicinity of the purposed site.

Would this change create an isolated zoning district unrelated to surrounding districts?

There is R-2 zoning north and west of the site.

Will change adversely influence living conditions in the neighborhood?

The proposed zone change is not anticipated to have a negative impact with the surrounding area or neighborhoods.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing zone does not allow for multi-family residential uses intended by the applicant.

Attachments

- Maps
 - Survey
 - Zone Change Signage
 - Comp Plan Alignment
 - Draft Ordinance
-



AERIAL MAP

1 inch = 200 feet

ZC-037-2026

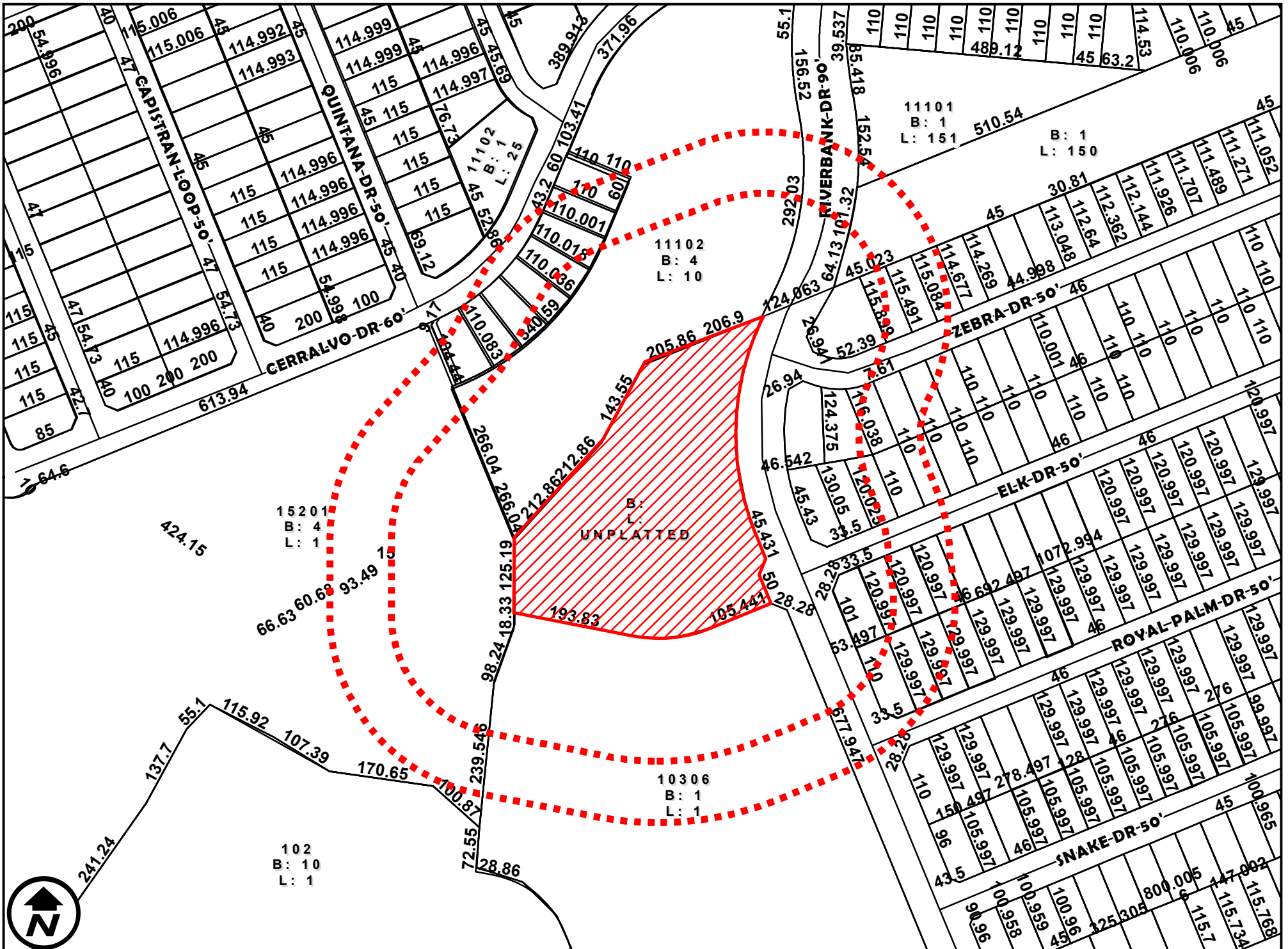
COUNCIL DISTRICT 7

SOUTH OF GERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

APPLICATION F 152

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT)

R-3 (MIXED RESIDENTIAL DISTRICT)



DIMENSIONS MAP

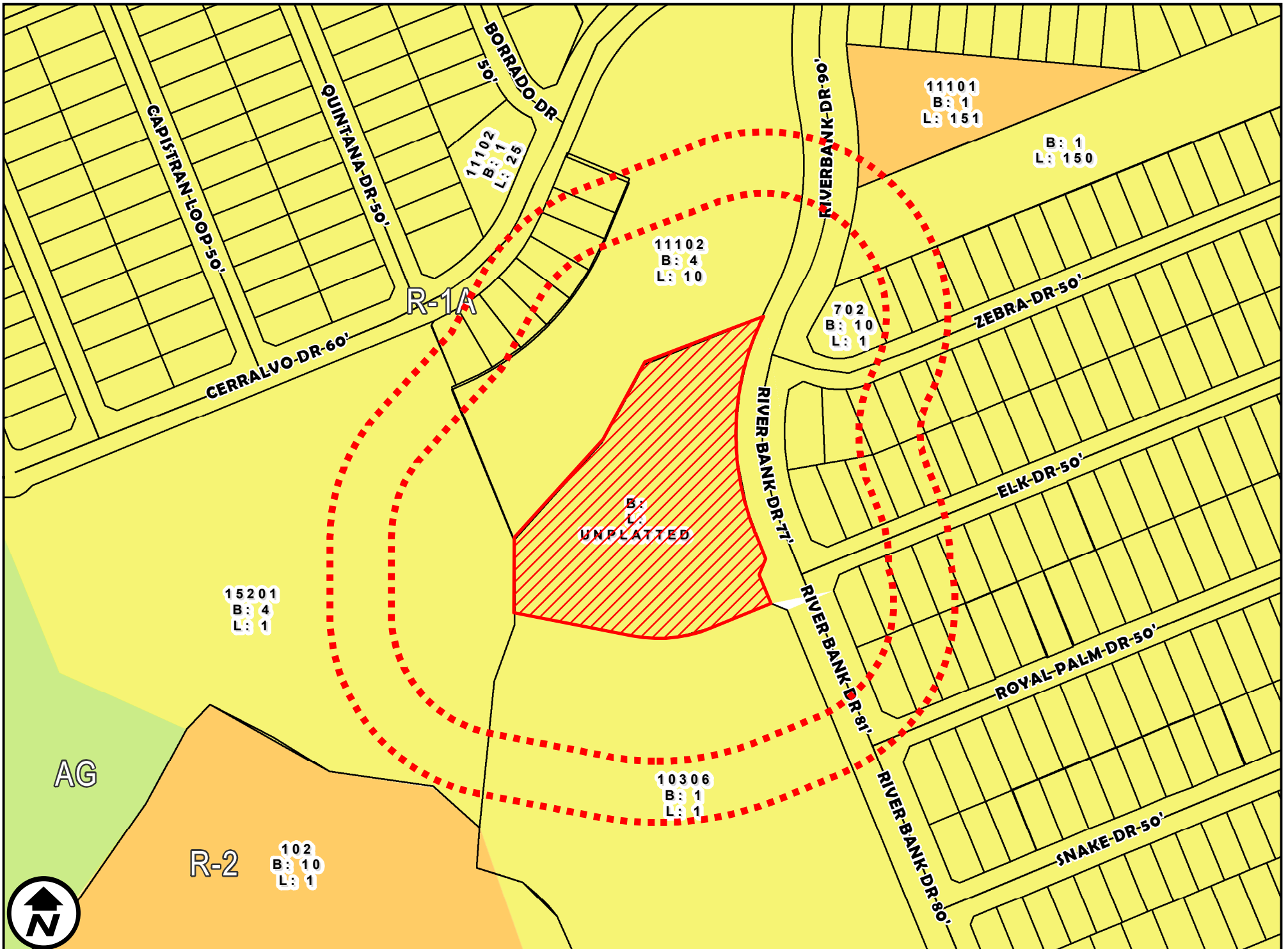
ZC-037-2026

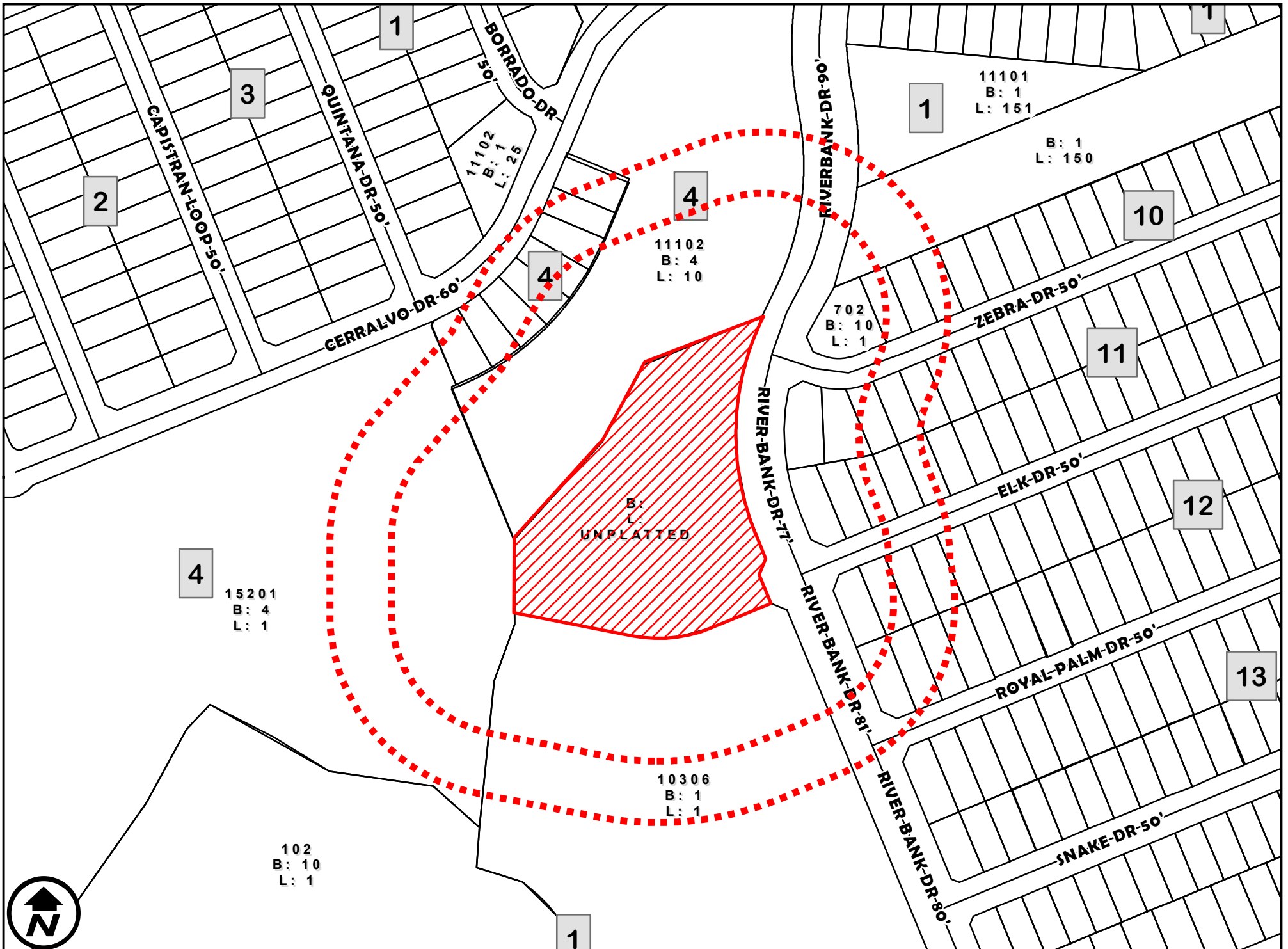
APPLICATION F 153

1 inch = 200 feet

COUNCIL DISTRICT 7
SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT) & R-3 (MIXED RESIDENTIAL DISTRICT)





SURVEY MAP

1 inch = 200 feet

ZC-037-2026

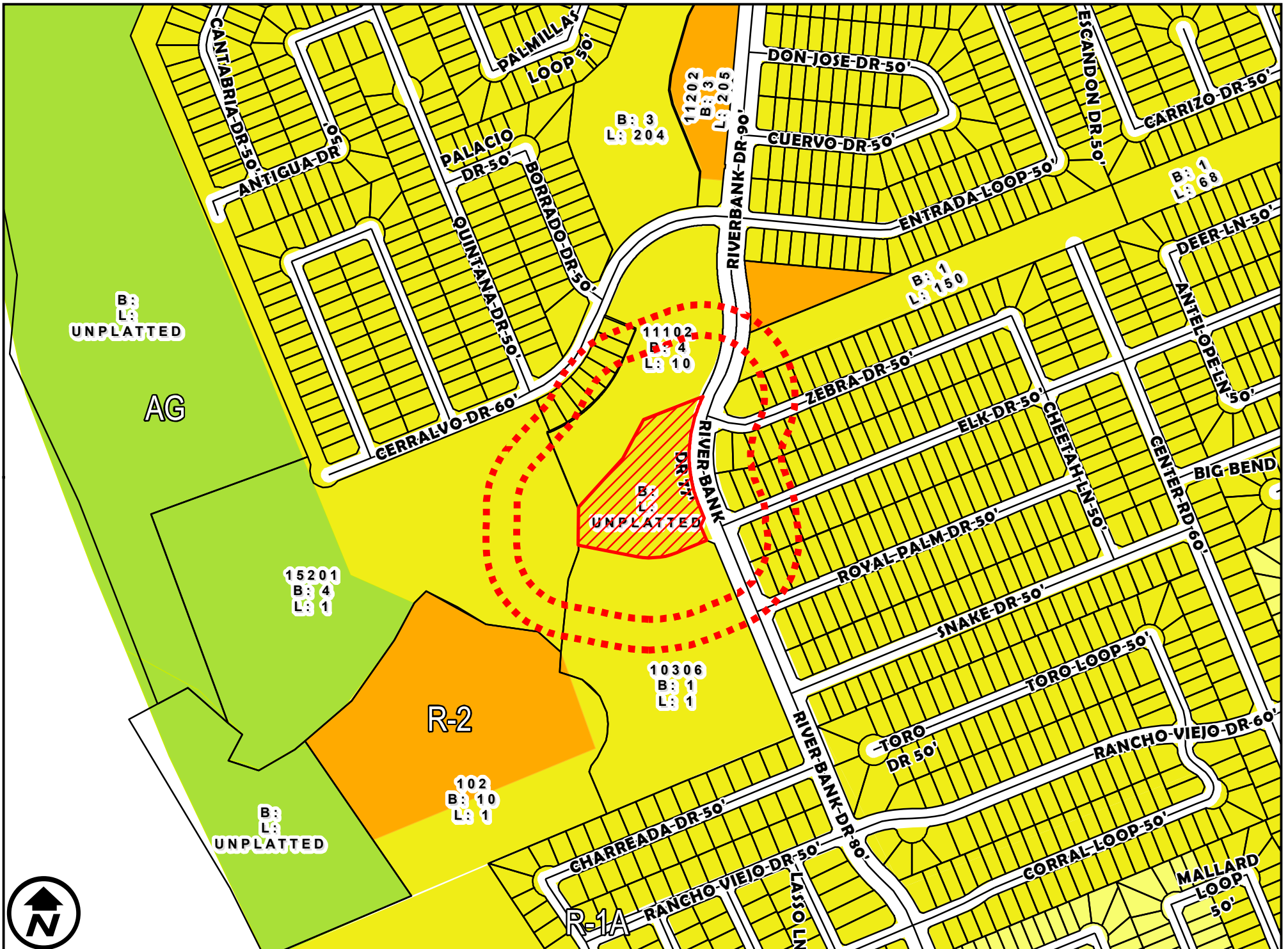
COUNCIL DISTRICT 7

SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

APPLICATION F 155

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT)

R-3 (MIXED RESIDENTIAL DISTRICT)



ZONING OVERVIEW

ZC-037-2026

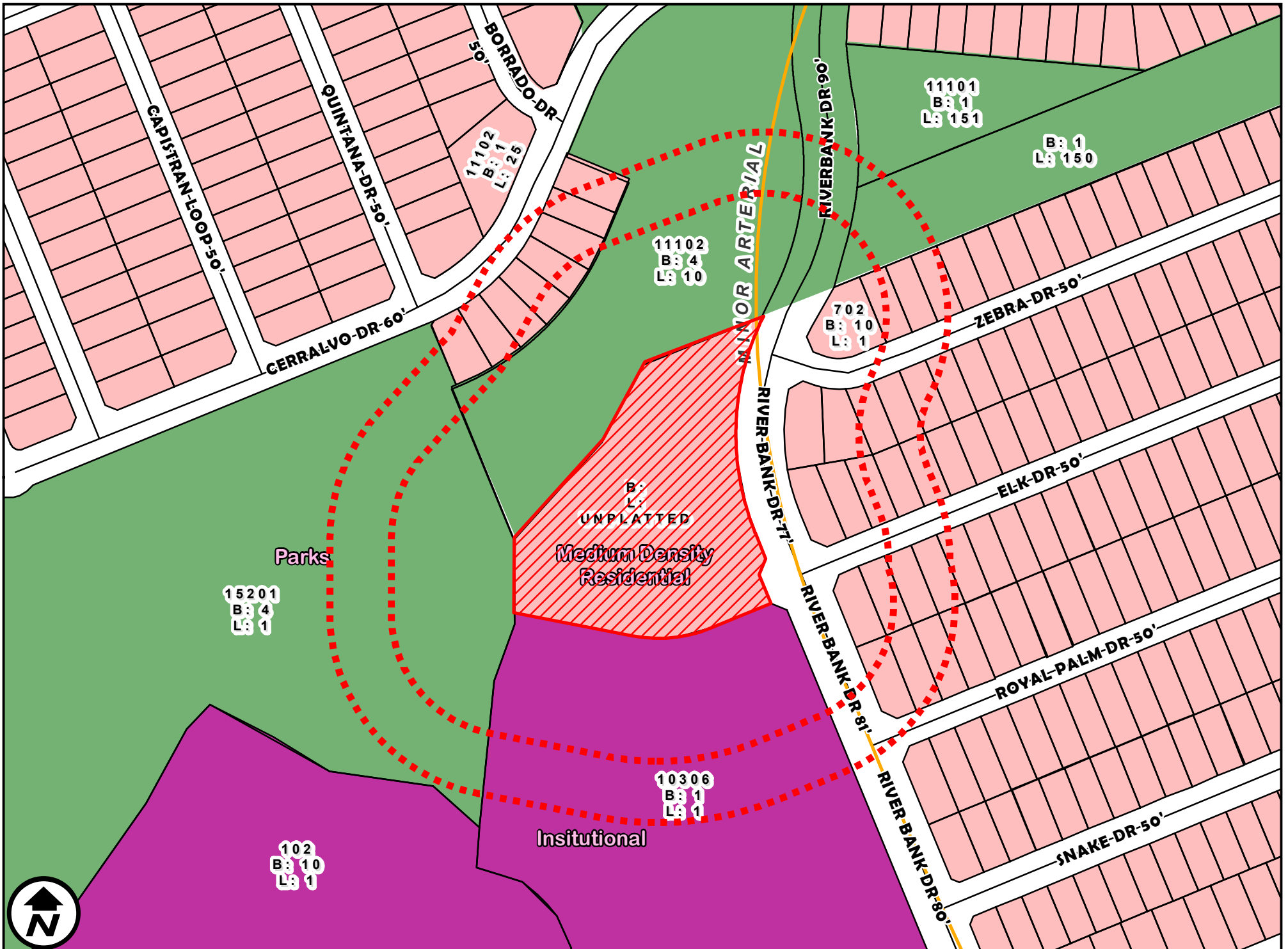
APPLICATION F 156

1 inch = 400 feet

COUNCIL DISTRICT 7
SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT)

R-3 (MIXED RESIDENTIAL DISTRICT)



FUTURE LANDUSE

1 inch = 200 feet

ZC-037-2026

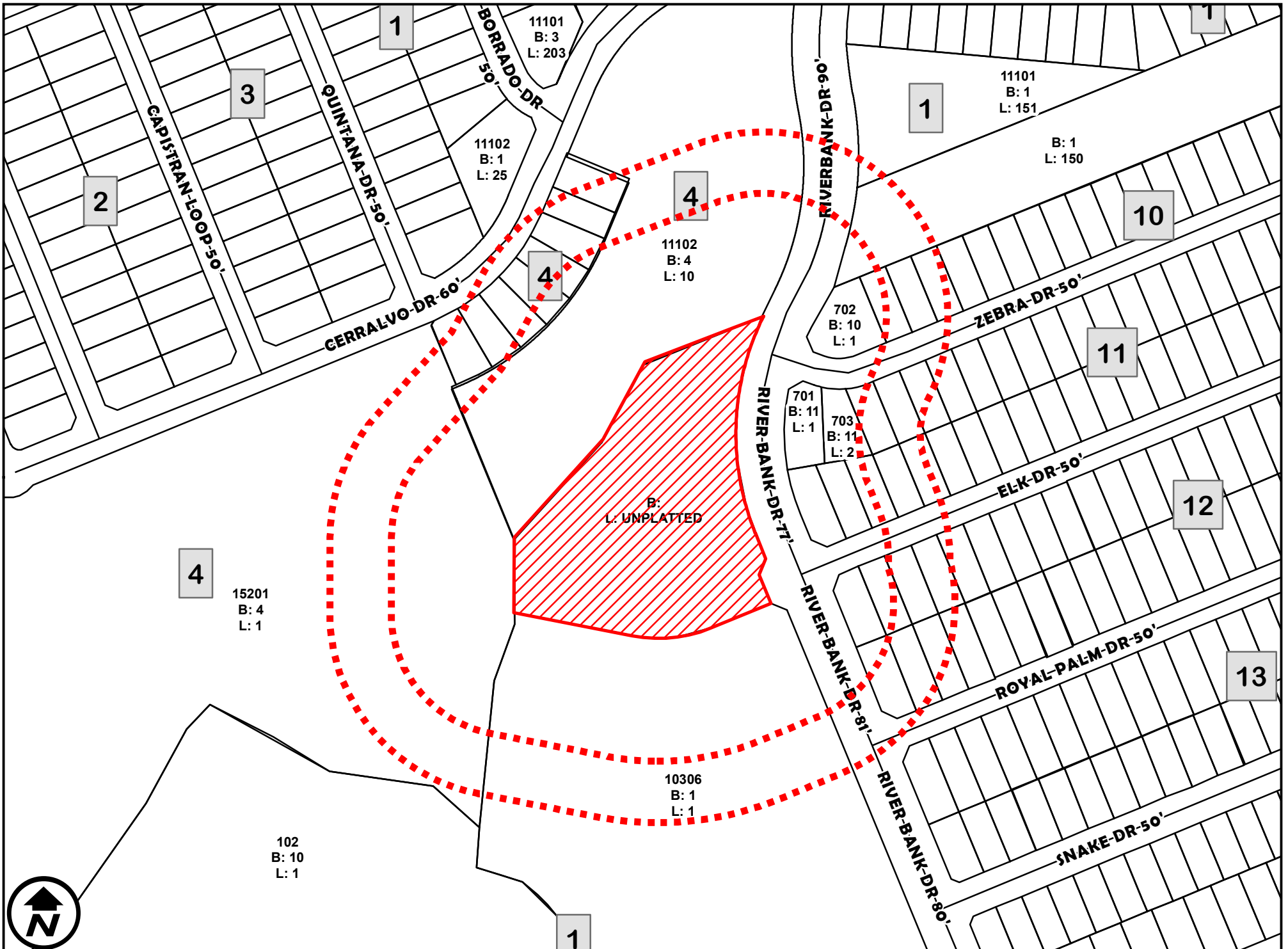
COUNCIL DISTRICT 7

SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

APPLICATION F 157

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT)

R-3 (MIXED RESIDENTIAL DISTRICT)



200' AND 300' NOTIFICATION

ZC-037-2026

APPLICATION F 158

1 inch = 200 feet

COUNCIL DISTRICT 7
SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE

R-1A (SINGLE FAMILY REDUCED AREA DISTRICT)

R-3 (MIXED RESIDENTIAL DISTRICT)



Blue Top Land Surveying

101 W. Hillside, Suite 10
Laredo, Texas 78041
956-724-8423 712-2580 fax
FIRM#10071800

Field Notes

A 3.08 Acre Tract, more or less, out of a tract of land conveyed to Deerfield Land Development, L.C., situated in Porcion 21, Leonardo Garcia, Abstract 49, Webb County, Texas

Being a 3.08 acre tract of land, more or less, out of a tract of land conveyed to Deerfield Land Development, L.C., recorded in Volume 499, Pages 271-276, Official Public Records, Webb County, Texas, situated in Porcion 21, Leonardo Garcia, Abstract 49, Webb County, Texas, said 3.08 acre tract being more particularly described by metes and bounds as follows:

Beginning at a ½" iron rod found along the west Right-of-Way of Riverbank Drive, the northwest corner of Deerfield Subdivision, Phase 2, recorded in Volume 17, Page 48, Plat Records, Webb County, Texas, the southeast corner of Lot 10, Block 4, Replat into Villas San Agustin, Unit 11, recorded in Volume 37, Pages 98-99, Plat Records, Webb County, Texas, the northeast corner of the herein described tract, for the beginning of a tangent curve to the left;

Thence, along said west Right-of-Way of Riverbank Drive, west boundary line of said Deerfield Subdivision, Phase 2, and along the arc of the curve left a distance of **363.93 feet**, said curve having a radius of **430.00 feet**, a delta of **48 degrees 29 minutes and 31 seconds**, with a chord and chord bearing of **353.16 feet** and **South 01 degrees 49 minutes and 18 seconds West** to a ½" iron rod found along said west Right-of-Way, a tangent point of said Deerfield Subdivision, Phase 2, for tangent point hereof;

Thence, along said west Right-of-Way of Riverbank Drive and west boundary lines of said Deerfield Subdivision, Phase 2 the following courses and distances;

S 22°25'27" E, a distance of **45.43 feet** to a ½" iron rod found for a point of deflection of the herein described tract;

S 22°34'33" W, a distance of **28.28 feet** to a ½" iron rod set for a point of deflection of the herein described tract;

S 22°25'27" E, a distance of **48.00 feet** to a ½" iron rod set on the north boundary line of Lot 1, Block 1, UISD Deerfield Subdivision, recorded in Volume 14, Page 74, Plat Records, Webb County, Texas, for the southeast corner of the herein described tract;

Thence, along the north boundary line of said Lot 1, Block 1, **S 67°37'12" W**, a distance of **104.38 feet** to a ½" iron rod set on a point of curvature of said Lot 1, Block 1, for the beginning of a tangent curve to the right;

Thence, along the north boundary line of said Lot 1, Block 1, and along the arc of the curve right a distance of **131.67 feet**, said curve having a radius of **225.00 feet**, a delta of **33 degrees 31 minutes and 44 seconds**, with a chord and chord bearing of **129.80 feet** and **South 84 degrees 23 minutes and 04 seconds West** to a ½" iron rod set at a tangent point of said Lot 1, Block 1, for a tangent point hereof;

Thence, along the north boundary line of said Lot 1, Block 1, **N 78°51'04" W**, a distance of **193.83 feet** to a ½" iron rod set on the east boundary line of Lot 1, Block 4, Amending Plat of Villas San Agustin Unit 3, recorded in Volume 30, Pages 13-14, Plat Records, Webb County, Texas, the most northerly corner of said Lot 1, Block 1, for the southwest corner of the herein described tract;

Thence, along the east boundary line of said Lot 1, Block 4, **N 00°00'20" W**, a distance of **119.82 feet** to a ½" iron rod set on a point of deflection of said Lot 1, Block 4, the most southerly corner of above aforementioned Lot 10, Block 4, of said Replat of Villas San Agustin, Unit 11, for the most westerly northwest corner of the herein described tract;

Thence, along the south boundary lines of said Lot 10, Block 4, the following courses and distances;

N 42°18'37" E, a distance of **212.86 feet** to a ½" iron rod set for a point of deflection of the herein described tract;

N 28°17'35" E, a distance of **143.55 feet** to a ½" iron rod set for a point of deflection of the herein described tract;



Blue Top Land Surveying
101 W. Hillside, Suite 10
Laredo, Texas 78041
956-724-8423 712-2580 fax
FIRM#10071800

Field Notes

**A 3.08 Acre Tract, more or less, out of a tract of land
conveyed to Deerfield Land Development, L.C.,
situated in Porcion 21, Leonardo Garcia, Abstract 49,
Webb County, Texas
(continued)**

Thence, along the south boundary line of said Lot 10, Block 4, *N 68°05'40" E*, a distance of *205.86 feet* to return and close at the **POINT OF BEGINNING** of this 3.08 acre tract, more or less.

Basis of Bearings:

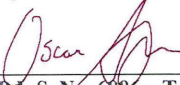
G.P.S., Texas State Plane Coordinate System,
Texas South Zone 4204, NAD83
Vertical Datum – NAVD88 US FT.



State of Texas:

County of Webb:

I, **Oscar Almaguer**, a Registered Professional Land Surveyor in the State of Texas, do hereby state that the above captioned "Field Notes" and attached "Drawing" was prepared from an actual survey performed on the ground under my supervision.



R.P.L.S. No. 6886 – Texas

02-12-26
Current Date

ZC-037-2026
ATTENTION
PROPOSED
ZONE CHANGE
FROM R-1A TO R-3
FOR INFORMATION CALL
CITY PLANNING DEPARTMENT
794-1613

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING APPROXIMATELY 3.08 ACRE TRACT OF LAND, AS FURTHER DESCRIBED BY METES AND BOUNDS IN EXHIBIT A, LOCATED SOUTH OF CERRALVO DRIVE AND WEST OF RIVERBANK DRIVE, FROM R-1A (SINGLE FAMILY REDUCED AREA DISTRICT) TO R-2 (MULTI-FAMILY RESIDENTIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on approximately 3.08 acre tract of land, as further described by metes and bounds in Exhibit A, located south of Cerralvo Drive and west of Riverbank Drive, from R-1A (Single Family Reduced Area District) to R-2 (Multi-Family Residential District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on approximately 3.08 acre tract of land, as further described by metes and bounds in Exhibit A, located south of Cerralvo Drive and west of Riverbank Drive, from R-1A (Single Family Reduced Area District) to R-2 (Multi-Family Residential District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City Council Agenda Item ZC-037-2026, proposing rezoning approximately 3.08 acres from **R-1A (Single Family Reduced Area District)** to **R-2 (Multi-Family Residential District)**, located south of Cerralvo Drive and west of Riverbank Drive

1. Level of Alignment

Strong – Directly supports or fulfills a clearly stated and verbatim goal or policy from the Viva Laredo Comprehensive Plan.

Moderate

Weak/None

2. Supporting Goal(s)/Policy(ies)

Goal 4.1

“Promote a mix of housing types and price points in all neighborhoods to support residents’ changing needs and circumstances.”

Page 281

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed rezoning from R-1A to R-2 directly supports the development of multi-family residential housing, increasing the diversity of housing types available within the area and accommodating varying household needs and income levels.

Policy 4.1.2

“Encourage additions to existing neighborhoods that diversify housing options while preserving neighborhood character.”

Page 282

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposal introduces multi-family residential development in an area already characterized by a mix of residential uses, including nearby R-2 zoning districts and existing multi-family development. The proposal therefore supports housing diversification while remaining compatible with surrounding land use patterns.

Policy 3.2.2

“Encourage higher-density residential development along arterial and collector streets where adequate infrastructure and access exist.”

Page 93

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The subject property is located along Riverbank Drive, identified in the Long Range Thoroughfare Plan as a **minor arterial**. This location is appropriate for higher-density residential development due to its accessibility and proximity to existing infrastructure and public facilities.

Goal 1.3

“Ensure the Future Land Use Map and zoning ordinance are aligned and consistently applied.”

Page 60

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The Future Land Use Map identifies the area as **Medium Density Residential**, which expressly supports R-2 zoning districts and multi-family residential development. The proposed rezoning is therefore consistent with the adopted land use designation.

3. Summary of Alignment

The proposed rezoning from R-1A to R-2 demonstrates **strong alignment** with the *Viva Laredo Comprehensive Plan*. The request directly supports the Comprehensive Plan’s goals of expanding housing diversity and accommodating future residential growth through a broader range of housing options.

The proposal is consistent with the **Future Land Use Map**, which designates the area as **Medium Density Residential**, and therefore fulfills the intent of **Goal 1.3** regarding consistency between zoning and adopted land use policy. Additionally, the site’s location along **Riverbank Drive**, a designated minor arterial, aligns with **Policy 3.2.2**, which encourages higher-density residential development along corridors with adequate access and infrastructure.

The surrounding context includes existing residential neighborhoods, nearby multi-family zoning, recreational facilities, and public schools, making the proposal compatible with the established development pattern. The rezoning also advances broader planning themes related to **housing availability, orderly growth, efficient land use, and mobility**.

Because the proposal directly fulfills multiple stated goals and policies of the Comprehensive Plan and conforms to the adopted Future Land Use Map designation, the request is appropriately classified as **Strong** alignment.

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 24.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a conditional use permit for a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental on Lot 1, Block 1, DCAF Mines Road Plat, located at 16111 FM 1472.

The Planning and Zoning Commission recommended approval of the proposed conditional use permit, and staff supports the application.

ZC-054-2026
District VII

Council District: District 7 **Zone Case:** ZC-054-2026

Letters sent to property owners: 23

In Favor (within 200 radius): 0
Opposed (within 200 radius): 0

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 6 to 0 vote recommended approval of the conditional use permit.

STAFF RECOMMENDATION - Supports

Staff supports the application.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: MMT Ventures, LLC., Owner; Victor J. Linares,
Applicant/Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a conditional use permit for a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental on Lot 1, Block 1, DCAF Mines Road Plat, located at 16111 FM 1472).

The Planning and Zoning Commission recommended approval of the proposed conditional use permit, and staff supports the application.

ZC-054-2026

District VII

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

Council District: VII - Cm. Vanessa Perez

Proposed use: The proposed use is a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental.

Minimum Zoning District Required for Proposed Use: B-4 (Highway Commercial District) zoning district.

Current Zoning District: The site is currently zoned as a B-3 (Community Business District) zoning district.

Site: The site is currently vacant land.

Surrounding land uses: To the north of the site is FM 1472 (Mines Road) and vacant undeveloped land. To the east of the site is Game Creek Boulevard and vacant undeveloped land. To the south of the site is Spearhead Lane, Antler Crossing Avenue, Indian River Avenue, Wild Flower Avenue, and mixed residential uses. To the west of the site is vacant land, Harlequin Transport, and Gallegos Trailers.

Comprehensive Plan: The Future Land Use Map recognizes this area as Neighborhood Mixed-Use.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies FM 1472 as an Expressway, but does not identify Spearhead Lane.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 23

Inside 200' Radius: In Favor: 0 Opposed: 0

Outside 200' Radius: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a **6 to 0** vote recommended **approval** of the proposed conditional use permit.

STAFF RECOMMENDATION

A Conditional Use Permit is intended to provide for those land uses where additional regulation is necessary to protect the property and surrounding area. It is primarily intended for property located in older section of the city and is intended to promote development and/or redevelopment of such property, which is consistent with the land use patterns of surrounding property.

Staff **supports** the proposed conditional use permit for the following reasons:

1. The site is located along FM 1472 (Mines Road), which is identified as an Expressway on the City's Thoroughfare Plan. The location along a major transportation corridor is suitable for commercial and industrial-oriented uses that require direct access to high-capacity roadways.
2. The proposed use is compatible with the surrounding area, as there are similar commercial and trucking-related uses located in the vicinity, including Harlequin Transport and Gallegos Trailers west of the site. The proposed use would not introduce a dissimilar land use pattern into the area.
3. Although residential uses exist to the south of the property, the drainage easement provides a buffer between the proposed use and the nearby neighborhood. Additionally, the Conditional Use Permit process allows the City to impose operational conditions intended to mitigate potential impacts to adjacent residential properties.

Notice to the owner/applicant:

1. The approval of the conditional use permit does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

If approved, Staff suggests the following conditions

1. The Conditional Use Permit is restricted to the site plan, "Exhibit A", which is made part hereof for all purposes.
2. The hours of operation shall be limited to, Monday to Saturday, 8:00am to 6:00pm.

3. The repair, servicing, dismantling, painting, body work, lubrication, welding, or mechanical work of heavy trucks, trailers, heavy machinery, or commercial vehicles shall be prohibited on the property.
4. Vehicle access shall be limited exclusively to FM 1472 (Mines Road). Access through Spearhead Lane or adjacent residential streets shall be prohibited.
5. No outdoor storage of discarded parts, tires, fluids, scrap materials, or inoperable vehicles shall be permitted.
6. Owner shall comply with all notes and restrictions listed on the recorded plat entitled "DCAF Mines Road Plat", recorded in Volume 492, Pages 732-761, Deed Records, Webb County, Texas, including all the notes related to the drainage easement.
 - a. Lot 1 Block 1 shall receive surface runoff from Lot 2 and Lot 3 Block 1 through drainage easement. Lot 2 shall receive surface runoff from Lot 3 through drainage easement. No improvements shall be constructed in such a way as to impede the drainage flow. If fence/wall which has the potential to block drainage runoff must be constructed, it must have adequate number and size of opening to permit surface water runoff to continue to flow.
 - b. The pond of this plat is subject to a maintenance and monitoring agreement dated 02/19/2020 between the City of Laredo and DCAF properties L.L.C. said agreement as recorded in Volume 4741 Pages 0181-0191, Official Public Records of Webb County Texas.
 - c. Lot 1, 2, and the west part of Lot 3 Block 1 will drain towards the back of the lot. Owner shall not change the grades or construct flow restricting fences, buildings, structures or other improvements in such manner that impedes the established drainage flow. Fence/wall which has the potential to block drainage runoff must be constructed with adequate number and size of openings to permit surface water runoff to continue to flow.
7. The paving or use of the drainage easement area for the parking or placement of heavy trucks, trailers, heavy machinery, storage, commercial vehicles, or similar equipment shall be prohibited at all times.
8. The establishment shall be kept in a sanitary condition.
9. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.
10. Landscaping shall be provided in accordance with the City of Laredo Land Development Code.
11. The owner shall provide an opaque block fence or wall of not less than 7 (seven) feet in height along any side or rear property lines which abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums or residential townhomes shall be similarly screened irrespective of which zoning district they occur in.

12. Plywood, sheet metal, and corrugated steel fencing is prohibited.
13. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
14. Signage shall be consistent with the City's Sign Ordinance.
15. Off-street parking shall be provided in accordance with the City of Laredo Land Development Code.
16. There shall be no ground vibrations created or sustained on the site which are perceptible without instruments at any point on any property adjoining the subject property. Any outdoor music shall be at the decibel levels stated in the City of Laredo Code of Ordinances, Article IX, Noise Nuisances.
17. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.
18. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
19. The proposed use shall undergo an annual Fire Inspection.
20. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current, including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.
21. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.

IMPACT ANALYSIS

Is this change contrary to the established land use pattern?

There are similar uses west of the site. There are residential uses to the south of the site.

Would this change create an isolated zoning district unrelated to surrounding districts?

The zoning will not change.

Will change adversely influence living conditions in the neighborhood?

It may be anticipated to have a negative impact to the surrounding neighborhood and area.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing zone does not allow for the proposed use as intended by the applicant.

Attachments

Maps

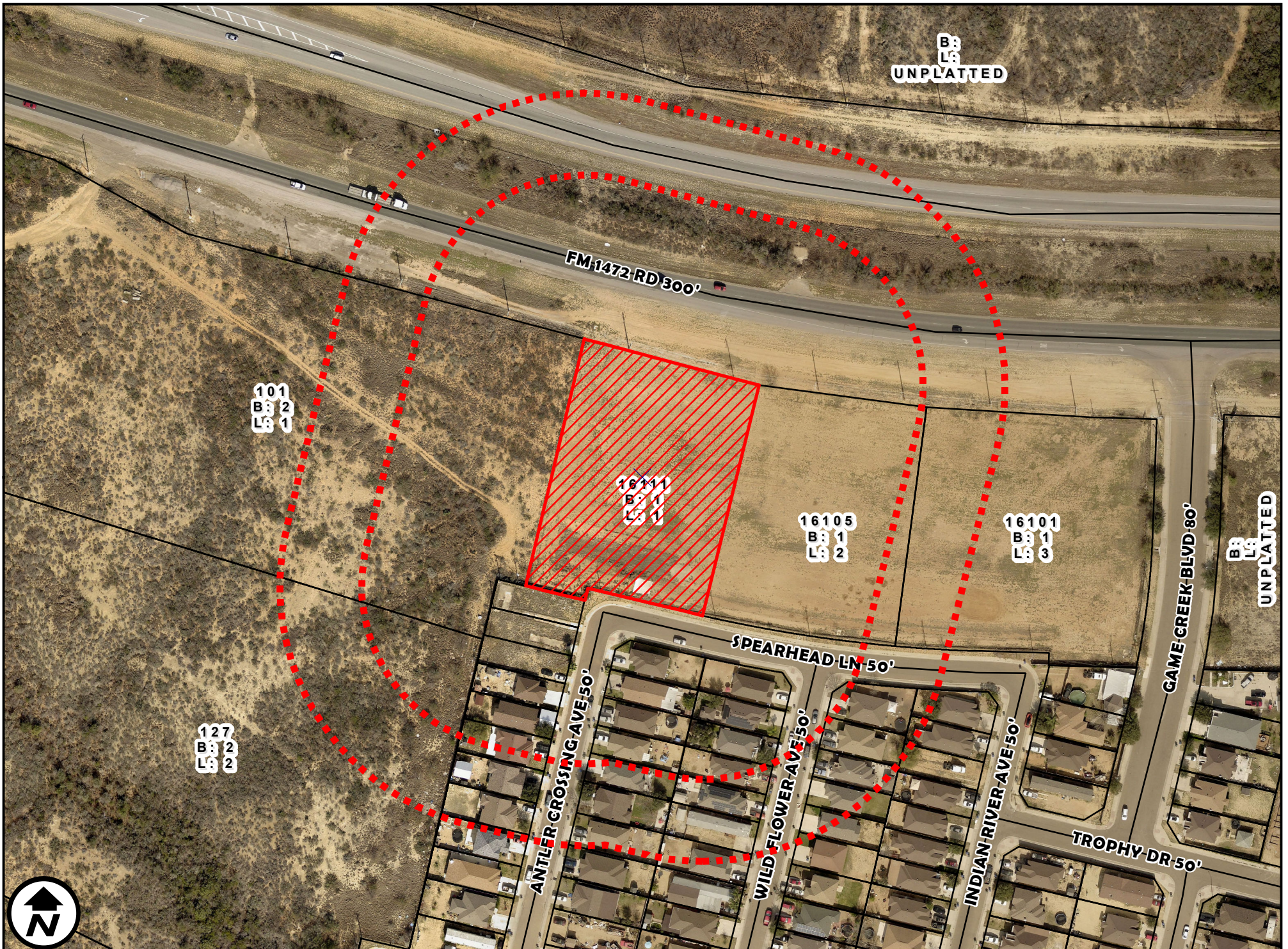
Narrative

Site Plan

Zone Change Signage

Comp Plan Alignment

Draft Ordinance



AERIAL MAP

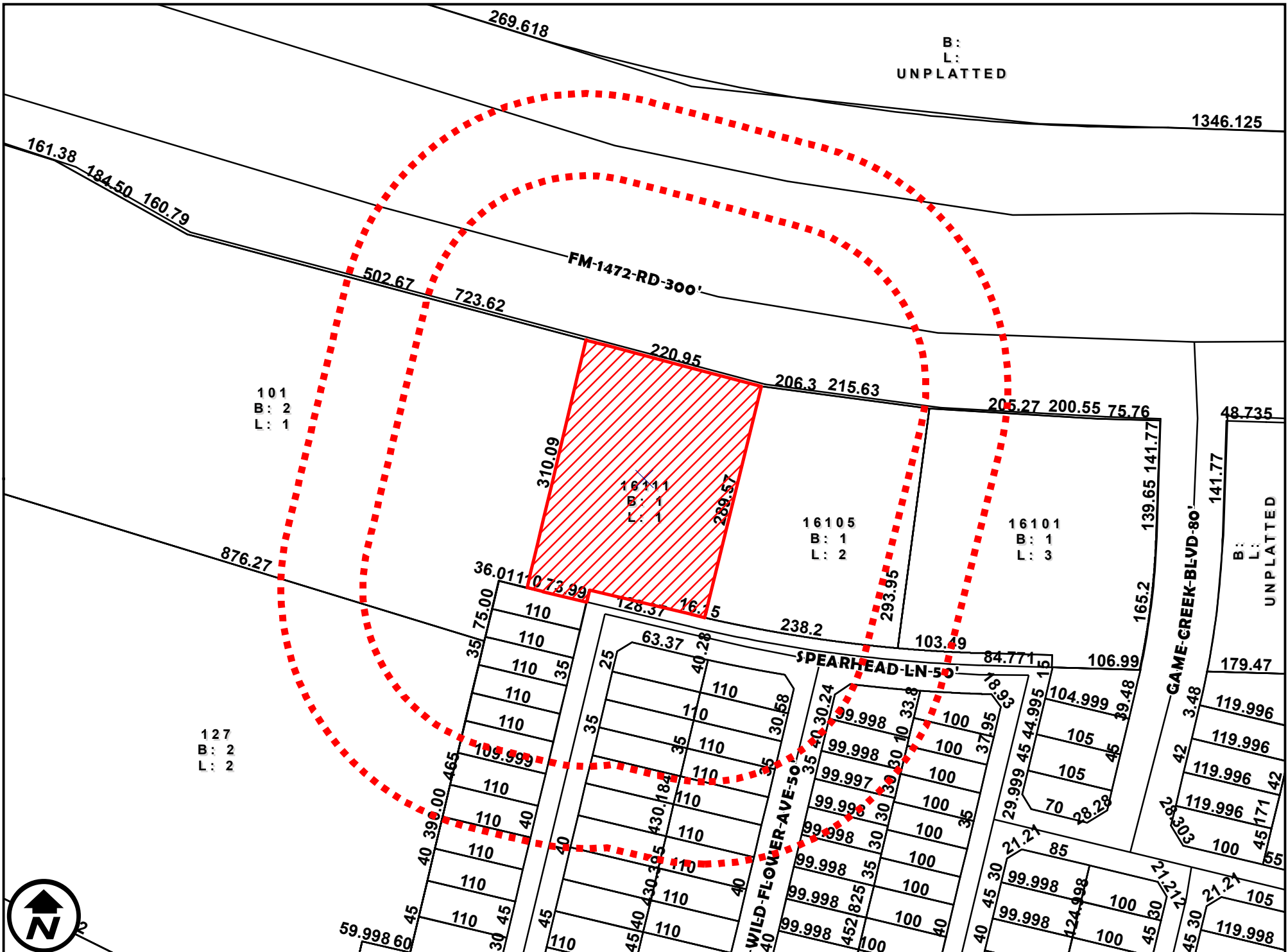
1 inch = 150 feet

ZC-054-2026
COUNCIL DISTRICT 7
16111 FM 1472

C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL

APPLICATION F 174

B-3 (COMMUNITY BUSINESS DISTRICT)



B:
L:
UNPLATTED

101
B: 2
L: 1

127
B: 2
L: 2

16105
B: 1
L: 2

16101
B: 1
L: 3

48.735

B:
L:
UNPLATTED



DIMENSIONS MAP

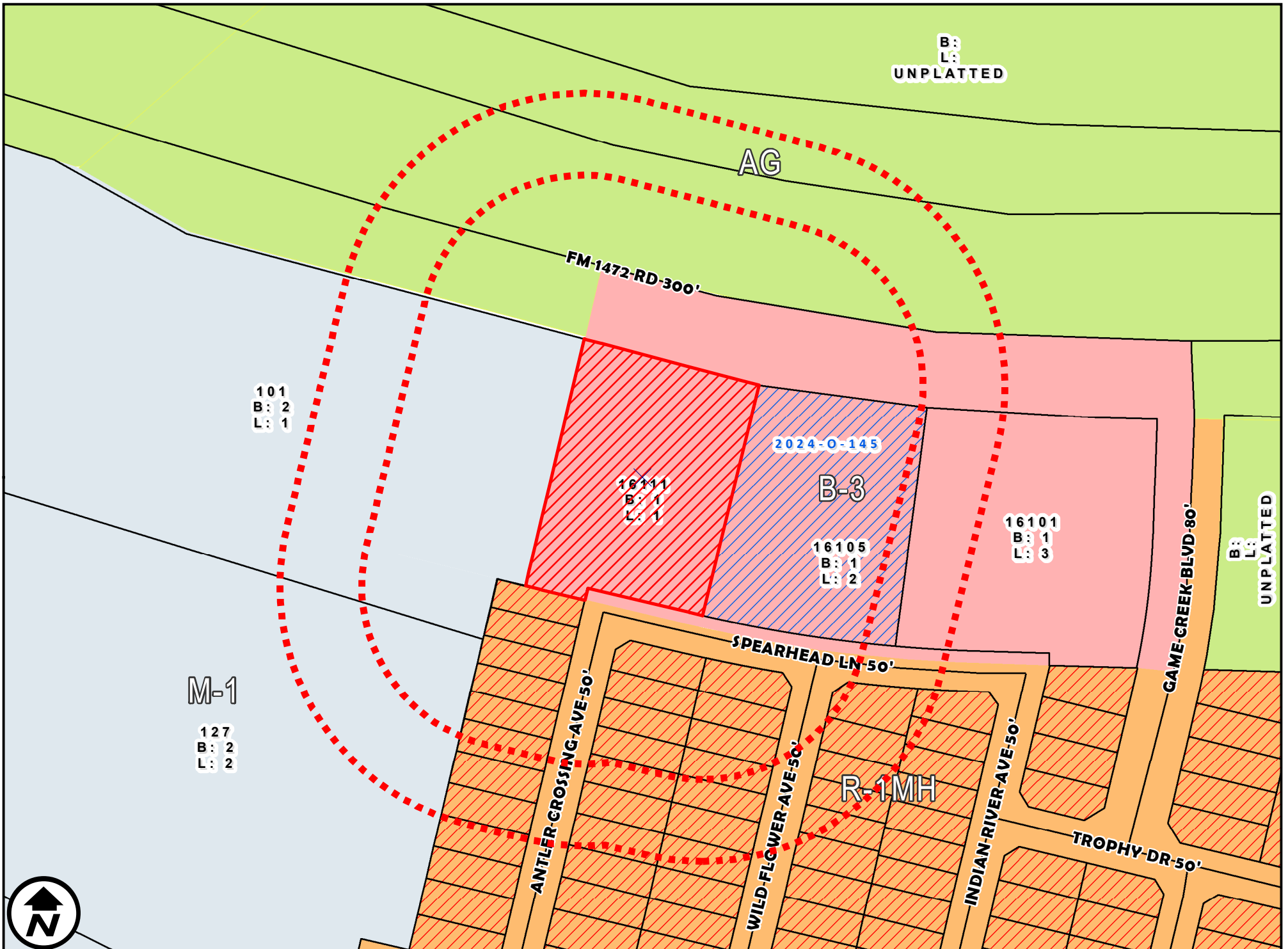
1 inch = 150 feet

ZC-054-2026
COUNCIL DISTRICT 7
16111 FM 1472

C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL

APPLICATION F 175

B-3 (COMMUNITY BUSINESS DISTRICT)



ZONING MAP

1 inch = 150 feet

ZC-054-2026
 COUNCIL DISTRICT 7
 16111 FM 1472

C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL

APPLICATION F 176

B-3 (COMMUNITY BUSINESS DISTRICT)

B:
L:
UNPLATTED

FM-1472-RD-300'

101
B: 2
L: 1

16111
B: 1
L: 1

16105
B: 1
L: 2

16101
B: 1
L: 3

B:
L:
UNPLATTED

127
B: 2
L: 2

GAME-CREEK-BLVD-80'

SPEARHEAD-LN-50'

ANTLER-CROSSING-AVE-50'

WILD-FLOWER-AVE-50'

INDIAN-RIVER-AVE-50'

TROPHY-DR-50'

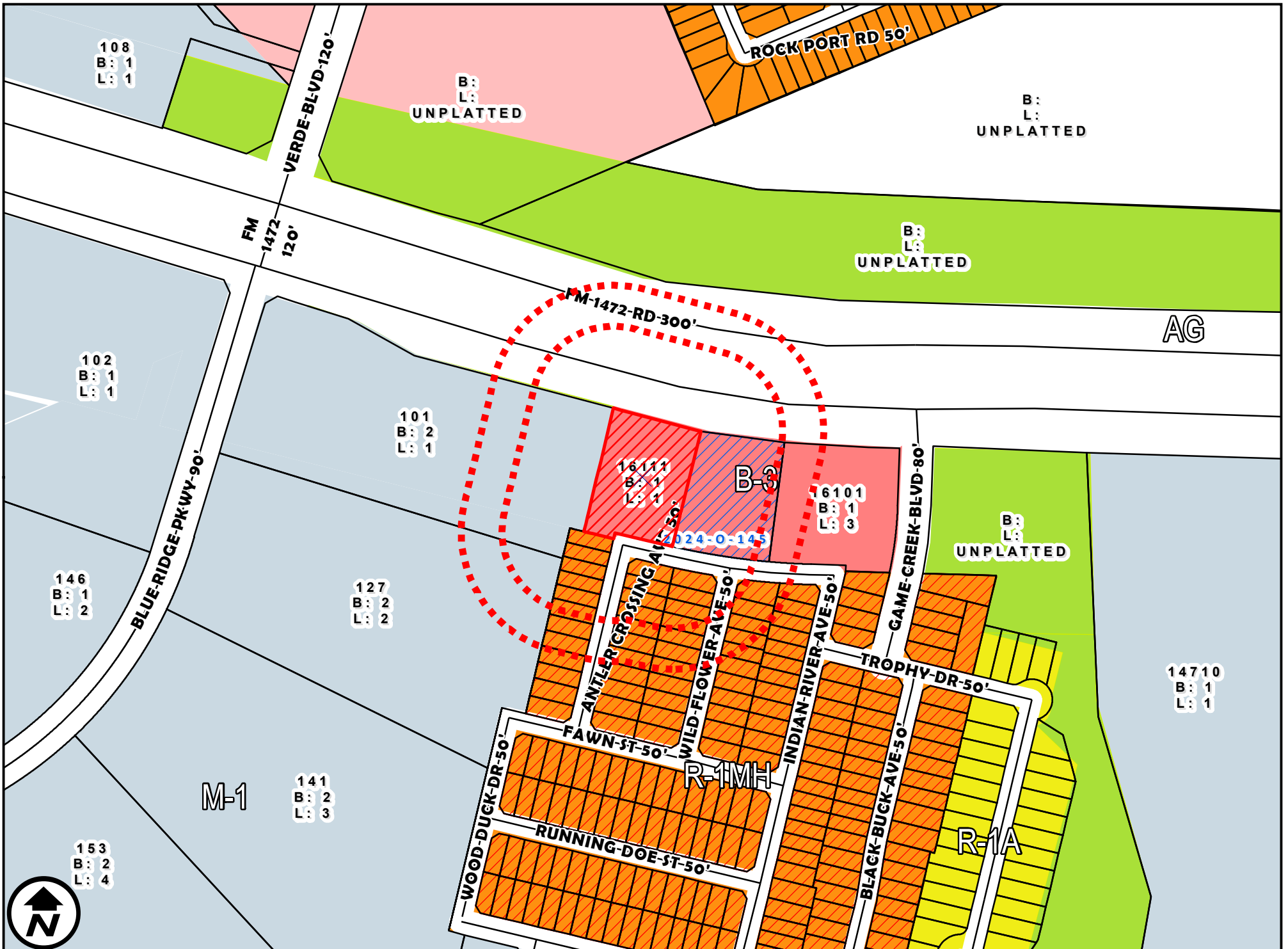


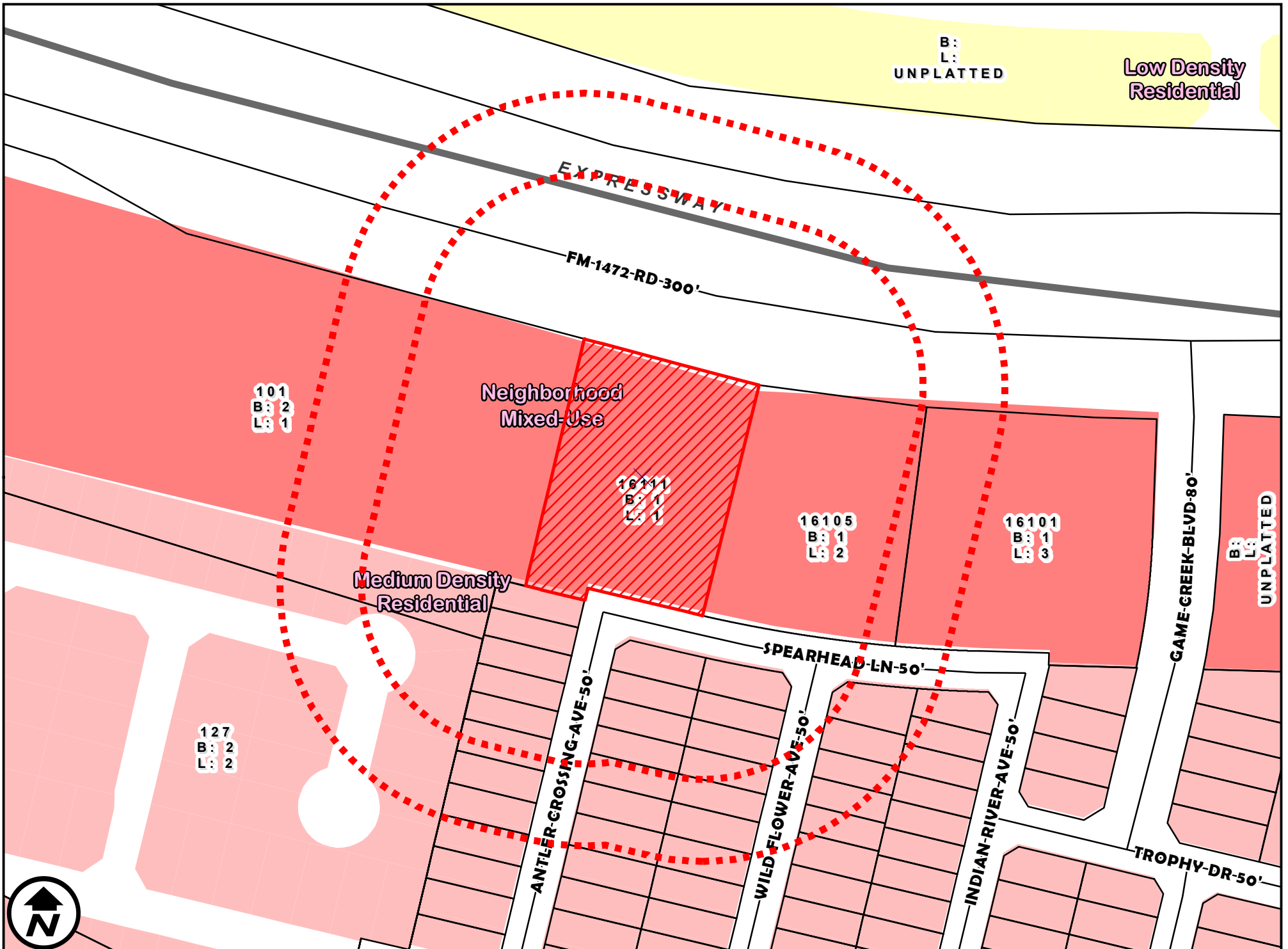
SURVEY MAP

1 inch = 150 feet

ZC-054-2026
COUNCIL DISTRICT 7
16111 FM 1472

APPLICATION F 177
B-3 (COMMUNITY BUSINESS DISTRICT)
C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL





FUTURE LANDUSE

1 inch = 150 feet

ZC-054-2026
COUNCIL DISTRICT 7
16111 FM 1472

APPLICATION F 179
B-3 (COMMUNITY BUSINESS DISTRICT)
C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL

B:
L: UNPLATTED

FM-1472-RD-300'

101
B: 2
L: 1

16111
B: 1
L: 1

16105
B: 1
L: 2

16101
B: 1
L: 3

127
B: 2
L: 2

GAME-CREEK-BLVD-80'

SPEARHEAD-LN-50'

ANTLER-CROSSING-AVE-50'

WILD-FLOWER-AVE-50'

INDIAN-RIVER-AVE-50'

TROPHY-DR-50'



200' AND 300' NOTIFICATION

ZC-054-2026
COUNCIL DISTRICT 7
16111 FM 1472

1 inch = 150 feet

C.U.P. FOR HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL

APPLICATION F 180

B-3 (COMMUNITY BUSINESS DISTRICT)

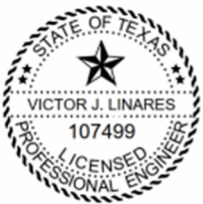
On behalf of Mr. Mauricio Murillo,

This letter is to formally request a CUP of a B4 use for the following existing conditions and criteria:

- The current business falls within Lot 1 of Block 1, of DCAF Mines Road Plat. Formal Address is 16111 FM-1472, Laredo, TX 78045.
- Current Business Name is MMT Ventures LLC. Primary use is the sales of Trucks & Trailers, which fall on the definition of Heavy Machinery.
- Current Zone is a B-3, we are requesting a Conditional Use Permit for the sales of Heavy Machinery Sales/Display (Outdoor), Code 5080 and for Truck/Trailer Rental, under Code 4200 of the Land Use Chart under Section 24.63, which requires a B-4.
- Business operation is from 8:00 am to 6:00 pm.
- Days of operation will be from Monday to Saturday.
- Currently Business is run by 2 staff members.
- Request for the CUP to be kept use within the lots and allowed to be transferred to different businesses, no expiration date.

Should there be any concerns please feel free to contact us.

Sincerely,



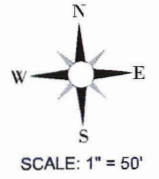
A handwritten signature in blue ink, appearing to read "V. Linares", positioned to the right of the professional seal.

Victor J. Linares, P.E.

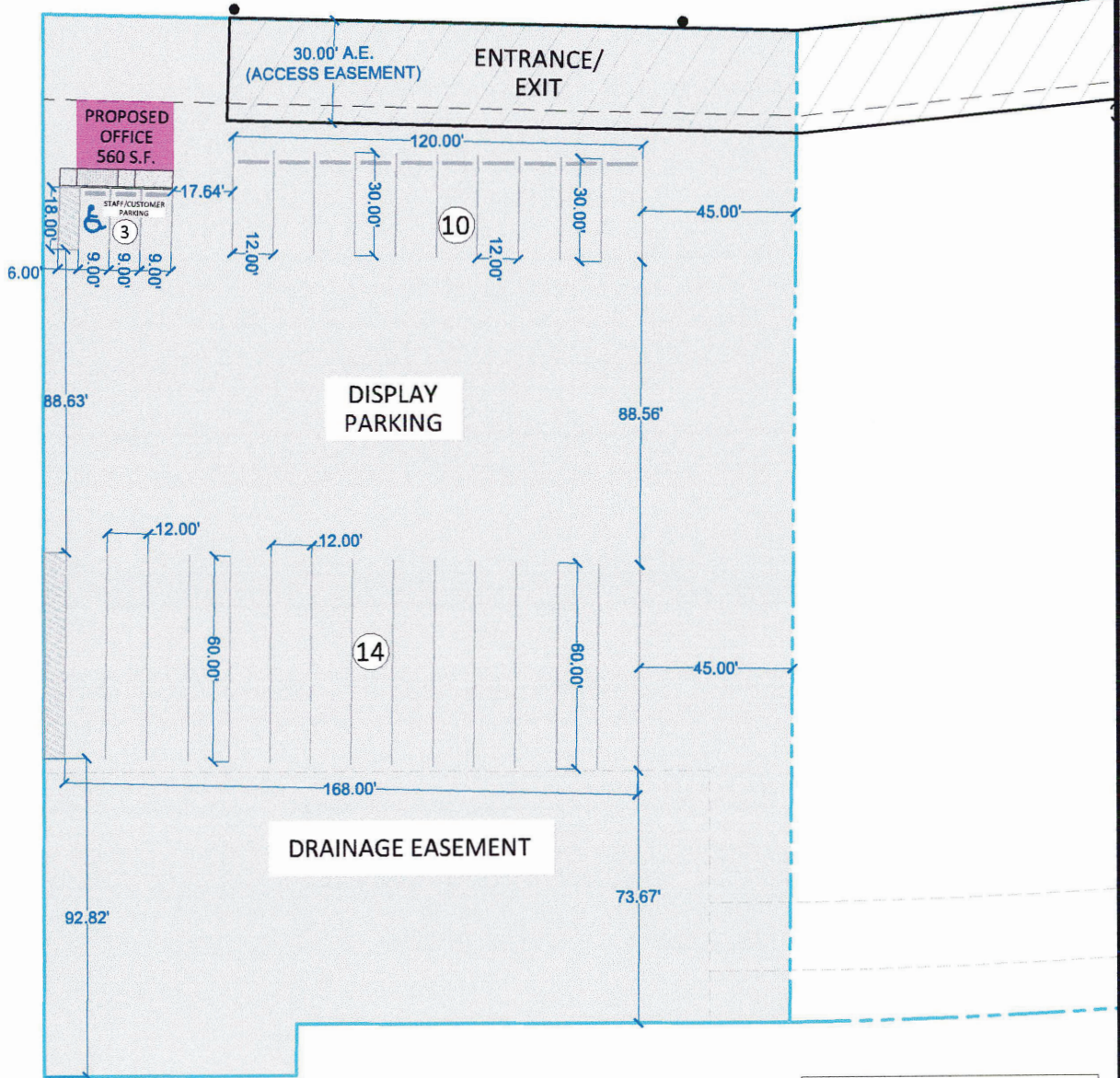
*Letter is written by Mr. Victor J. Linares, P.E. on behalf of Mr. Gaudalupe Murillo.

EXHIBIT A

FM 1472 (MINES RD.)
(R.O.W. VARIES)



JULIA MULLER
WEATHERS



PARKING SUMMARY	
DISPLAY PARKING=	24
STAFF PARKING=	2
CUSTOMER PARKING=	3



[Signature]

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR J. LINARES, P.E., #107499 ON 10/16/2025 FOR THE PURPOSE OF CUP APPLICATION EXHIBIT USE ONLY.

**SITE PLAN OPTION #1 @ 16111 FM
1472, LAREDO TX 78045**



TBPE Reg. #: F-23802
Office: (956) 251-2808
408 Shiloh Dr., Ste. 1
Laredo, TX 78045



ZC-054-2026
ATTENTION

PROPOSED

CONDITIONAL USE PERMIT

**FOR INFORMATION CALL
CITY PLANNING DEPARTMENT
794-1613**

1. Level of Alignment

- Strong
 Moderate – Indirectly supports or contributes to the intent of a verbatim goal or policy.
 Weak/None
-

2. Supporting Goal(s)/Policy(ies)

Goal 9.1

“Support and expand existing businesses while attracting new industry and employers to strengthen and diversify the local economy.”

Page 365

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed heavy machinery sales/display and truck/trailer rental operation supports economic activity tied to the logistics and transportation sectors, which are integral to Laredo’s economy. The proposal contributes to commercial and employment opportunities associated with the freight corridor along FM 1472.

Policy 9.1.1

“Support a diversified industrial base that includes logistics, manufacturing, and value-added processing and distribution.”

Page 366

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed use directly relates to transportation and logistics-support services. The site’s location along FM 1472, a major trucking corridor, supports the Comprehensive Plan’s economic development strategy centered around freight and logistics infrastructure.

Policy 3.2.1

“Direct higher-intensity commercial uses to major corridors and arterial roadways where infrastructure can adequately support such development.”

Page 93

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The subject property fronts FM 1472 (Mines Road), identified in the Long Range Thoroughfare Plan as an **Expressway**. This corridor is appropriate for transportation-oriented commercial activity that requires direct access to high-capacity roadways.

Policy 6.1.2

“Promote compatibility between land uses and ensure appropriate transitions between differing land use intensities.”

Page 285

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

Although the surrounding area contains similar trucking and commercial uses, residential neighborhoods exist to the south of the site. The Conditional Use Permit includes operational restrictions, landscaping, buffering, access limitations, fencing, lighting controls, and drainage protections intended to mitigate impacts and improve compatibility with nearby residential properties.

3. Summary of Alignment

The proposed Conditional Use Permit for Heavy Machinery Sales/Display and Truck/Trailer Rental demonstrates **moderate alignment** with the *Viva Laredo Comprehensive Plan*. The proposal supports economic development and logistics-related commercial activity consistent with **Goal 9.1** and **Policy 9.1.1**, particularly given the site’s location along FM 1472, a major freight and transportation corridor.

The request also aligns with **Policy 3.2.1**, which encourages higher-intensity commercial uses along arterial corridors with adequate roadway capacity. The location on FM 1472 makes the site appropriate for transportation-oriented commercial uses requiring expressway access.

However, the Future Land Use Map designates the area as **Neighborhood Mixed-Use**, which typically emphasizes more integrated and neighborhood-compatible development patterns. Additionally, the presence of residential uses to the south introduces compatibility concerns acknowledged in the staff report. While the CUP conditions provide significant mitigation

measures—including restricted access, buffering, operational limitations, and prohibitions on repair activities—these concerns prevent the request from achieving strong alignment.

The proposal intersects with broader planning themes related to **economic development, freight mobility, corridor-based commercial growth, and land use compatibility.**

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE MAP OF THE CITY OF LAREDO BY AUTHORIZING THE ISSUANCE OF A CONDITIONAL USE PERMIT FOR A HEAVY MACHINERY SALES/DISPLAY (OUTDOOR) AND TRUCK/TRAILER RENTAL ON LOT 1, BLOCK 1, DCAF MINES ROAD PLAT, LOCATED AT 16111 FM 1472; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a request has been received for the issuance of a conditional use permit for a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental on Lot 1, Block 1, DCAF Mines Road Plat, located at 16111 FM 1472; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the issuance of the Conditional Use Permit; and,

WHEREAS, notice of the Conditional Use Permit request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026, on the request and finds the Conditional Use Permit appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by authorizing the issuance of a conditional use permit for a Heavy Machinery Sales/Display (Outdoor) and Truck/Trailer Rental on Lot 1, Block 1, DCAF Mines Road Plat, located at 16111 FM 1472.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. The Conditional Use Permit is restricted to the site plan, "Exhibit A", which is made part hereof for all purposes.
2. The hours of operation shall be limited to, Monday to Saturday, 8:00am to 6:00pm.
3. The repair, servicing, dismantling, painting, body work, lubrication, welding, or mechanical work of heavy trucks, trailers, heavy machinery, or commercial vehicles shall be prohibited on the property.
4. Vehicle access shall be limited exclusively to FM 1472 (Mines Road). Access through Spearhead Lane or adjacent residential streets shall be prohibited.
5. No outdoor storage of discarded parts, tires, fluids, scrap materials, or inoperable vehicles shall be permitted.
6. Owner shall comply with all notes and restrictions listed on the recorded plat entitled "DCAF Mines Road Plat", recorded in Volume 492, Pages 732-761, Deed Records, Webb County, Texas, including all the notes related to the drainage easement.
 - a) Lot 1 Block 1 shall receive surface runoff from Lot 2 and Lot 3 Block 1 through drainage easement. Lot 2 shall receive surface runoff from Lot 3 through drainage easement. No improvements shall be constructed in such a way as to impede the drainage flow. If fence/wall which has the potential to block drainage runoff must be constructed, it must have adequate number and size of opening to permit surface water runoff to continue to flow.
 - b) The pond of this plat is subject to a maintenance and monitoring agreement dated 02/19/2020 between the City of Laredo and DCAF properties L.L.C. said agreement as recorded in Volume 4741 Pages 0181-0191, Official Public Records of Webb County Texas.
 - c) Lot 1, 2, and the west part of Lot 3 Block 1 will drain towards the back of the lot. Owner shall not change the grades or construct flow restricting fences, buildings, structures or other improvements in such manner that impedes the established drainage flow. Fence/wall which has the potential to block drainage runoff must be constructed with adequate number and size of openings to permit surface water runoff to continue to flow.
7. The paving or use of the drainage easement area for the parking or placement of heavy trucks, trailers, heavy machinery, storage, commercial vehicles, or similar equipment shall be prohibited at all times.
8. The establishment shall be kept in a sanitary condition.
9. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.
10. Landscaping shall be provided in accordance with the City of Laredo Land Development Code.
11. The owner shall provide an opaque block fence or wall of not less than 7 (seven) feet in height along any side or rear property lines which abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums or residential townhomes shall be similarly screened irrespective of which zoning district they occur in.

12. Plywood, sheet metal, and corrugated steel fencing is prohibited.
13. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
14. Signage shall be consistent with the City's Sign Ordinance.
15. Off-street parking shall be provided in accordance with the City of Laredo Land Development Code.
16. There shall be no ground vibrations created or sustained on the site which are perceptible without instruments at any point on any property adjoining the subject property. Any outdoor music shall be at the decibel levels stated in the City of Laredo Code of Ordinances, Article IX, Noise Nuisances.
17. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.
18. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
19. The proposed use shall undergo an annual Fire Inspection.
20. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current, including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.
21. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.

Section 3: This ordinance shall be published in a manner provided by Section 2.09(D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

Section 5: The Conditional Use Permit authorized by this ordinance shall be revoked pursuant to the Laredo Land Development Code, section 24.94.10, entitled "Revocation".

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY
APPROVED AS TO FORM:

DOANH “ZONE” T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 25.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-059-2026
District I

Council District: District 1 **Zone Case:** ZC-059-2026

Letters sent to property owners: 29

In Favor (within 200 radius): 0
Opposed (within 200 radius): 1

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 5 to 0 vote recommended approval of the zone change.

STAFF RECOMMENDATION - Supports

Staff supports the application.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: City of Laredo, Owner; Lauren Bluestone,
Applicant/Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

The Planning and Zoning Commission recommended approval of the proposed zone change, and staff supports the application.

ZC-059-2026

District I

PREVIOUS COUNCIL ACTION

On February 7, 2000, City Council approved the conditional use permit for a Police Substation.

On November 3, 2025, City Council approved the conditional use permit amendment to allow an Animal Care Substation (Office).

BACKGROUND

Council District: I – Cm. Gilbert Gonzalez

Proposed use: The proposed use is an Animal Care Substation.

- The original approval for the site consisted primarily of an office use associated with limited animal care operations.
- Due to the proposed expansion of animal confinement activities, the applicant is concurrently pursuing a zone change request in order to establish the appropriate underlying zoning district necessary to accommodate the proposed Conditional Use Permit overlay to allow the animal confinement use.

Site: The site is occupied by an Animal Care Substation (Office).

Surrounding land uses: To the north of the site is residential uses. To the east of the site is residential uses, Triumph Public High School - Laredo South, and Lucy Avenue. To the south of the site is Sierra Vista Boulevard, vacant land, residential uses, and Nuestra Señora Del Rosario Catholic Church. To the west of the site is Ceniso Loop, Webb County of Sierra Vista, and residential uses.

Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies Sierra Vista as a Minor Arterial and Ceniso Loop as a local street.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 29

Inside 200' Radius: In Favor: 0 Opposed: 1

Outside 200' Radius: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a 5 to 0 vote recommended **approval** of the proposed zone change.

STAFF RECOMMENDATION

Staff **supports** the proposed zone change for the following reasons:

1. The substation will provide a designated location for the care, intake, and placement of stray animals within the area, contributing to improved public safety, animal welfare, and a more secure neighborhood environment.
2. The proposed zone change is appropriate at this location since the property abuts B-1 zoning to the east of the site.
3. The proposed zone will not create an isolated zoning district.

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

Staff **supports** the application.

B-1. The purpose of the B-1 (Limited Business District) is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

There are no similar uses in the area. There are residential uses to the north, east, south, and west of the site. To the east of the site is a public high school.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. There is a B-1 zoning district to the east of the site.

Will change adversely influence living conditions in the neighborhood?

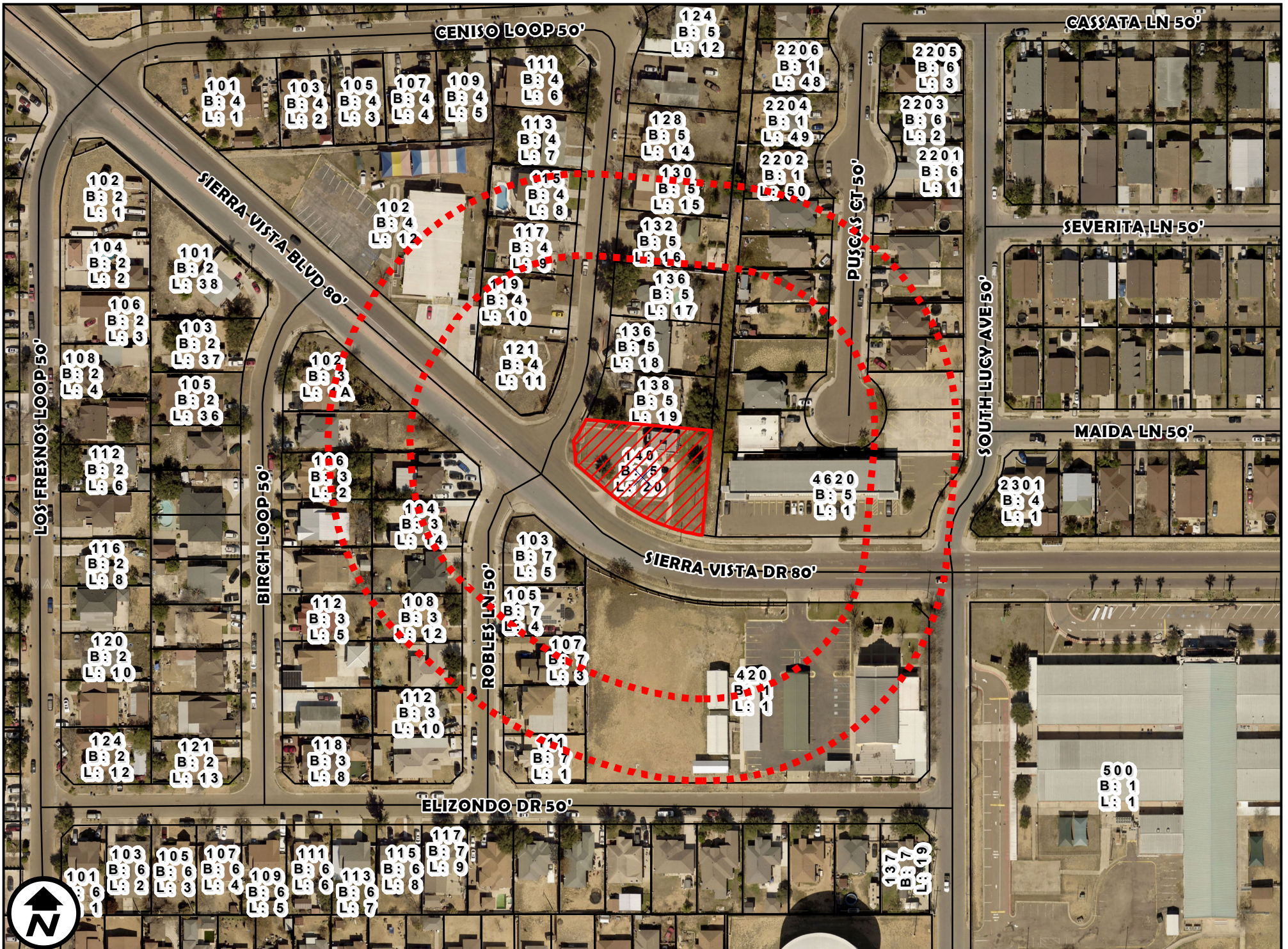
It may be anticipated to have a negative impact to the surrounding neighborhood and area.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing R-1 does not allow for Animal Care Substation as intended by the applicant.

Attachments

Maps
Comp Plan Alignment
Draft Ordinance

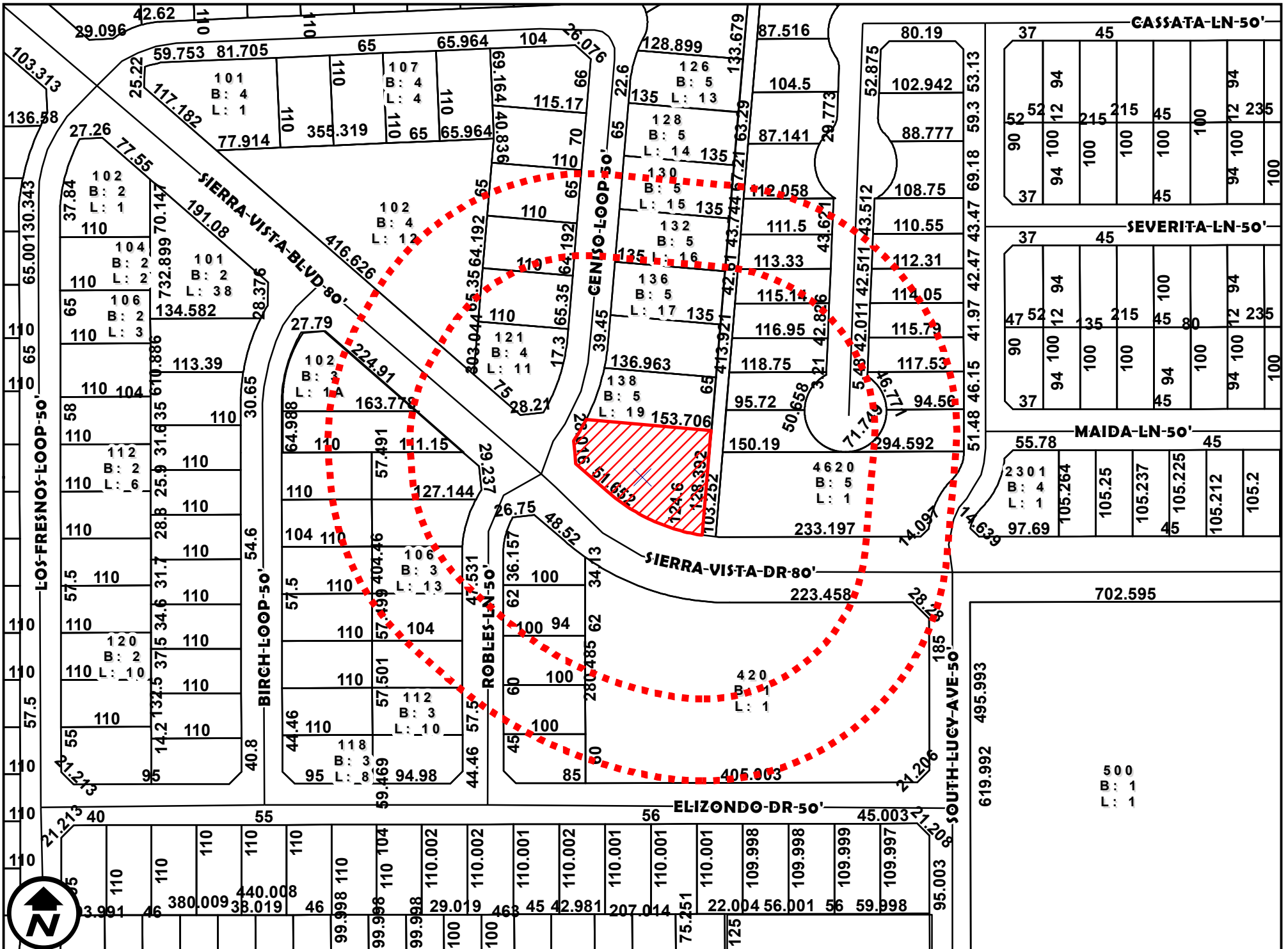


AERIAL MAP

1 inch = 150 feet

ZC-059-2026
 COUNCIL DISTRICT 1
 140 CENISO LOOP

APPLICATION F 196
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) ...
 B-1 (LIMITED BUSINESS DISTRICT)

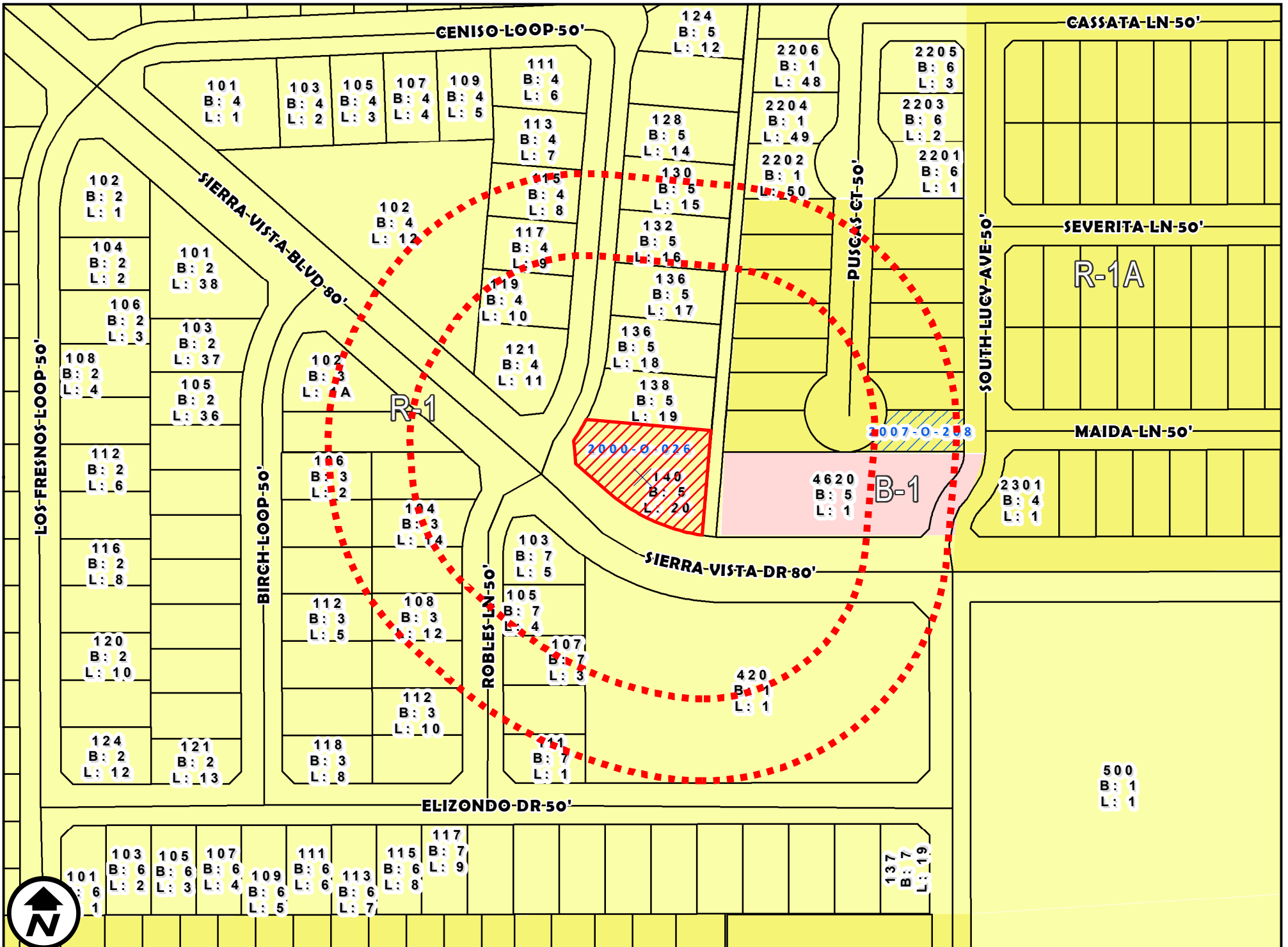


DIMENSIONS MAP

1 inch = 150 feet

ZC-059-2026
 COUNCIL DISTRICT 1
 140 CENISO LOOP

APPLICATION F 197
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) ...
 B-1 (LIMITED BUSINESS DISTRICT)

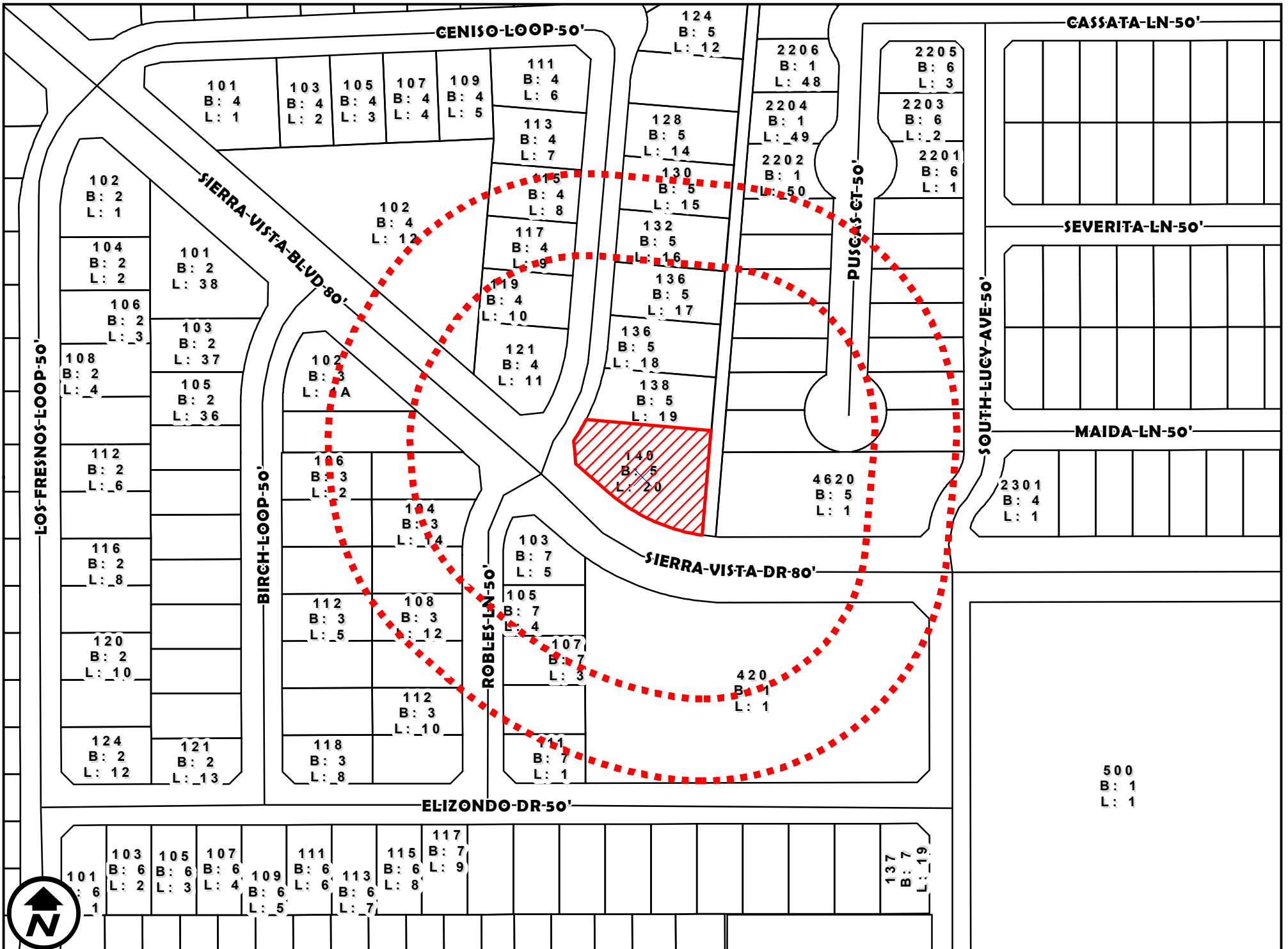


ZONING MAP

1 inch = 150 feet

ZC-059-2026
 COUNCIL DISTRICT 1
 140 CENISO LOOP

APPLICATION F 198
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)



SURVEY MAP

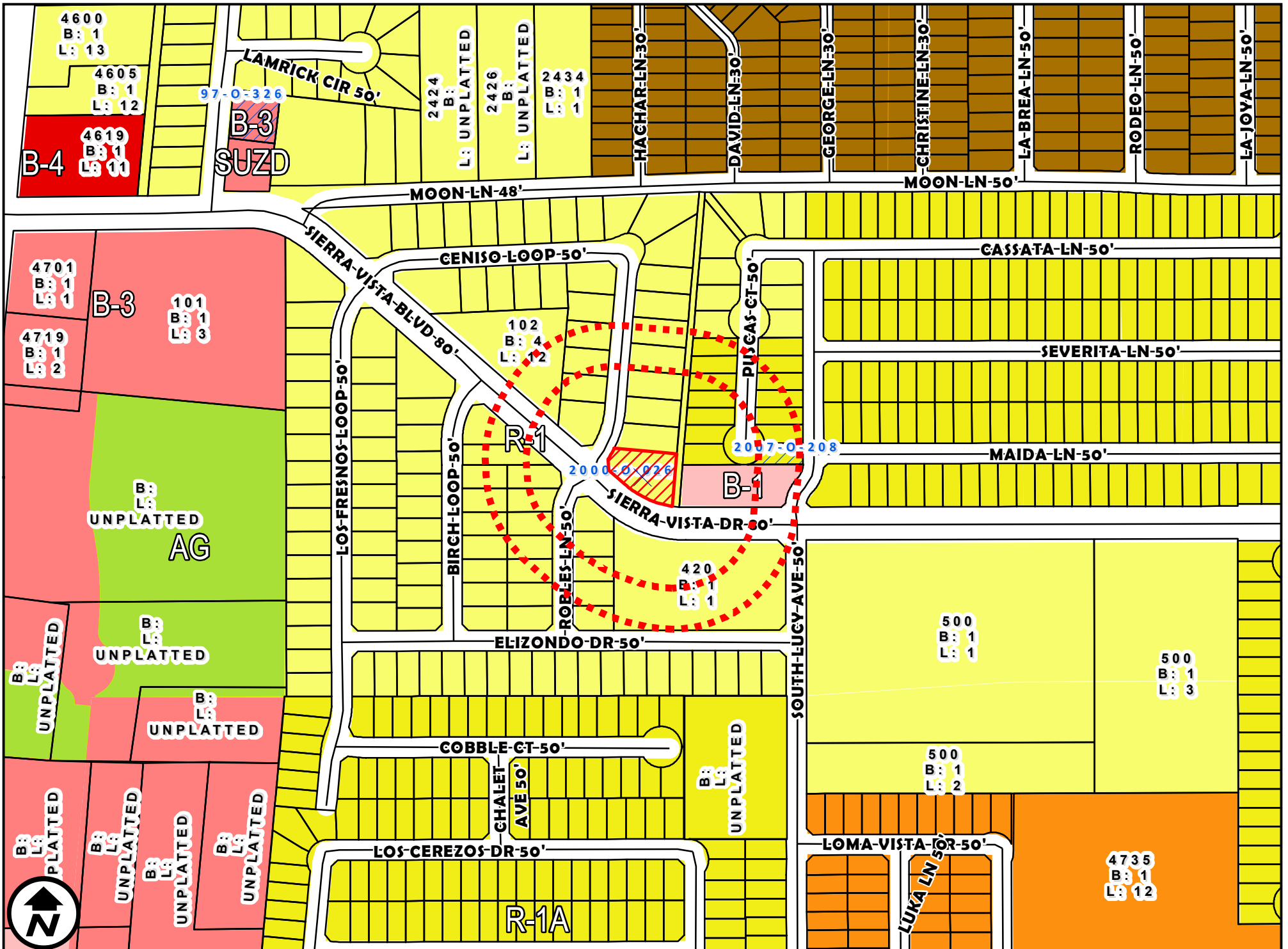
1 inch = 150 feet

ZC-059-2026

COUNCIL DISTRICT 1
140 CENISO LOOP

APPLICATION F 199

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) . . .
B-1 (LIMITED BUSINESS DISTRICT)



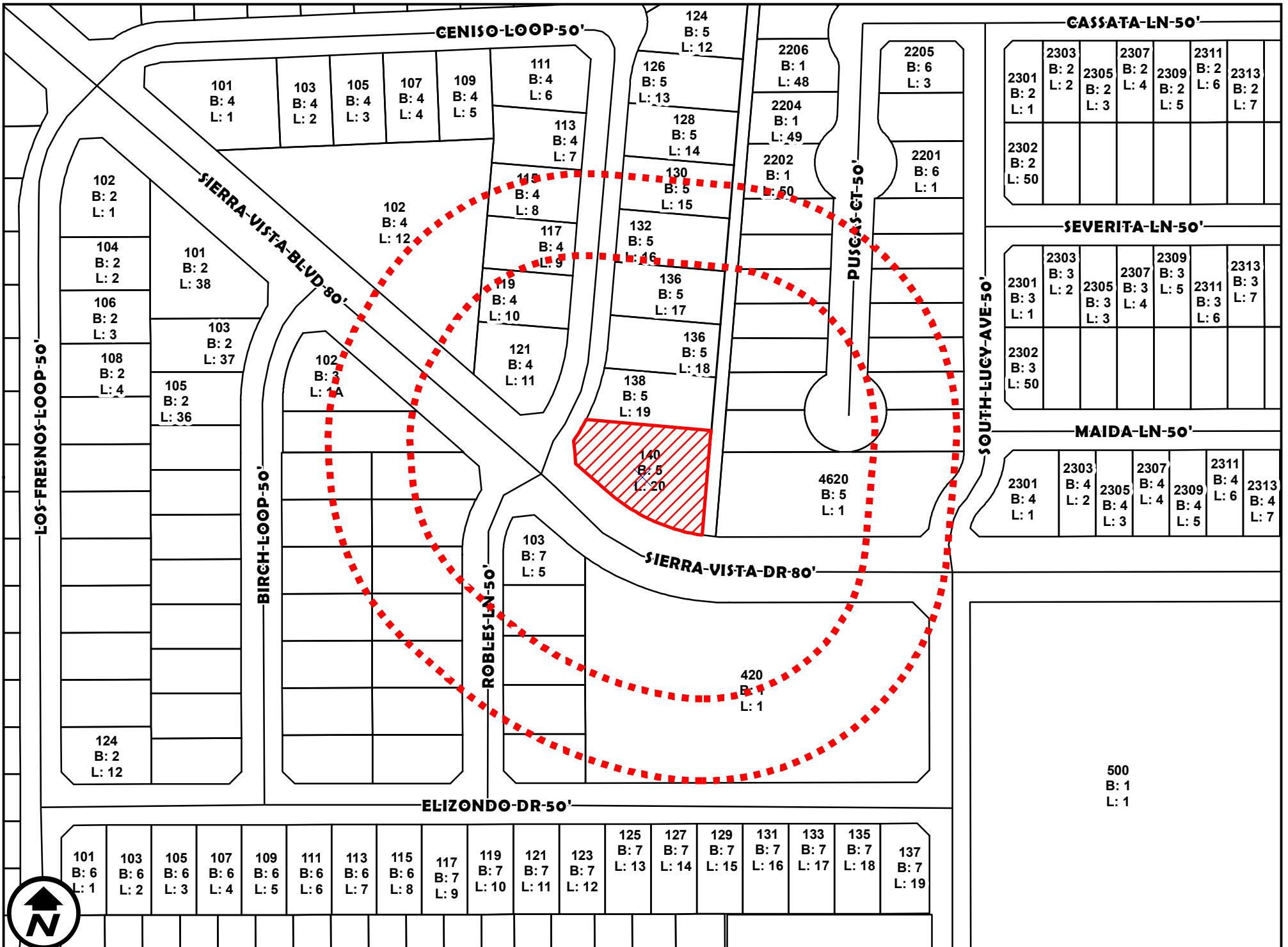


FUTURE LANDUSE

ZC-059-2026
COUNCIL DISTRICT 1
140 CENISO LOOP

APPLICATION F 201
R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
B-1 (LIMITED BUSINESS DISTRICT)

1 inch = 150 feet



200' AND 300' NOTIFICATION

1 inch = 150 feet

ZC-059-2026
 COUNCIL DISTRICT 1
 140 CENISO LOOP

APPLICATION F 202
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)

1. Level of Alignment

- Strong
 Moderate – Indirectly supports or contributes to the intent of a verbatim goal or policy.
 Weak/None
-

2. Supporting Goal(s)/Policy(ies)

Goal 7.1

“All residents have access to a variety of health services that support their well-being.”

Page 321

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed Animal Care Substation contributes to public health and neighborhood well-being through the intake, care, and placement of stray animals. The facility supports community safety and animal welfare services, which indirectly contributes to the health and well-being objectives of the Comprehensive Plan.

Policy 6.1.1

“Encourage development that is compatible with surrounding land uses and contributes to a cohesive urban form.”

Page 285

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed rezoning introduces a limited business district adjacent to existing residential uses and a public high school. While the proposal expands an existing governmental/community-serving function and abuts existing B-1 zoning to the east, the staff report acknowledges the potential for adverse impacts on surrounding living conditions. Therefore, the proposal only partially aligns with this policy.

Goal 1.1

“Encourage the efficient use of land and resources in Laredo through appropriate infill, redevelopment, and coordinated growth patterns.”

Page 45

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposal represents the adaptive reuse and expansion of an existing public service facility within a developed urban area, supporting efficient land utilization rather than expansion into undeveloped areas.

3. Summary of Alignment

The proposed rezoning from R-1 to B-1 for an Animal Care Substation demonstrates **moderate alignment** with the *Viva Laredo Comprehensive Plan*. The request supports broader public service and community well-being objectives by providing a designated location for animal care, intake, and placement activities, thereby contributing to neighborhood safety and public welfare in alignment with **Goal 7.1**.

The proposal also advances **Goal 1.1** through the continued use and expansion of an existing facility within an already developed area. Additionally, the existence of adjacent B-1 zoning reduces concerns regarding the creation of an isolated zoning district.

However, the Future Land Use Map identifies the area as **Low Density Residential**, and the staff report acknowledges that the proposal “may be anticipated to have a negative impact to the surrounding neighborhood and area.” The proximity to residential uses and a public high school raises compatibility concerns under **Policy 6.1.1**, preventing the proposal from achieving strong alignment.

The request intersects with broader planning themes including **public safety, community services, animal welfare, and land use compatibility**.

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 20, BLOCK 5, SIERRA VISTA POLICE STATION PLAT, LOCATED AT 140 CENISO LOOP, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO B-1 (LIMITED BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop, from R-1 (Single Family Residential District) to B-1 (Limited Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on June 4, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 26.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2025-O-223, which authorized a conditional use permit for an Animal Care Substation (Office) on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to convert the approved office use into an Animal Care Substation with indoor and outdoor animal confinement.

The Planning and Zoning Commission recommended approval of the proposed conditional use permit amendment, and staff supports the application.

ZC-057-2026
District I

Council District: District 1 **Zone Case:** ZC-057-2026

Letters sent to property owners: 29

In Favor (within 200 radius): 0
Opposed (within 200 radius): 0

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 7 to 0 vote recommended approval of the conditional use permit amendment.

STAFF RECOMMENDATION - Supports

Staff supports the application.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: City of Laredo, Owner; Lauren Bluestone,
Applicant/Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2025-O-223, which authorized a conditional use permit for an Animal Care Substation (Office) on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to convert the approved office use into an Animal Care Substation with indoor and outdoor animal confinement.

The Planning and Zoning Commission recommended approval of the proposed conditional use permit amendment, and staff supports the application.

ZC-057-2026

District I

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

Council District: I – Cm. Gilbert Gonzalez

Proposed use: The proposed use is an Animal Care Substation.

- The original approval for the site consisted primarily of an office use associated with limited animal care operations. However, the proposed amendment includes an increase in kennels and animals on site, which changes the nature of the use from an office use to an animal confinement / animal shelter type use.

- Due to the proposed expansion of animal confinement activities, the applicant is concurrently pursuing a zone change request in order to establish the appropriate underlying zoning district necessary to accommodate the proposed Conditional Use Permit overlay to allow the animal confinement use.

Minimum Zoning District Required for Proposed Use: B-4 (Highway Commercial District) zoning district.

Current Zoning District: The site is currently zoned as a R-1 (Single Family Residential District) zoning district.

Site: The site is occupied by an Animal Care Substation (Office).

Surrounding land uses: To the north of the site is residential uses. To the east of the site is residential uses, Triumph Public High School - Laredo South, and Lucy Avenue. To the south of the site is Sierra Vista Boulevard, vacant land, residential uses, and Nuestra Señora Del Rosario Catholic Church. To the west of the site is Ceniso Loop, Webb County of Sierra Vista, and residential uses.

Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies Sierra Vista as a Minor Arterial and Ceniso Loop as a local street.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 29

Inside 200' Radius: In Favor: 0 Opposed: 0

Outside 200' Radius: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a 7 to 0 vote recommended **approval** of the proposed zone change.

STAFF RECOMMENDATION

A Conditional Use Permit is intended to provide for those land uses where additional regulation is necessary to protect the property and surrounding area. It is primarily intended for property located in older section of the city and is intended to promote development and/or redevelopment of such property, which is consistent with the land use patterns of surrounding property.

Staff **supports** the proposed conditional use permit amendment for the following reasons:

1. The substation will provide a designated location for the care, intake, and placement of stray animals within the area, contributing to improved public safety, animal welfare, and a more secure neighborhood environment.
2. The Conditional Use Permit (CUP) overlay provides an opportunity to regulate the use through enforceable conditions that ensure compatibility between the proposed use and surrounding residential neighborhoods.

General Comments:

1. The approval of the conditional use permit does not guarantee the issuance of the building permit and requires full compliance with all applicable municipal codes and regulations.

If approved, Staff suggests the following conditions

1. The primary use shall serve as an Animal Care Substation (~~Office~~).
2. The Conditional Use Permit is restricted to Exhibit A, which is made part hereof for all purposes.
3. The kennel structure shall consist of a single large enclosure, as shown in the attached Exhibit A, up to a total of 880 square feet.
4. The kennel structure shall consist of a combination of indoor and outdoor enclosures. One (1) indoor enclosure and one (1) outdoor enclosure shall be considered as one (1) kennel.
5. The use of each kennel shall be limited to one (1) animal at a time, with a maximum of ~~four~~ fourteen (14) kennels permitted in total. An exception shall apply in the case of a mother with her litter, which will be considered as one (1) animal.
6. There shall be no more than ~~four~~ fourteen (14) animals on site, with the exception of a mother with their litter, which will be considered as one (1) animal.
7. Kennels shall be sized and spaced appropriately to allow the animal to stand, turn around, and lie down in a natural position.
8. ~~The proposed use shall not house animals overnight. Long-term boarding or sheltering shall be prohibited on site.~~
9. ~~The outdoor enclosure of the kennel shall be used for animal relief accommodations purposes only. Outdoor confinement shall be prohibited.~~ Outdoor confinement of animals shall be permitted only between the hours of 8:00 a.m. and 5:00 p.m. All animals shall remain indoors after 5:00 p.m.
10. The kennel structure location shall not abut the residential property to the north.
11. The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, and any other similar conditions.
12. ~~The property shall remain staffed and monitored during operational hours to ensure proper animal care and safety, only if there are animals on premise.~~
13. Waste removal and soiled bedding shall be disposed of promptly and properly to control odor and diseases.
14. There shall be adequate ventilation systems on site.

15. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.

16. Landscaping shall be provided and maintained for the complete duration in accordance with the City of Laredo Land Development Code.

17. The owner shall provide an opaque fence or wall of not less than 7 (seven) feet in height along ~~any side or rear property lines which~~ the east side property line and not less than 6 (six) feet in height along the north property line where such property lines abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums, or residential townhomes shall be similarly screened irrespective of the zoning district in which they occur.

18. The establishment must make provisions to keep litter (trash) to a minimum, and to keep it from blowing onto adjacent streets and properties.

19. Signage shall be consistent with the City's Sign Ordinance.

20. On-site parking shall be provided in accordance with the City of Laredo Land Development Code.

21. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.

22. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.

23. The proposed use shall undergo an annual Fire Inspection.

24. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.

25. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.

26. The use authorized by the conditional use permit is required to abide by all relevant municipal codes.

27. Indoor animal kennels shall have noise reduction.

IMPACT ANALYSIS

Is this change contrary to the established land use pattern?

There are no similar uses in the area. There are residential uses to the north, east, south, and west of the site.

Would this change create an isolated zoning district unrelated to surrounding districts?

The zoning will not change.

Will change adversely influence living conditions in the neighborhood?

It may be anticipated to have a negative impact to the surrounding neighborhood and area.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing R-1 does not allow for Animal Care Substation as intended by the applicant.

Attachments

Maps

Narrative

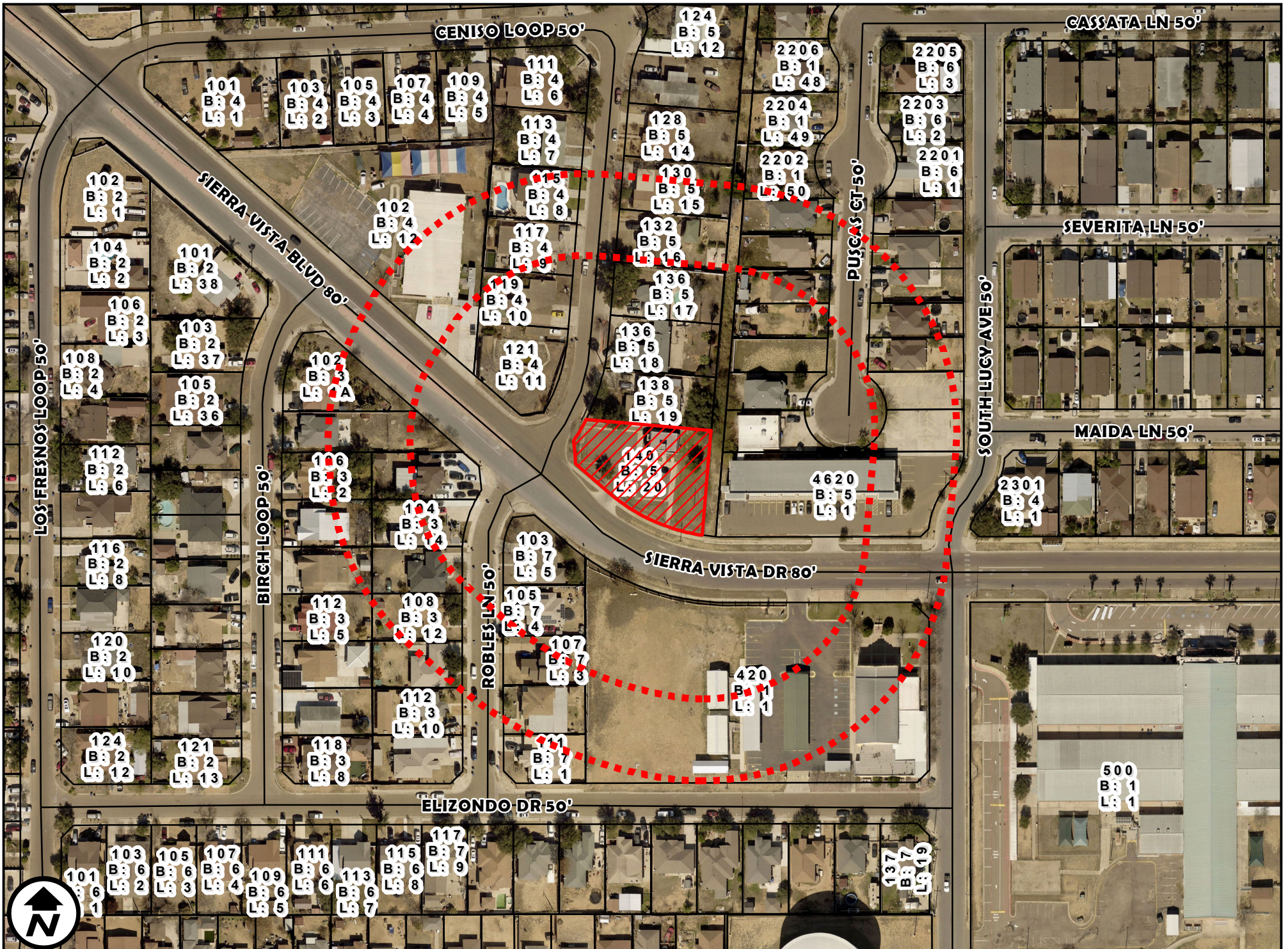
Site Plan

Executed Ordinance No.

2025-O-223

Comp Plan Alignment

Draft Ordinance



AERIAL MAP

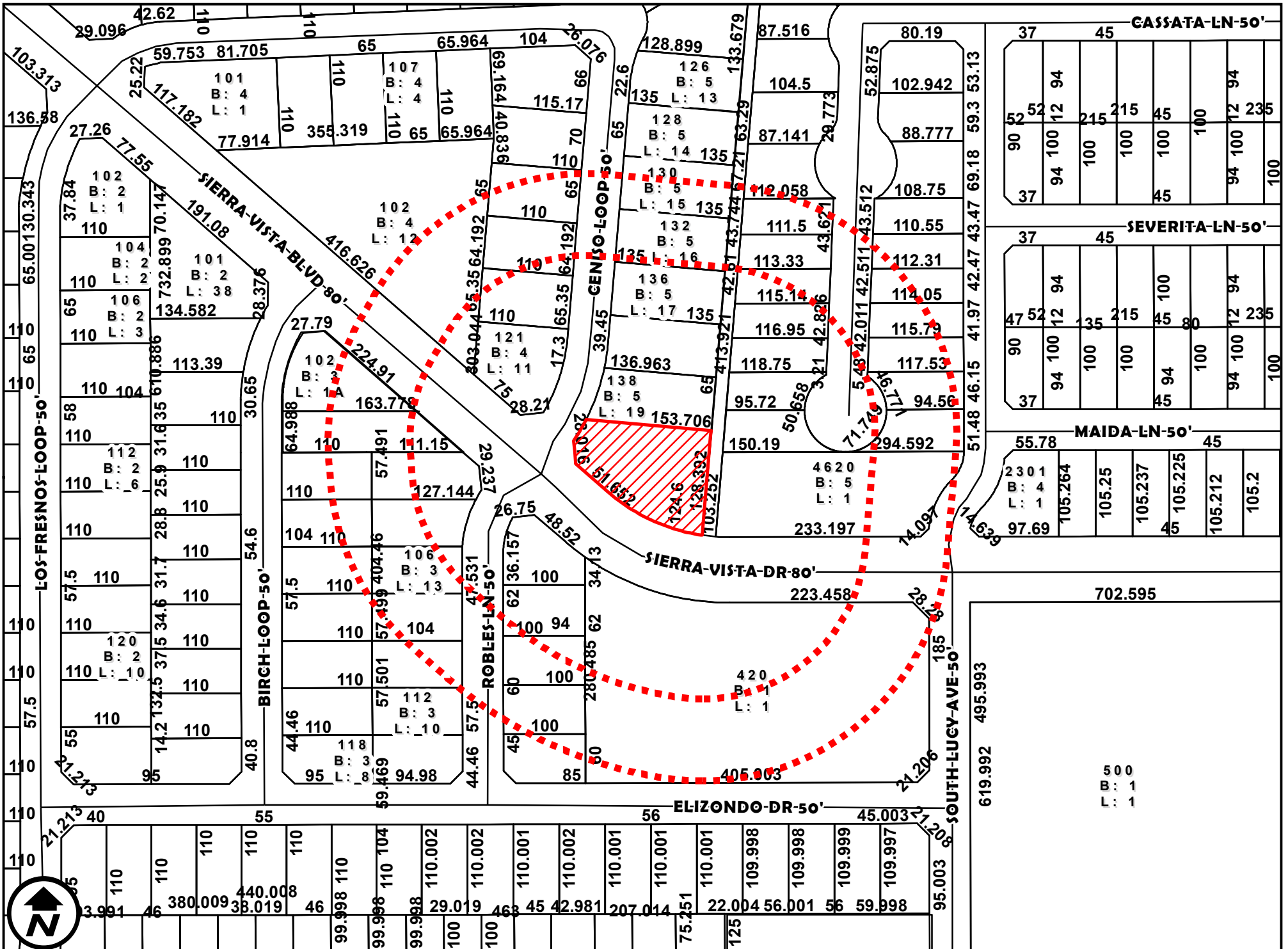
1 inch = 150 feet

ZC-057-2026

COUNCIL DISTRICT 1
140 GENISO LOOP

APPLICATION F 213

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)



DIMENSIONS MAP

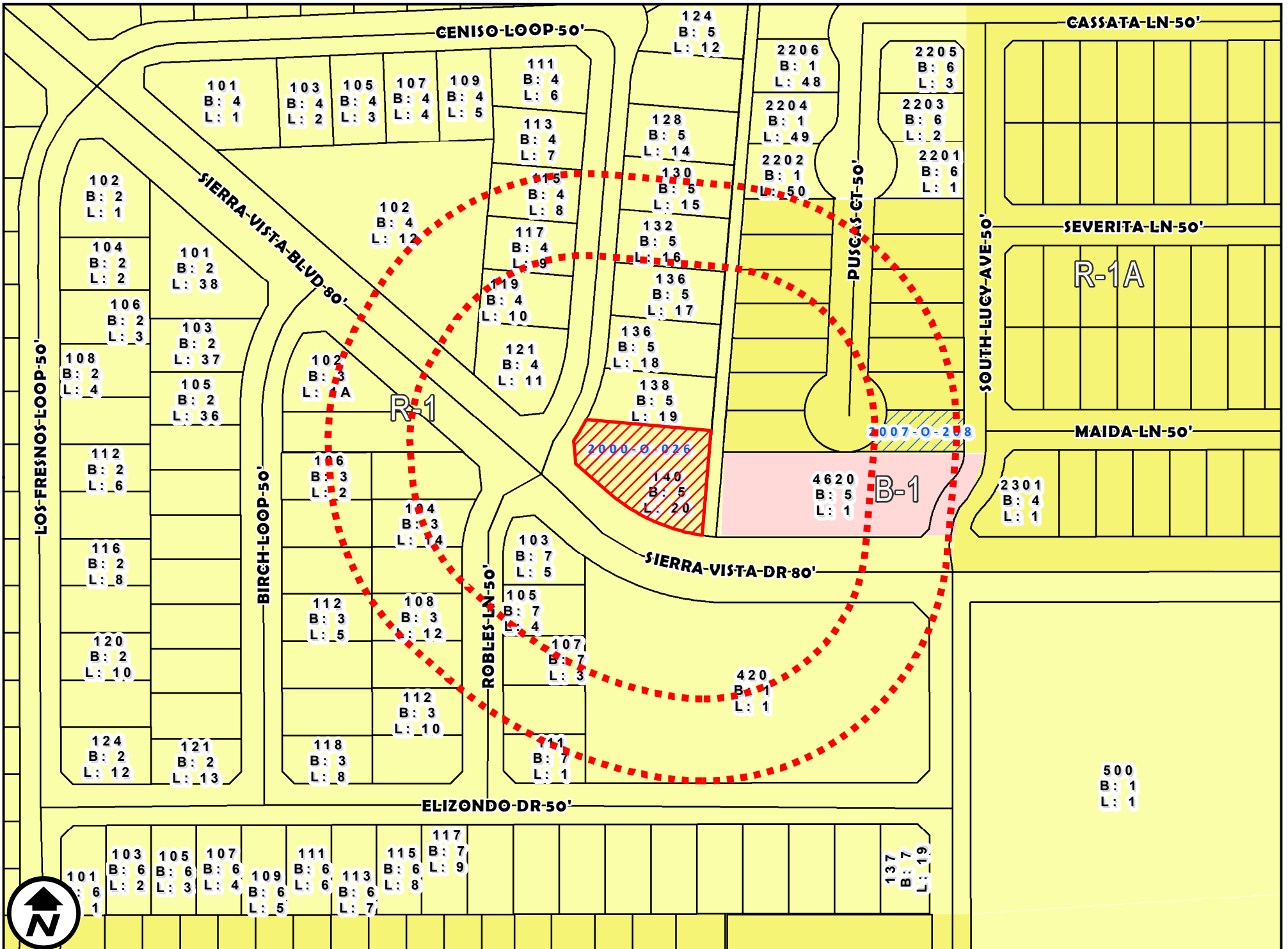
ZC-057-2026

APPLICATION F 214

1 inch = 150 feet

COUNCIL DISTRICT 1
140 CENISO LOOP

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)



ZONING MAP

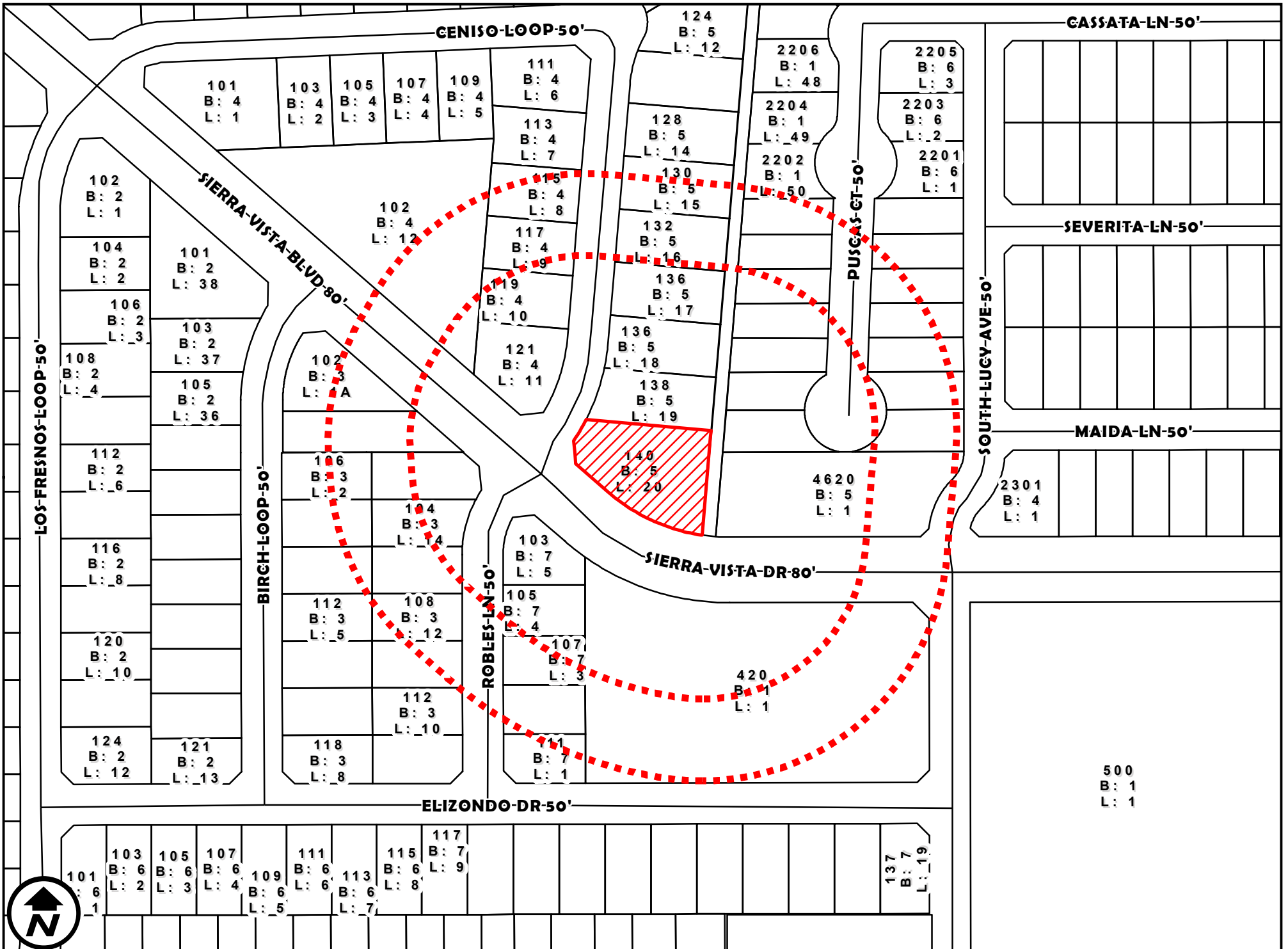
1 inch = 150 feet

ZC-057-2026

COUNCIL DISTRICT 1
140 CENISO LOOP

APPLICATION F 215

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)



SURVEY MAP

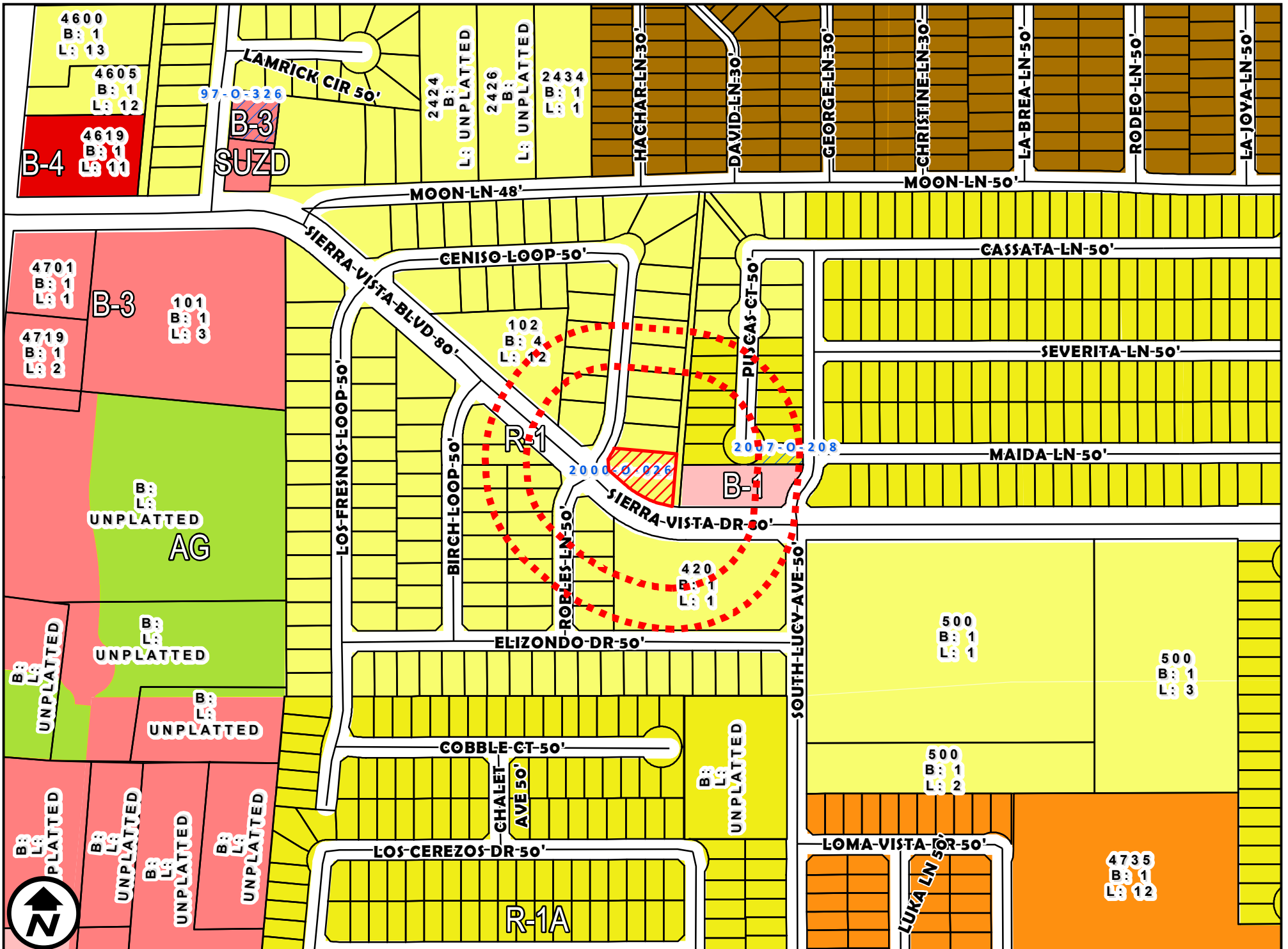
1 inch = 150 feet

ZC-057-2026

COUNCIL DISTRICT 1
140 CENISO LOOP

APPLICATION F 216

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)







200' AND 300' NOTIFICATION

1 inch = 150 feet

ZC-057-2026
 COUNCIL DISTRICT 1
 140 CENISO LOOP

APPLICATION F 219
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)



Richard A. Chamberlain,
DrPH, MPH, DipACLM, CPM, CHW, LCI, RS
Director of Public Health

Proposed Conditional Use Permit Amendment & Zone Change Request

The purpose of this request is to amend the existing Conditional Use Permit (CUP) and request a corresponding zone change to allow for the continued operation and expansion of an Animal Care Substation at the subject property.

The proposed primary use of the property shall be identified as an "Animal Care Substation." The facility is intended to support municipal animal care operations through temporary daytime animal holding, field response coordination, and related administrative functions associated with animal welfare and public safety services.

The proposed operation will consist of an office structure and modular confinement area totaling up to 800 square feet, consistent with the updated site plan provided by Engineering.

The proposed facility will include a maximum of fourteen (14) kennels and fourteen (14) animals, consisting of the following:

- Four (4) indoor kennels located within the office structure designated for cats; and
- Ten (10) outdoor kennels located within the modular confinement area designated for dogs or other animals.

The facility is intended to support daily animal care operations, field response coordination, and short-term animal holding associated with municipal animal services and will not function as a long-term boarding facility. Outdoor animal confinement activities shall only occur between the hours of 8:00 a.m. and 5:00 p.m. After 5:00 p.m., all animals shall be kept indoors.

As reflected in the updated site plan and discussed during the meeting with staff, the following site conditions are proposed:

- The fence adjacent to the residential property located to the north shall remain at a height of six (6) feet.
- The fence along the east property line shall maintain a minimum height of seven (7) feet.
- The previously proposed condition prohibiting overnight and long-term boarding shall be removed.
- The previously proposed condition requiring staff to be present at all times shall be removed.

The requested zoning amendment and CUP modification are intended to allow the City to continue providing animal care and field support services in a manner that is compatible with surrounding properties while maintaining operational safeguards discussed with Planning staff.

This narrative is submitted to accurately reflect the revisions and conditions discussed during the meeting and to support concurrent review of the Conditional Use Permit amendment and zone change application before the Planning & Zoning Commission and City Council.

Thank you for your consideration.

Sincerely,

Lauren C. Bluestone
Assistant Director, Laredo Animal Care Services

2600 Cedar Ave
Laredo, TX, 78040
956-795-4900

www.LaredoPublicHealth.com
clhd@ci.laredo.tx.us



EXHIBIT A



CITY OF LAREDO
ENGINEERING
DEPARTMENT
 1110 Houston St.
 Laredo, Texas 78040
 Ph: (956) 791-7346
 Fax: (956) 791-7498

REVISIONS:

FY26-ENG-08
LAREDO ANIMAL SERVICES
SOUTH SUBSTATION

SITE PLAN

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF PUBLIC REVIEW UNDER THE AUTHORITY OF JORGE E. VILLARREAL, P.E., 158451 ON 03-26-2024. IT IS NOT TO BE USED IN REFERENCE TO CONSTRUCTION AND BIDDING.

PRELIMINARY

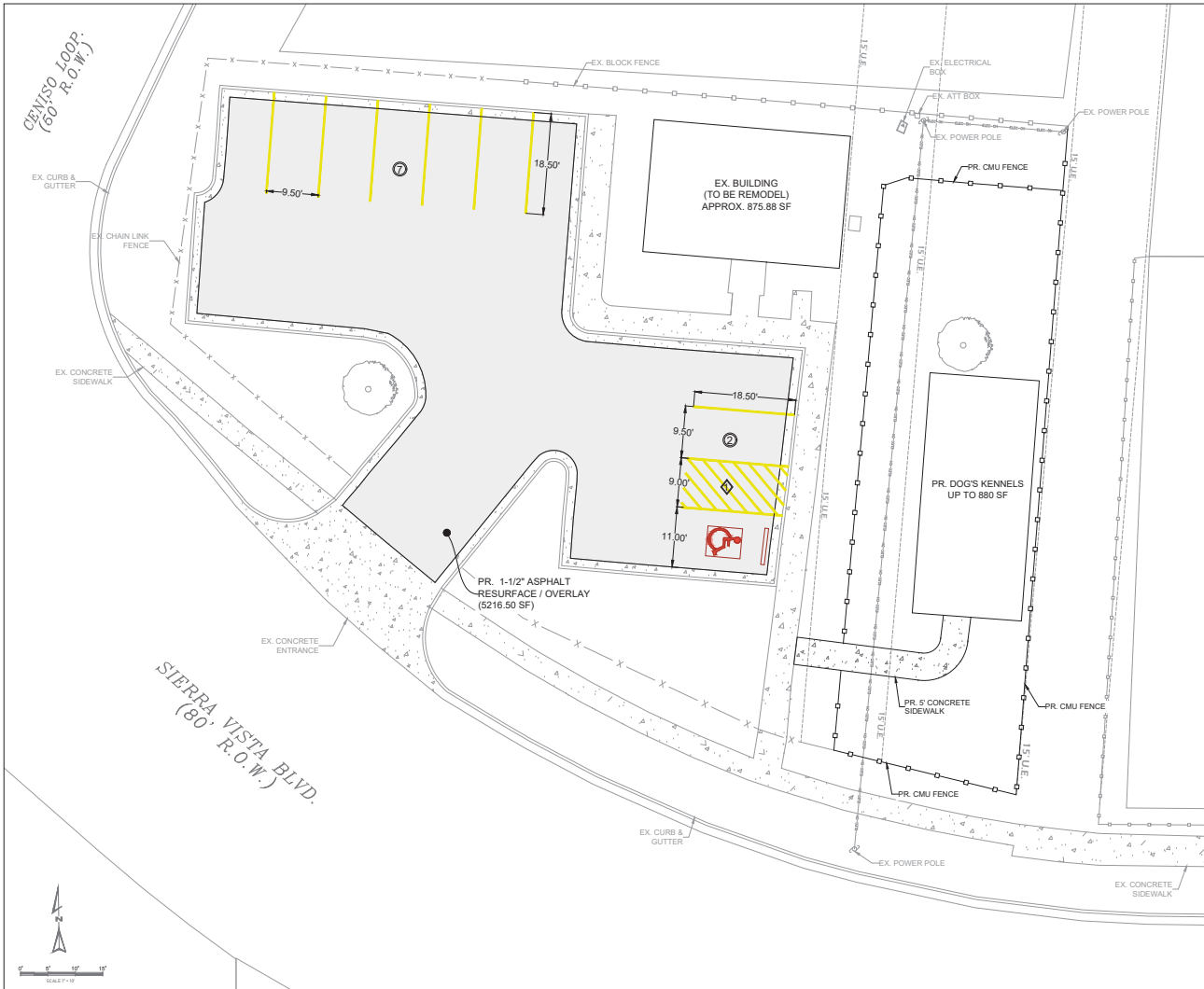
DRAWN BY: J.E.V.
 CHECKED BY: F.R.R.
 APPROVED BY: E.D.L.S.

SHEET

1

OF 4

LEGEND	
	EXISTING CONCRETE
	PROPOSED ASPHALT (TO BE RESURFACED)
	PROPOSED 5' CONCRETE
	DESIGNATION NUMBER OF PARKING SPACES
	DESIGNATION NUMBER OF HANDICAP PARKING SPACES
	EXISTING CURB & GUTTER
	PROPOSED WHEEL STOP
	UTILITY EASEMENT
	EXISTING POWER POLE
	EXISTING UTILITY EASEMENT LINE
	EXISTING OVERHEAD ELECTRICAL LINE
	EXISTING CHAIN LINK FENCE
	EXISTING BLOCK FENCE



1 Plan - Overall Site Layout
 Scale: 1" = 10'



ORDINANCE NO. 2025-O-223

AMENDING THE ZONING ORDINANCE MAP OF THE CITY OF LAREDO BY AMENDING ORDINANCE NUMBER 2000-O-026, WHICH AUTHORIZED A CONDITIONAL USE PERMIT FOR A POLICE SUBSTATION LOT 20, BLOCK 5, SIERRA VISTA POLICE STATION PLAT, LOCATED AT 140 CENISO LOOP IN ORDER TO CHANGE THE USE OF THE PROPERTY TO AN ANIMAL CARE SUBSTATION (OFFICE); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a request has been received to amend the executed Ordinance Number 2000-O-026, which authorized a conditional use permit for a Police Substation Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to change the use of the property to an Animal Care Substation (Office); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on September 18, 2025; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the issuance of the Conditional Use Permit Amendment; and,

WHEREAS, notice of the Conditional Use Permit Amendment request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on October 20, 2025, on the request and finds the Conditional Use Permit Amendment appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by amending Ordinance Number 2000-O-026, which authorized a conditional use permit for a Police Substation Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to change the use of the property to an Animal Care Substation (Office).

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. The primary use shall serve as an Animal Care Substation Office.
2. The Conditional Use Permit is restricted to Exhibit A, which is made part hereof for all purposes.
3. The kennel structure shall consist of a single large enclosure, as shown in the attached Exhibit A.
4. The kennel structure shall consist of a combination of indoor and outdoor enclosures. One (1) indoor enclosure and one (1) outdoor enclosure shall be considered as one (1) kennel.
5. The use of each kennel shall be limited to one (1) animal at a time, with a maximum of four (4) kennels permitted in total. An exception shall apply in the case of a mother with her litter, which will be considered as one (1) animal.
6. Animal confinement shall be restricted to the indoor enclosure. There shall be no more than four (4) animals on site, with the exception of a mother with their litter, which will be considered as one (1) animal.
 - As per Article III – Small Animals and Fowl, Section 6-42. (5) states, “It is unlawful for a person to keep five (5) or more small animals or fowl, in any combination thereof, or any number of male chickens, within one hundred (100) feet of any residence, structure or building used for human habitation or any other lawful activity, other than the person's habitation or business premises.”
7. Kennels shall be sized and spaced appropriately to allow the animal to stand, turn around, and lie down in a natural position.
8. The proposed use shall not house animals overnight. Long-term boarding or sheltering shall be prohibited on site.
9. The outdoor enclosure of the kennel shall be used for animal relief accommodations purposes only. Outdoor confinement shall be prohibited.
10. The kennel structure location shall not abut the residential property to the north.
11. The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, and any other similar conditions.
12. The property shall remain staffed and monitored during operational hours to ensure proper animal care and safety, only if there are animals on premise.
13. Waste removal and soiled bedding shall be disposed of promptly and properly to control odor and diseases.
14. There shall be adequate ventilation systems on site.
15. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.
16. Landscaping shall be provided and maintained for the complete duration in accordance with the City of Laredo Land Development Code.

17. The owner shall provide an opaque fence or wall of not less than 7 (seven) feet in height along any side or rear property lines which abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums or residential townhomes shall be similarly screened irrespective of which zoning district they occur in.
18. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
19. Signage shall be consistent with the City's Sign Ordinance.
20. On-site parking shall be provided in accordance with the City of Laredo Land Development Code.
21. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.
22. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
23. The proposed use shall undergo an annual Fire Inspection.
24. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.
25. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.
26. The use authorized by the conditional use permit is required to abide by all relevant municipal codes.
27. Indoor animal kennels shall have noise reduction.

Section 3: This ordinance shall be published in a manner provided by Section 2.09(D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

Section 5: The Conditional Use Permit authorized by this ordinance shall be revoked pursuant to the Laredo Land Development Code, section 24.94.10, entitled "Revocation".

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
3rd DAY OF November, 2025.

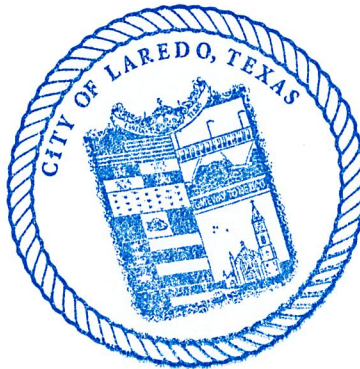



DR. VICTOR D. TREVINO
MAYOR

ATTEST:



MARIO MALDONADO, JR.
CITY SECRETARY
APPROVED AS TO FORM:



for 

DOANHI "ZONE" T. NGUYEN
CITY ATTORNEY

City Council Agenda Item ZC-077-2025

(Conditional Use Permit Amendment to allow an **Animal Care Substation Office** at 140 Ceniso Loop)

1. Level of Alignment

Moderate – The proposed amendment indirectly supports comprehensive plan policies related to **adaptive reuse, neighborhood services, and orderly development**, but it also introduces potential conflicts with residential compatibility and land use intent. The **Future Land Use Map** designates the area as **Low Density Residential**. While the proposed office use can be conditioned to minimize impacts, it is not a land use envisioned in this designation.

2. Supporting Goal(s)/Policy(ies)

- **Policy 1.2.1 (Land Use Patterns)** – *“Maintain the integrity of existing residential neighborhoods by preventing encroachment of incompatible land uses.”*
Viva Laredo City of Laredo Comprehensive Plan, p. 1.27.
Relevance: The proposal abuts residential uses on all sides. Strict conditions (e.g., limiting outdoor kennels, restricting overnight stays, requiring screening) are needed to mitigate compatibility concerns and preserve neighborhood integrity.
 - **Policy 5.1.3 (Housing)** – *“Encourage adaptive reuse of existing vacant buildings to strengthen neighborhoods and provide opportunities for compatible uses.”*
Viva Laredo City of Laredo Comprehensive Plan, p. 5.31.
Relevance: The project repurposes a vacant police substation into an office use, consistent with encouraging reuse of existing structures rather than leaving them vacant or underutilized.
 - **Policy 7.2.1 (Health)** – *“Promote community health and well-being through facilities and services that improve safety and living conditions.”*
Viva Laredo City of Laredo Comprehensive Plan, p. 7.22.
Relevance: An animal care substation can support broader public health by improving animal control and care services, indirectly enhancing neighborhood safety.
-

3. Summary of Alignment

The proposed **Animal Care Substation Office** partially supports Viva Laredo goals by reusing a vacant building, providing a city service in proximity to neighborhoods, and contributing to public health initiatives. However, the location within a **Low Density Residential** designation creates tension with policies designed to preserve neighborhood character.

Alignment is best categorized as **Moderate**: supportive of adaptive reuse and health goals, but requiring stringent conditions to prevent incompatibility with surrounding residential uses. The use is acceptable only under a **Conditional Use Permit** with restrictions that safeguard residents from noise, odors, and nuisances.

Intersections with broader planning themes:

- **Public Health** – Advances animal care services and community safety.
 - **Equity** – Provides decentralized services closer to residential communities.
 - **Sustainability** – Supports adaptive reuse of existing infrastructure.
 - **Compatibility** – Requires ongoing monitoring to avoid undermining residential quality of life.
-

CITY OF LAREDO ORDINANCE NO. 2000-O-026

AMENDING THE ZONING ORDINANCE (MAP)
OF THE CITY OF LAREDO BY AUTHORIZING
THE ISSUANCE OF A CONDITIONAL USE
PERMIT FOR A POLICE SUBSTATION ON LOT
20, BLOCK 5, SIERRA VISTA POLICE STATION
PLAT, LOCATED ON THE NORTH SIDE OF SIERRA
VISTA BLVD. AND EAST OF HWY 83; PROVIDING
FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the owner of Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, has requested a Conditional Use Permit for a police substation; and,

WHEREAS, notice of the zone change was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the Planning and Zoning Commission on this matter; and,

WHEREAS, the required written notices were sent to surrounding property owners at least fifteen (15) days before the public hearing held before the Planning and Zoning Commission on January 6, 2000; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change and **approval** of a Conditional Use Permit; and,

WHEREAS, the City Council has held a public hearing on January 24, 2000, on the request and finds a Conditional Use Permit is appropriate and consistent with the General Plan of the City of Laredo.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended to authorize a Conditional Use Permit for a police substation on Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83;

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.


Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
7TH DAY OF FEBRUARY, 2000.



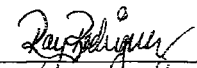
ELIZABETH G. FLORES
MAYOR

ATTEST:

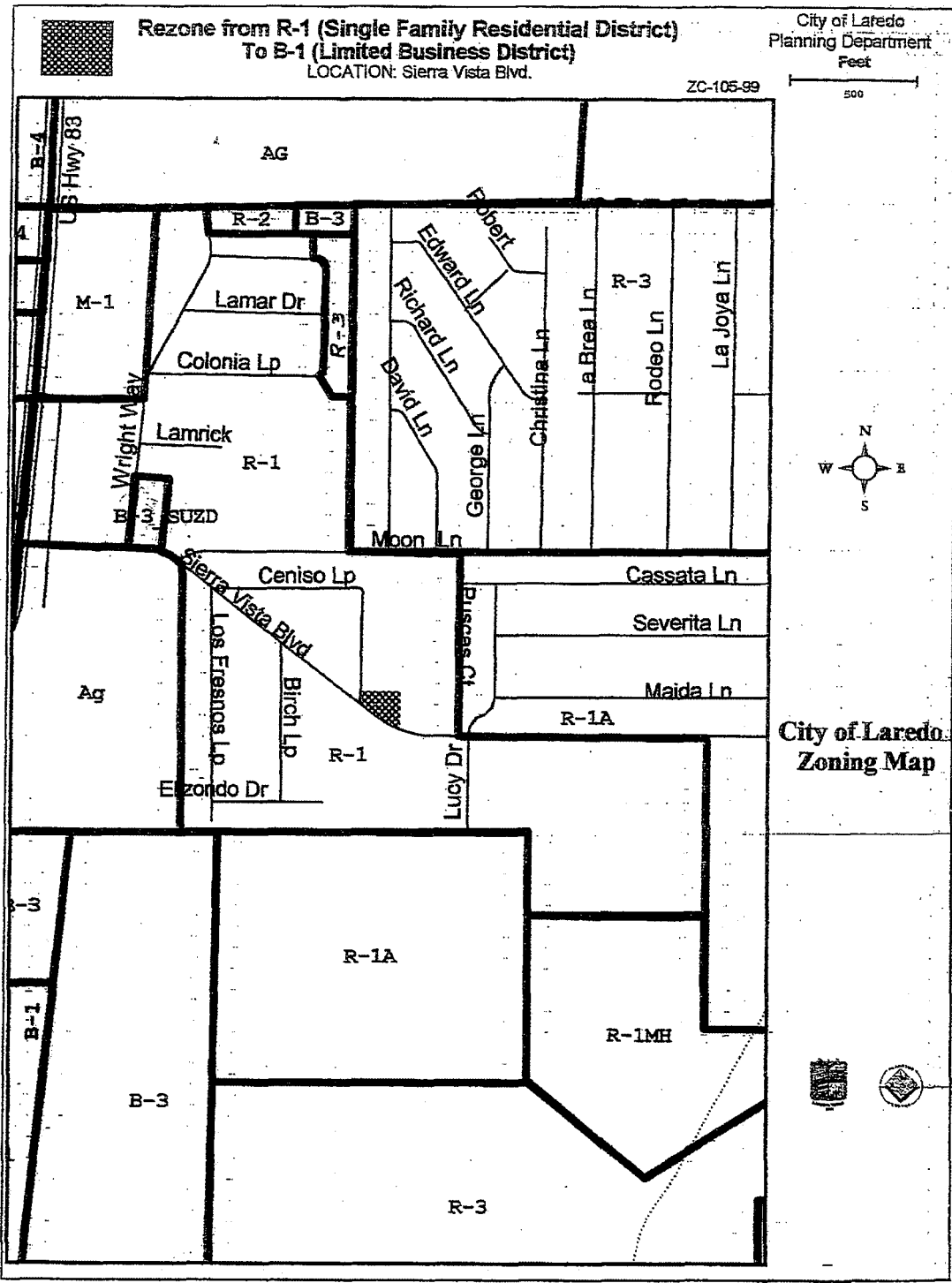


GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: RAY RODRIGUEZ
ASSISTANT CITY ATTORNEY



**LOT 20, BLOCK 5
0.3774 ACRE TRACT
(16,439.23 Sq. Ft)**

A 0.3774 Acre tract of land, more or less, out of the Myrlane Ranch, Porcion 36, Recorded in Volume 2, Page 235, of the Webb County Plat Records and further being out and part of Tract 1 (209.119 Acres) Porcion 36 and 37, acquired by Virmosa II, as therein Recorded in Volume 1073, Pages 567-569, Webb County Deed Records; said 0.3774 Acre tract being more particularly described by metes and bounds as follows;

BEGINNING at the southwest corner of Lot 19, Block 5, Sierra Vista Subdivision, UNIT I, Recorded in Volume 3, Page 14 A, of the Webb County Plat Records, same corner being the northwest corner of this tract hereof;

THENCE S. 85°-02'-42" E., 154.16 feet, to the northeast corner hereof;

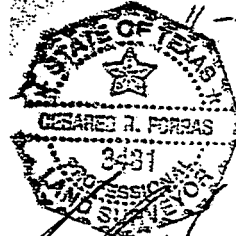
THENCE S. 04°-57'-18" W., 127.44 feet, to a point on a curve, the north right-of-way line of Sierra Vista Blvd., and the southeast corner hereof;

THENCE in a northwesterly direction, along said north right-of-way line, a curvilinear distance of 130.06 feet (Delta = 33°-01'-07", R = 225.69 feet, Tan = 66.89 feet, CHD = 128.27 feet, CHD Bearing = N. 65°-15'-33" W.) to end of this curve.

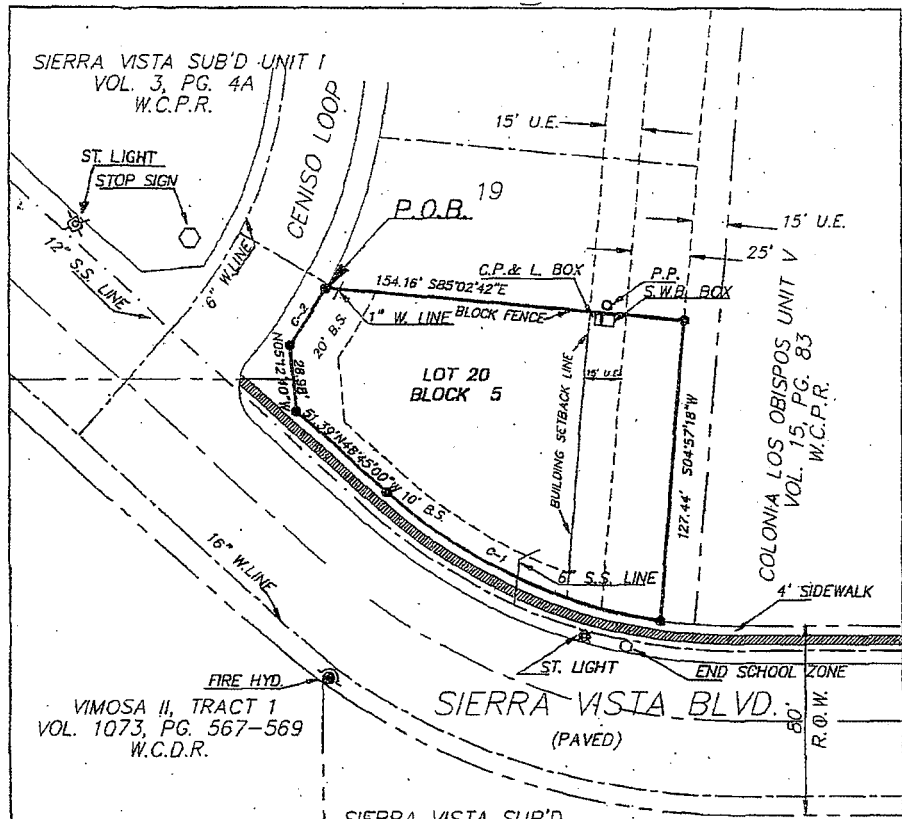
THENCE N. 48°-45'-00" W., 51.39 feet, along said north right-of-way line, to a clip corner and a point of deflection, to the right hereof;

THENCE N. 05°-12'-40" W., 28.98 feet, along the clip line, to a clip corner and a point on a curve, along the east right-of-way line, of the Ceniso Loop hereof;

THENCE in a northeasterly direction, along said east right-of-way line, a curvilinear distance of 28.30 feet (Delta = 07°-15'-40", R = 223.31 feet, Tan = 14.17 feet, CHD = 28.28 feet, CHD Bearing = N. 32°-29'-28" E) to the POINT OF BEGINNING.



Cesaré R. Porras, P.E., P.L.S.



SIERRA VISTA SUB'D UNIT I
VOL. 3, PG. 4A
W.C.P.R.

ST. LIGHT
STOP SIGN

P.O.B. 19

LOT 20
BLOCK 5

COLONIA LOS OBISPOS UNIT V
VOL. 15, PG. 83
W.C.P.R.

VIMOSA II, TRACT 1
VOL. 1073, PG. 567-569
W.C.D.R.

SIERRA VISTA BLVD.
(PAVED)

SIERRA VISTA SUB'D
UNIT IV
VOL. 19, PG. 58
W.C.P.R.

CURVE DATA

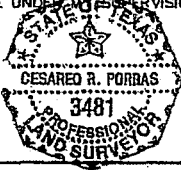
CURVE	DELTA ANGLE	RADIUS	ARC	TANG.	CHORD	CHORD BEARING
C-1	33°01'07"	225.69'	130.06'	66.89'	128.27'	N65°15'33"W
C-2	07°15'40"	223.31'	28.30'	14.17'	28.28'	N32°29'28"E

SCALE 1"=50'
DATE 11-23-99

- LEGEND
- SET IRON PIN
 - POWER POLE
 - S.W. IN SOUTH WESTERN BELL
 - C.P. & L. IN CENTRAL POWER LIGHT

IMPROVEMENT SURVEY OF
A 0.3774 AC. TRACT OF LAND
OUT OF MYRLANE RANCH
REC. IN VOL. 2, PG. 235 W.C.P.R.
CITY OF LAREDO, WEBB COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND THIS 23rd DAY Nov, 1999



[Signature]
CESAREO R. PORRAS
PROFESSIONAL LAND SURVEYOR #3481

PORRAS ENGINEERING CO.

P.O. BOX 1670 78044 ENGINEERS ~ SURVEYORS OFF. 724-3097
LAREDO, TEXAS FAX 724-9208

COUNCIL COMMUNICATION

<p>Date: 2/7/00</p>	<p>SUBJECT: FINAL READING OF ORDINANCE NO. 2000-O-026 Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a Conditional Use Permit for a police substation on Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83. ZC-105-99</p>	
<p>Initiated by: Vimosa II, property owner</p>		<p>Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager</p>
<p>Prior action: This item was introduced by Councilman Alfredo Agredano at the City Council meeting of 1/24/00.</p>		
<p>BACKGROUND</p> <p>Council District: I - Alfredo Agredano</p> <p>Proposed use: Police substation.</p> <p>Site: The site is currently vacant land.</p> <p>Surrounding land uses: North of the site are single family residences. East and south of the site is vacant land. West of the site are single family residences and vacant land.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan The Long Range Thoroughfare Plan does not recognize Sierra Vista Blvd.</p> <p>Letters sent to surrounding property owners: 10 In Favor: 0 Opposed: 0</p>		
<p>STAFF COMMENTS</p> <p>The proposed zone change is inappropriate at this location. The Comprehensive Plan recognizes this area as Low Density Residential. The surrounding zoning is R-1. In addition, there are no B-1 zoning trend at this location.</p> <p>The proposed use is appropriate at this location. The police substation will service the surrounding residential area, Hwy 83, and the residential subdivisions to the east.</p>		
<p>P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended <u>denial</u> of the proposed zone change and <u>approval</u> of a Conditional Use Permit.</p>		<p>STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change and <u>supports</u> a Conditional Use Permit.</p>

COUNCIL COMMUNICATION

IMPACT ANALYSIS

ZC-105-99

B-1 (Limited Business District): The purpose of the B-1 is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

No, land surrounding this site, along Sierra Vista Blvd., is vacant land. The established land use pattern surrounding this pocket of vacant land is single family residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, there are no adjacent B-1 zoning. The adjacent zoning district is R-1.

Will change adversely influence living conditions in the neighborhood?

No, the proposed use of a police substation will service the surrounding development.

Are there substantial reasons why the property can not be used in accord with existing zoning?

A police substation is not a permitted use in a R-1 zoning district.

COUNCIL COMMUNICATION

<p>Date: 1/24/2000</p>	<p>SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Public hearing concerning an application by Vimoso II, amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, from R-1 (Single Family Residential District) to B-1 (Limited Business District). This is an appeal from an unfavorable recommendation by the Planning & Zoning Commission. ZC-105-99</p>
<p>Initiated by: Vimoso II, property owner</p>	<p>Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager</p>
<p>Prior action: None</p>	
<p>BACKGROUND</p> <p>Council District: I - Alfredo Agredano</p> <p>Proposed use: Police substation.</p> <p>Site: The site is currently vacant land.</p> <p>Surrounding land uses: North of the site are single family residences. East and south of the site is vacant land. West of the site are single family residences and vacant land.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan The Long Range Thoroughfare Plan does not recognize Sierra Vista Blvd.</p> <p>Letters sent to surrounding property owners: 10 In Favor: 0 Opposed: 0</p>	
<p>STAFF COMMENTS</p> <p>The proposed zone change is inappropriate at this location. The Comprehensive Plan recognizes this area as Low Density Residential. The surrounding zoning is R-1. In addition, there are no B-1 zoning trend at this location.</p> <p>The proposed use is appropriate at this location. The police substation will service the surrounding residential area, Hwy 83, and the residential subdivisions to the east.</p>	
<p>P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended <u>denial</u> of the proposed zone change and <u>approval</u> of a Conditional Use Permit.</p>	<p>STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change and <u>supports</u> a Conditional Use Permit.</p>

COUNCIL COMMUNICATION

IMPACT ANALYSIS

ZC-105-99

B-1 (Limited Business District): The purpose of the B-1 is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

No, land surrounding this site, along Sierra Vista Blvd., is vacant land. The established land use pattern surrounding this pocket of vacant land is single family residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, there are no adjacent B-1 zoning. The adjacent zoning district is R-1.

Will change adversely influence living conditions in the neighborhood?

No, the proposed use of a police substation will service the surrounding development.

Are there substantial reasons why the property can not be used in accord with existing zoning?

A police substation is not a permitted use in a R-1 zoning district.

CITY COUNCIL MEETING AGENDA ITEM ROUTING FORM

Department: Planning Department
Contact Person: Carlos Ordonez & Ray Gonzalez
Telephone #: 791-7441
Meeting Date: Jan. 26, 2000

Department Director Approval: *[Signature]*
Date: 1/13/00

Legal Department Approval: *[Signature]* 1/17/00 w/ corrections to P+Z
Date: *[Signature]* Recommendations (missing)

Assistant to the City Manager Approval:
Date :

- Deadlines:**
- Thursday 4:00 p.m.** Ordinances, Resolutions, Executive Sessions and any other agenda item that will require legal review is due at the City Attorney's Office
 - Friday 4:00 p.m.** All agenda items are due in the City Manager's Office
 - Monday** Finalize "Draft Agenda"
 - Tuesday 9:00 a.m.** Executive Staff Meeting and approval of agenda items by City Manager
 - 4:00 p.m.** Submittal of agenda item in final form (original and 20 copies)
 - Wednesday** Agenda is posted and distributed to City Council

CITY OF LAREDO
CITY ATTORNEY'S OFFICE

00 JAN 13 PM 3:50

BY *[Signature]*

Reason for late Agenda Item:
City Manager's Approval:
Date:

COUNCIL COMMUNICATION

<p>Date: 2/7/00</p>	<p>SUBJECT: FINAL READING OF ORDINANCE NO. 2000-O-026 Amending the Zoning Ordinance (Map) of the City of Laredo by authorizing the issuance of a Conditional Use Permit for a police substation on Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83. ZC-105-99</p>	
<p>Initiated by: Vimosa II, property owner</p>		<p>Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager</p>
<p>Prior action: This item was introduced by Councilman Alfredo Agredano at the City Council meeting of 1/24/00.</p>		
<p>BACKGROUND</p> <p>Council District: I - Alfredo Agredano</p> <p>Proposed use: Police substation.</p> <p>Site: The site is currently vacant land.</p> <p>Surrounding land uses: North of the site are single family residences. East and south of the site is vacant land. West of the site are single family residences and vacant land.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan The Long Range Thoroughfare Plan does not recognize Sierra Vista Blvd.</p> <p>Letters sent to surrounding property owners: 10 In Favor: 0 Opposed: 0</p>		
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<p>P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended <u>denial</u> of the proposed zone change and <u>approval</u> of a Conditional Use Permit.</p>		<p>STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change and <u>supports</u> a Conditional Use Permit.</p>

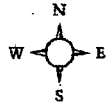
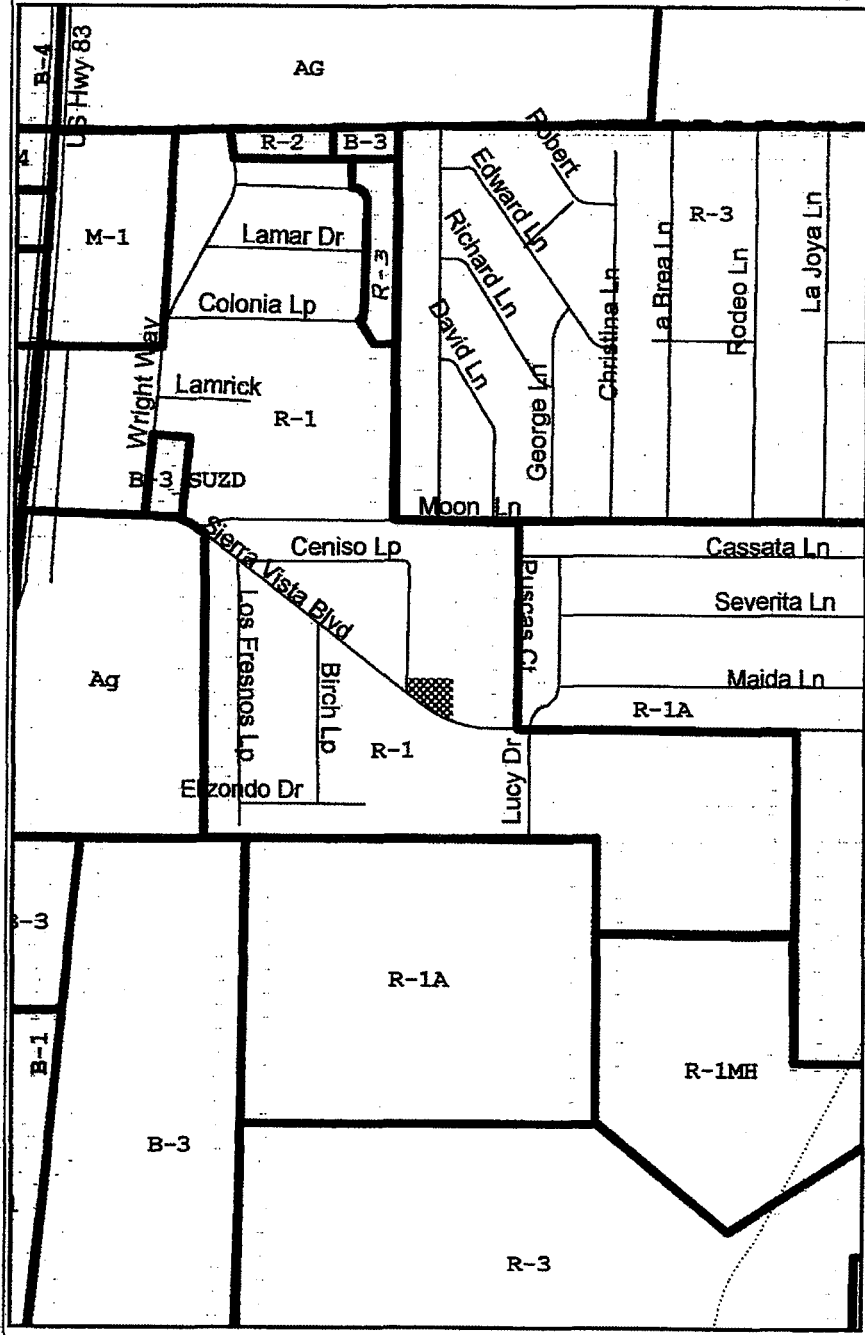
**Rezone from R-1 (Single Family Residential District)
To B-1 (Limited Business District)**

LOCATION: Sierra Vista Blvd.

City of Laredo
Planning Department
Feet

ZC-105-99

500



City of Laredo
Zoning Map



COUNCIL COMMUNICATION

<p>Date: 1/24/2000</p>	<p>SUBJECT: PUBLIC HEARING AND INTRODUCTION OF AN ORDINANCE Public hearing concerning an application by Vimosa II, amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, from R-1 (Single Family Residential District) to B-1 (Limited Business District). This is an appeal from an unfavorable recommendation by the Planning & Zoning Commission. ZC-105-99</p>
<p>Initiated by: Vimosa II, property owner</p>	<p>Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager</p>
<p>Prior action: None</p>	
<p>BACKGROUND</p> <p>Council District: I - Alfredo Agredano</p> <p>Proposed use: Police substation.</p> <p>Site: The site is currently vacant land.</p> <p>Surrounding land uses: North of the site are single family residences. East and south of the site is vacant land. West of the site are single family residences and vacant land.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan The Long Range Thoroughfare Plan does not recognize Sierra Vista Blvd.</p> <p>Letters sent to surrounding property owners: 10 In Favor: 0 Opposed: 0</p>	
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<p>P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a 7 to 0 vote, recommended <u>denial</u> of the proposed zone change and <u>approval</u> of a Conditional Use Permit.</p>	<p>STAFF RECOMMENDATION: Staff <u>does not support</u> the proposed zone change and <u>supports</u> a Conditional Use Permit.</p>

COUNCIL COMMUNICATION

IMPACT ANALYSIS

ZC-105-99

B-1 (Limited Business District): The purpose of the B-1 is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

No, land surrounding this site, along Sierra Vista Blvd., is vacant land. The established land use pattern surrounding this pocket of vacant land is single family residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, there are no adjacent B-1 zoning. The adjacent zoning district is R-1.

Will change adversely influence living conditions in the neighborhood?

No, the proposed use of a police substation will service the surrounding development.

Are there substantial reasons why the property can not be used in accord with existing zoning?

A police substation is not a permitted use in a R-1 zoning district.

CITY OF LAREDO ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP)
OF THE CITY OF LAREDO BY REZONING LOT
20, BLOCK 5, SIERRA VISTA POLICE STATION
PLAT, LOCATED ON THE NORTH SIDE OF SIERRA
VISTA BLVD. AND EAST OF HWY 83, FROM
R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
TO B-1 (LIMITED BUSINESS DISTRICT); PROVIDING
FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the owner of Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, has requested a zone change from R-1 (Single Family Residential District) to B-1 (Limited Business District); and,

WHEREAS, notice of the zone change was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the Planning and Zoning Commission on this matter; and,

WHEREAS, the required written notices were sent to surrounding property owners at least fifteen (15) days before the public hearing held before the Planning and Zoning Commission on January 6, 2000; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change and **approval** of a Conditional Use Permit; and,

WHEREAS, the City Council has held a public hearing on January 24, 2000, on the request and finds proposed zone change is appropriate and consistent with the General Plan of the City of Laredo.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended to change the current zoning designation on Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, from R-1 (Single Family Residential District) to B-1 (Limited Business District);

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.


PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2000.

ELIZABETH G. FLORES
MAYOR

ATTEST:

GUSTAVO GUEVARA, JR.
CITY SECRETARY

APPROVED AS TO FORM:
JAIME FLORES
CITY ATTORNEY



BY: RAY RODRIGUEZ
ASSISTANT CITY ATTORNEY

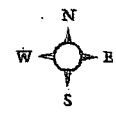
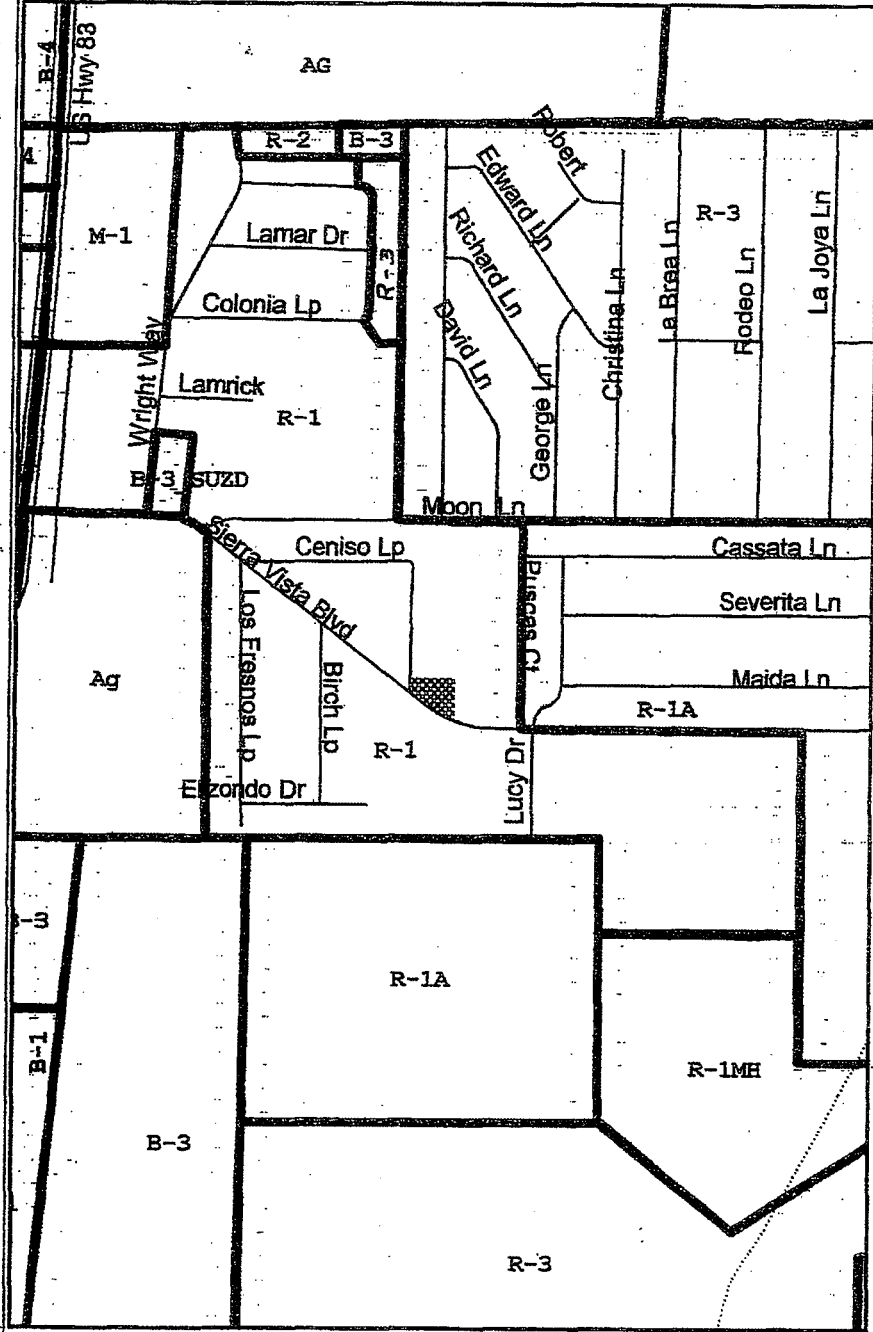
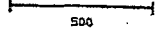


**Rezone from R-1 (Single Family Residential District)
To B-1 (Limited Business District)**

LOCATION: Sierra Vista Blvd.

ZC-105-99

City of Laredo
Planning Department
Feet



City of Laredo
Zoning Map



**LOT 20, BLOCK 5
0.3774 ACRE TRACT
(16,439.23 Sq. Ft)**

A 0.3774 Acre tract of land, more or less, out of the Myrlane Ranch, Porcion 36, Recorded in Volume 2, Page 235, of the Webb County Plat Records and further being out and part of Tract 1 (209.119 Acres) Porcion 36 and 37, acquired by Vimoso II, as therein Recorded in Volume 1073, Pages 567-569, Webb County Deed Records; said 0.3774 Acre tract being more particularly described by metes and bounds as follows;

BEGINNING at the southwest corner of Lot 19, Block 5, Sierra Vista Subdivision, UNIT I, Recorded in Volume 3, Page 14 A, of the Webb County Plat Records, same corner being the northwest corner of this tract hereof;

THENCE S. $85^{\circ}02'42''$ E., 154.16 feet, to the northeast corner hereof;

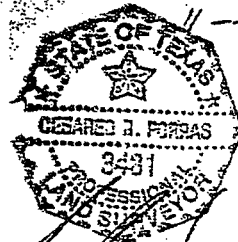
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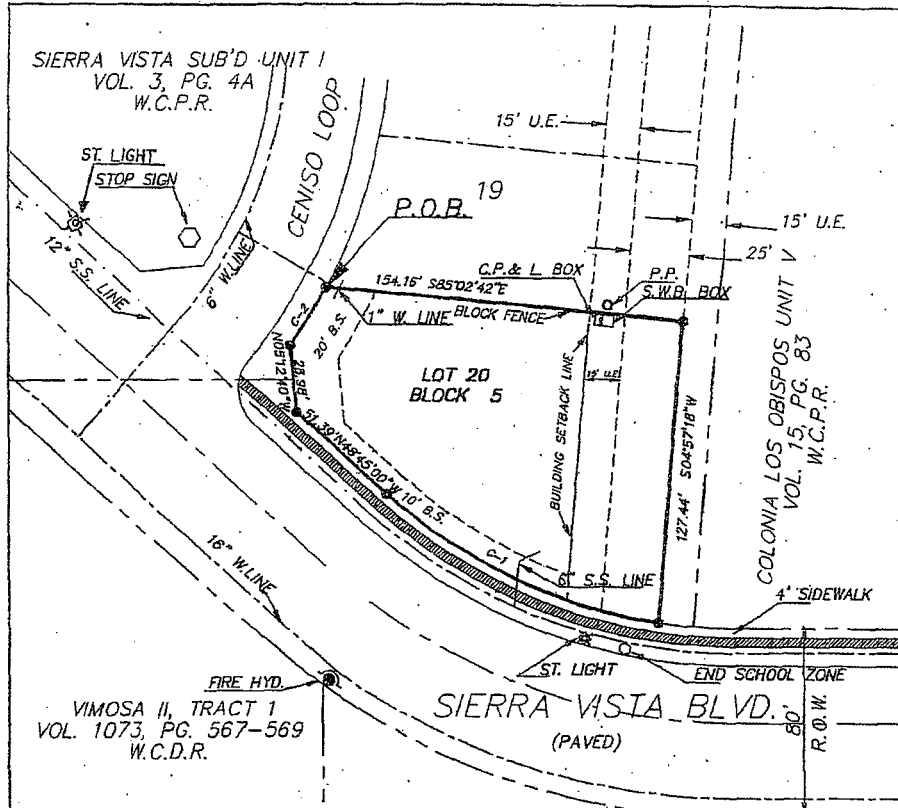
THENCE N. $48^{\circ}45'00''$ W., 51.39 feet, along said north right-of-way line, to a clip corner and a point of deflection, to the right hereof;

THENCE N. $05^{\circ}12'40''$ W., 28.98 feet, along the clip line, to a clip corner and a point on a curve, along the east right-of-way line, of the Ceniso Loop hereof;

THENCE in a northeasterly direction, along said east right-of-way line, a curvilinear distance of 28.30 feet (Delta = $07^{\circ}15'40''$, R = 223.31 feet, Tan = 14.17 feet, CHD = 28.28 feet, CHD Bearing = N. $32^{\circ}29'28''$ E) to the POINT OF BEGINNING.



Cesaré R. Porras, P.E., P.L.S.



CURVE DATA

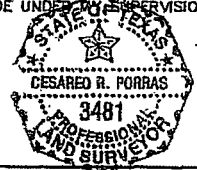
CURVE	DELTA ANGLE	RADIUS	ARC	TANG.	CHORD	CHORD BEARING
C-1	33°01'07"	225.69'	130.06'	66.89'	128.27'	N65°15'33"W
C-2	07°15'40"	223.31'	28.30'	14.17'	28.28'	N32°29'28"E

SCALE 1"=50'
DATE 11-23-99

- LEGEND
- SET IRON PIN
 - POWER POLE
 - S.W. SOUTH WESTERN BELL
 - CENTRAL POWER & LIGHT

IMPROVEMENT SURVEY OF
A 0.3774 AC. TRACT OF LAND
OUT OF MYRLANE RANCH
REC. IN VOL. 2, PG. 235 W.C.P.R.
CITY OF LAREDO, WEBB COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND THIS 23rd DAY Nov, 1999



[Signature]
CESAREO R. PORRAS
PROFESSIONAL LAND SURVEYOR #3481

PORRAS ENGINEERING CO.

P.O. BOX 1670 ENGINEERS ~ SURVEYORS OFF. 724-3097
78044 LAREDO, TEXAS FAX 724-3097

Porras Engineering Company

P.O. BOX 1670

Ph. 724-3097

Fax 724-9208

Laredo, Texas

January 11, 2000

**Attn: Carlos Ordonez
Planning Dept.**

Re: Sierra Vista Police Station Zone Change

To Whom It May Concern:

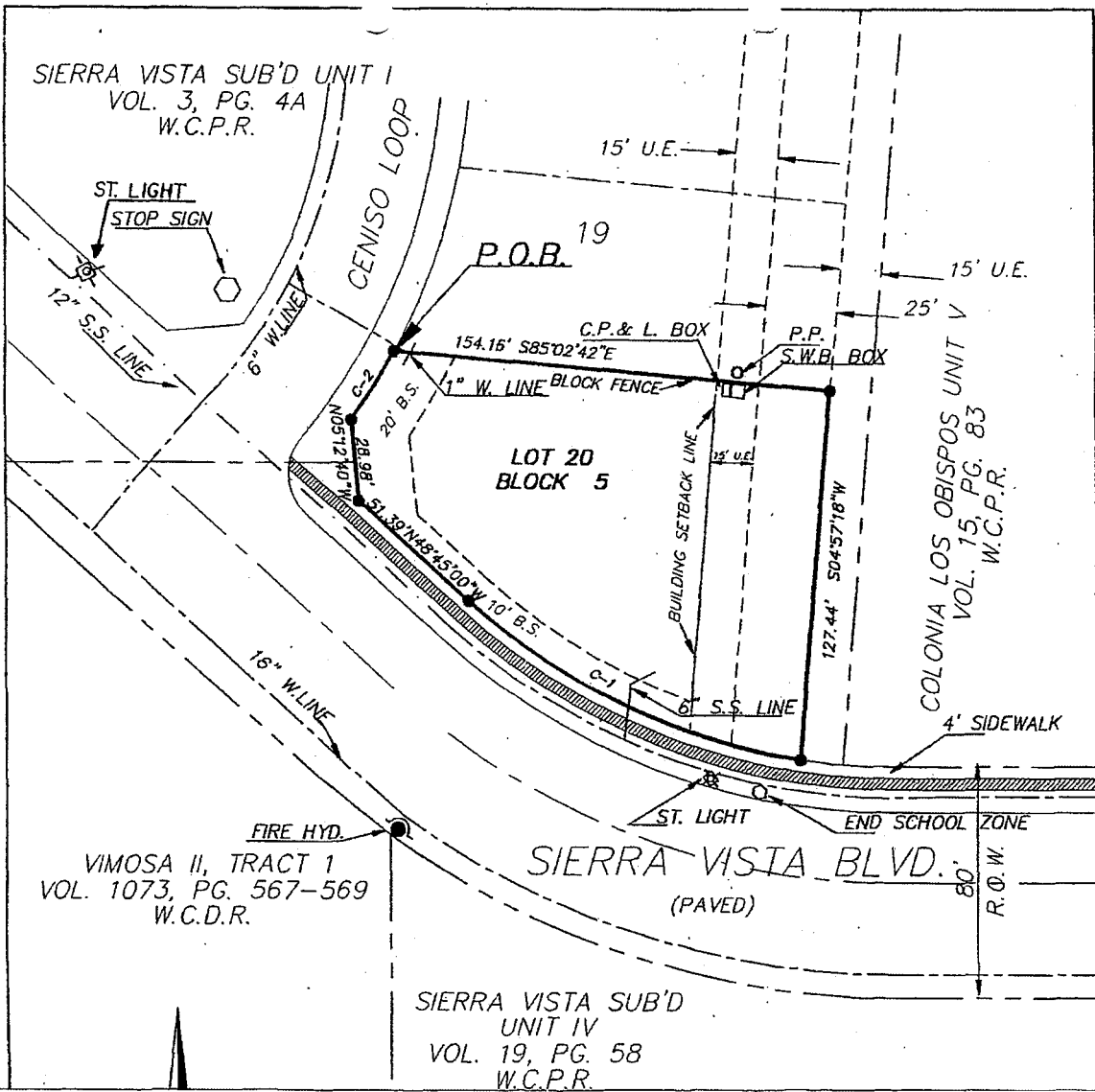
We at Porras Engineering Company and our clients are aware that the zone change request from R-1 to B-1 for the above project was denied on 01-06-00. A Conditional Use Permit (CUP) was given and accepted by our cilents. We would like for this issue to go on to the next City Council Meeting on 01-24-00 as is.

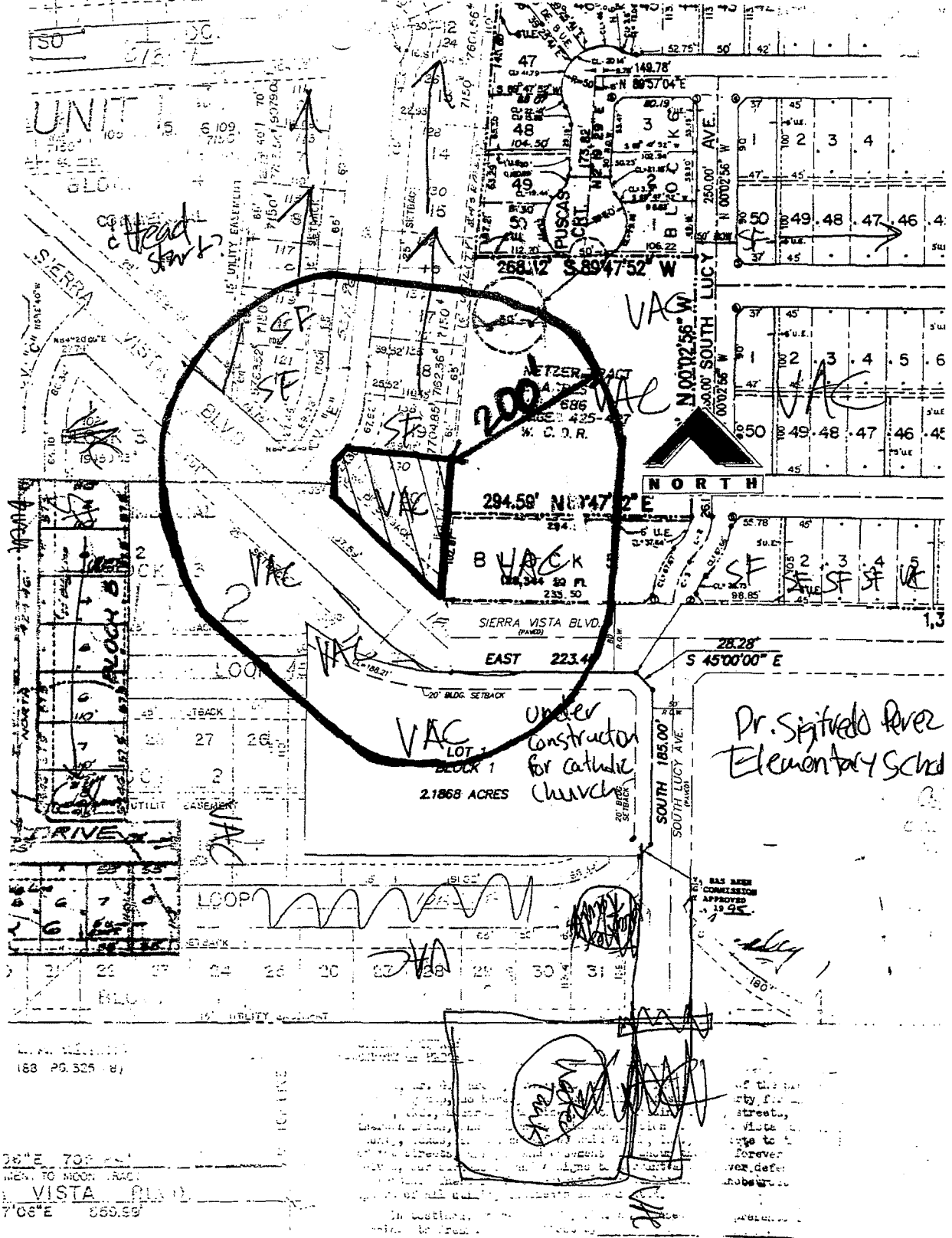
Should you have any questions please call at the number above.

THANK YOU

Paul R. Porrás

PAUL R. PORRAS





UNIT

BLK

SIERRA VISTA BLVD

BLVD

NETZER TRACT

294.58' N 074.72' E

B HACK

SIERRA VISTA BLVD

EAST 223.4'

VAC

LOT 1

21868 ACRES

UNDER CONSTRUCTION FOR CATHOLIC CHURCH

Dr. Sigfredo Perez Elementary School

VAC

NETZER TRACT

BLK

SIERRA VISTA BLVD

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CITY OF LAREDO

PLANNING DEPARTMENT

January 13, 2000

Dear Property Owner,

This letter is to update you on the disposition of the proposed zone change from R-1 (Single Family Residential District) to B-1 (Limited Business District) on Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83. The Planning and Zoning Commission has recommended denial of the proposed zone change and approval of a Conditional Use Permit for a police substation. However, the applicant has exercised the right to appeal directly to the City Council. A public hearing will be held for the proposed zone change at the regularly scheduled City Council meeting on Monday, January 24, 2000, at 5:30 P.M. in Council Chambers, located on the first floor of City Hall, 1110 Houston St.

Should you have any questions, please call or attend the meeting if you wish to make comments on the record.

Sincerely,

Carlos Ordonez
Planner I

PLANNING & ZONING COMMUNICATION

<p>Date: 1/6/2000 Item #5</p>	<p>SUBJECT: PUBLIC HEARING AND RECOMMENDATION OF AN ORDINANCE Public hearing concerning an application by Vimosa II, amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 20, Block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83, from R-1 (Single Family Residential District) to B-1 (Limited Business District). ZC-105-99</p>	
<p>Initiated by: Vimosa II, property owner</p>	<p>Staff source: Keith Selman, Planning Director Cynthia Collazo, Asst. City Manager</p>	
<p>Prior action: None</p>		
<p>BACKGROUND</p> <p>Council District: I - Alfredo Agredano</p> <p>Proposed use: Police substation.</p> <p>Site: The site is currently vacant land.</p> <p>Surrounding land uses: North of the site are single family residences. East and south of the site is vacant land. West of the site are single family residences and vacant land.</p> <p>Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.</p> <p>Transportation Plan The Long Range Thoroughfare Plan does not recognize Sierra Vista Blvd.</p> <p>Letters sent to surrounding property owners: 10 In Favor: 0 Opposed: 0</p>		
<p>STAFF COMMENTS</p> <p>The proposed zone change is appropriate at this location. The Comprehensive Plan recognizes this area as Low Density Residential. The surrounding zoning is R-1. In addition, there are no B-1 zoning trend at this location.</p> <p>The proposed use is appropriate at this location. The police substation will service the surrounding residential area, Hwy 83, and the residential subdivisions to the east.</p>		
<p>P&Z COMMISSION RECOMMENDATION: The P & Z Commission, in a to vote, recommended of the zone change.</p>	<p>STAFF RECOMMENDATION: Staff does not support the proposed zone change and supports a Conditional Use Permit.</p>	

PLANNING & ZONING COMMUNICATION

IMPACT ANALYSIS

ZC-105-99

B-1 (Limited Business District): The purpose of the B-1 is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

No, land surrounding this site, along Sierra Vista Blvd., is vacant land. The established land use pattern surrounding this pocket of vacant land is single family residential.

Would this change create an isolated zoning district unrelated to surrounding districts?

Yes, there are no adjacent B-1 zoning. The adjacent zoning district is R-1.

Will change adversely influence living conditions in the neighborhood?

No, the proposed use of a police substation will service the surrounding development.

Are there substantial reasons why the property can not be used in accord with existing zoning?

A police substation is not a permitted use in a R-1 zoning district.



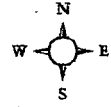
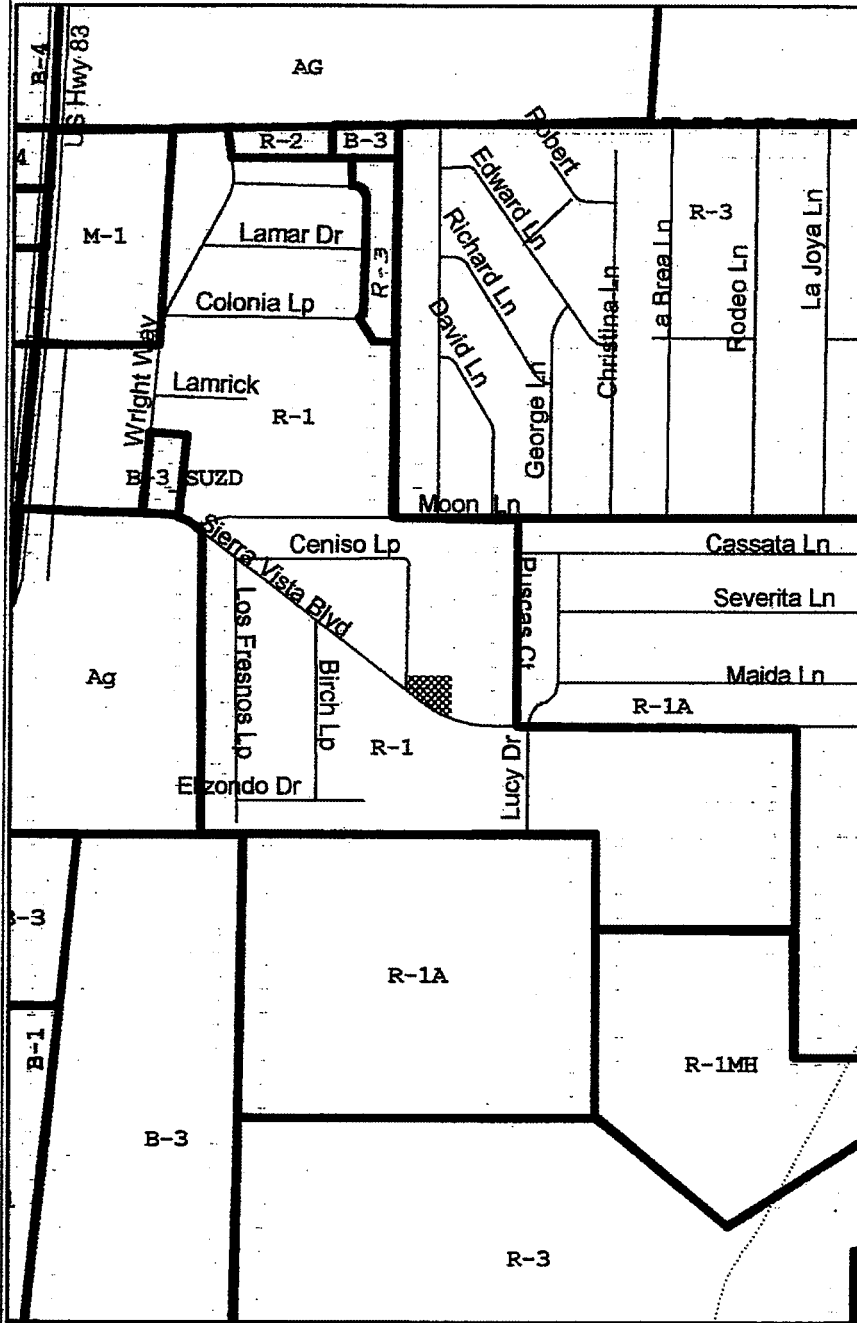
**Rezone from R-1 (Single Family Residential District)
To B-1 (Limited Business District)**

LOCATION: Sierra Vista Blvd.

ZC-105-89

City of Laredo
Planning Department
Feet

500



City of Laredo
Zoning Map



**LOT 20, BLOCK 5
0.3774 ACRE TRACT
(16,439.23 Sq. Ft)**

A 0.3774 Acre tract of land, more or less, out of the Myrlane Ranch, Porcion 36, Recorded in Volume 2, Page 235, of the Webb County Plat Records and further being out and part of Tract 1 (209.119 Acres) Porcion 36 and 37, acquired by Vimoso II, as therein Recorded in Volume 1073, Pages 567-569, Webb County Deed Records; said 0.3774 Acre tract being more particularly described by metes and bounds as follows;

BEGINNING at the southwest corner of Lot 19, Block 5, Sierra Vista Subdivision, UNIT I, Recorded in Volume 3, Page 14 A, of the Webb County Plat Records, same corner being the northwest corner of this tract hereof;

THENCE S. 85°-02'-42" E., 154.16 feet, to the northeast corner hereof;

THENCE S. 04°-57'-18" W., 127.44 feet, to a point on a curve, the north right-of-way line of Sierra Vista Blvd., and the southeast corner hereof;

THENCE in a northwesterly direction, along said north right-of-way line, a curvilinear distance of 130.06 feet (Delta = 33°-01'-07", R = 225.69 feet, Tan = 66.89 feet, CHD = 128.27 feet, CHD Bearing = N. 65°-15'-33" W.) to end of this curve.

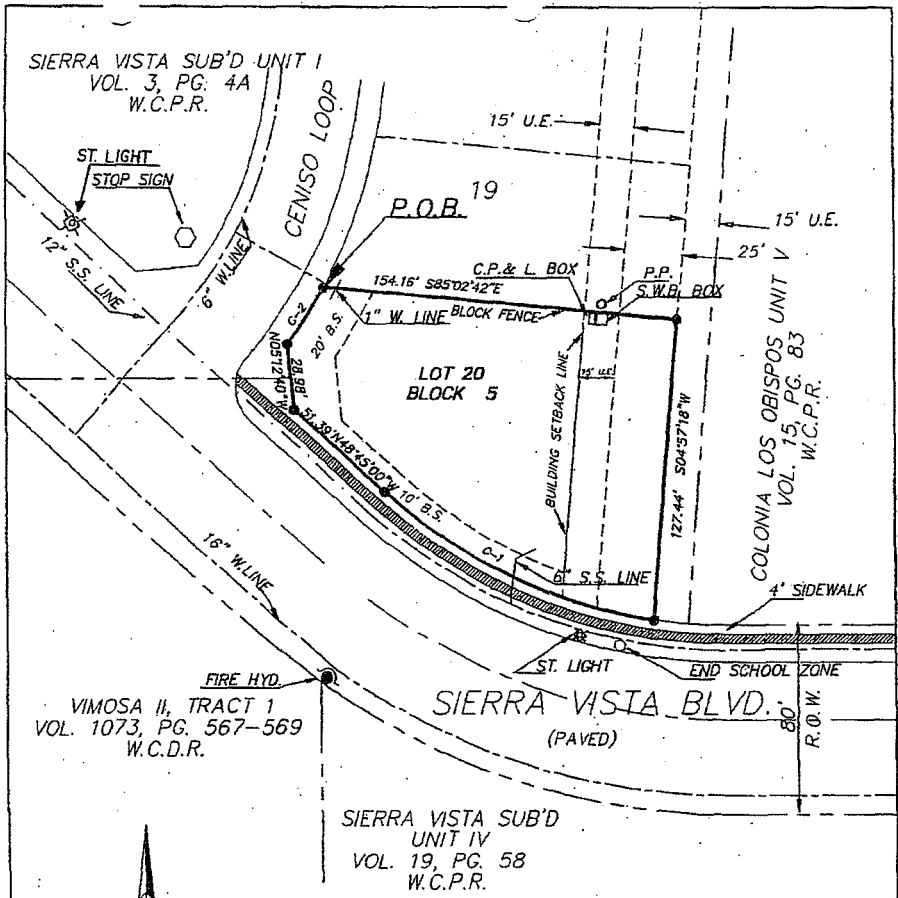
THENCE N. 48°-45'-00" W., 51.39 feet, along said north right-of-way line, to a clip corner and a point of deflection, to the right hereof;

THENCE N. 05°-12'-40" W., 28.98 feet, along the clip line, to a clip corner and a point on a curve, along the east right-of-way line, of the Ceniso Loop hereof;

THENCE in a northeasterly direction, along said east right-of-way line, a curvilinear distance of 28.30 feet (Delta = 07°-15'-40", R = 223.31 feet, Tan = 14.17 feet, CHD = 28.28 feet, CHD Bearing = N. 32°-29'-28" E) to the POINT OF BEGINNING.



Cesareo R. Pomras, P.E., P.L.S.



CURVE DATA

CURVE	DELTA ANGLE	RADIUS	ARC	TANG.	CHORD	CHORD BEARING
C-1	33°01'07"	225.69'	130.06'	66.89'	128.27'	N65°15'33"W
C-2	07°15'40"	223.31'	28.30'	14.17'	28.28'	N32°29'28"E

SCALE 1"=50'
DATE 11-23-99

- LEGEND**
- SET IRON PIN
 - POWER POLE
 - S.W.B. SOUTH WESTERN BELL
 - C.P. & L. CENTRAL POWER & LIGHT

IMPROVEMENT SURVEY OF
A 0.3774 AC. TRACT OF LAND
OUT OF MYRLANE RANCH
REC. IN VOL. 2, PG. 235 W.C.P.R.
CITY OF LAREDO, WEBB COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND THIS 22nd DAY Nov, 1999



[Signature]
CESAREO R. PORRAS
PROFESSIONAL LAND SURVEYOR #3481

PORRAS ENGINEERING CO.
P.O. BOX 1670 ENGINEERS ~ SURVEYORS OFF. 724-3097
78044 LAREDO, TEXAS FAX 724-9208

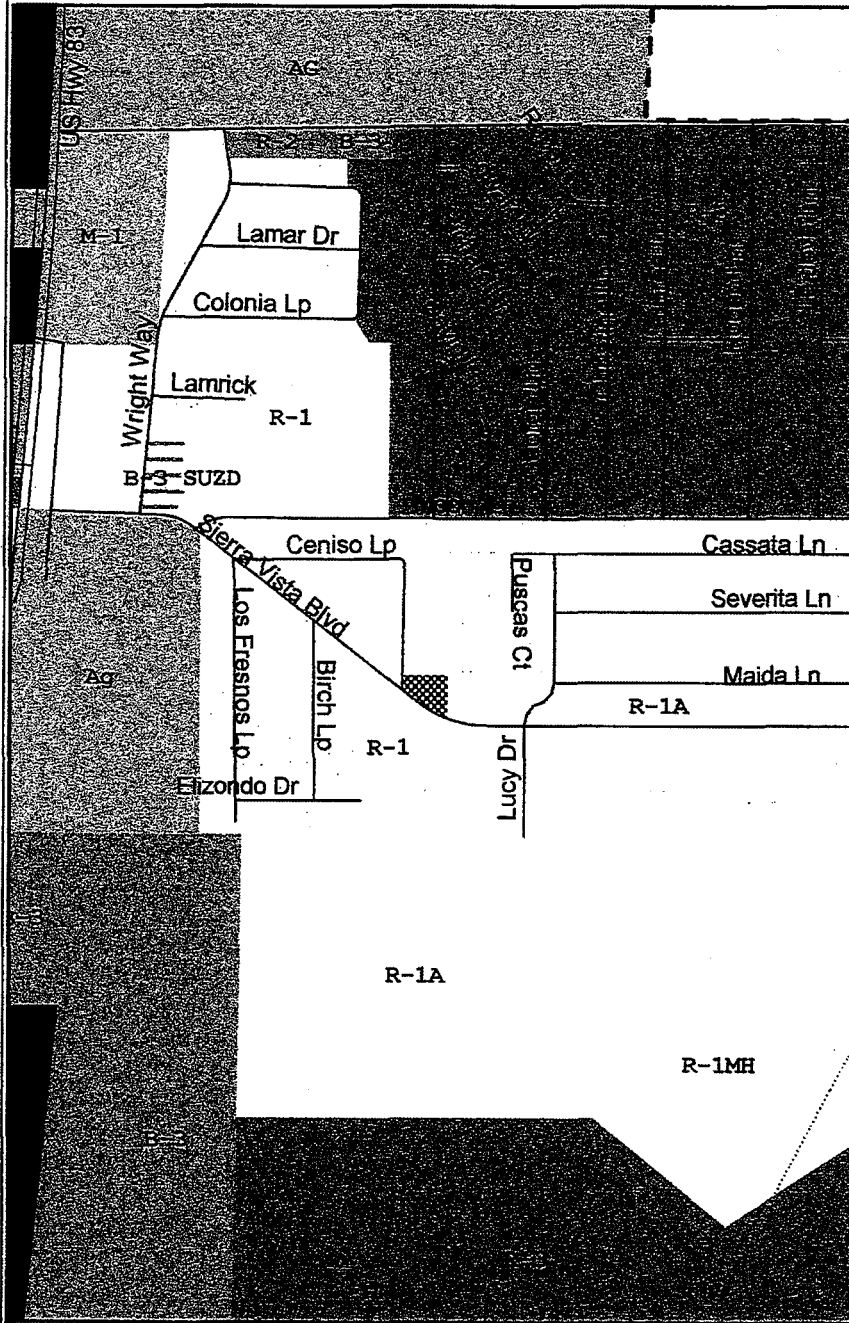
**Rezone from R-1 (Single Family Residential District)
To B-1 (Limited Business District)**

LOCATION: Sierra Vista Blvd.

City of Laredo
Planning Department
Feet

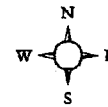
ZC-105-99

500



Legend

- R-1
- R-1A
- R-1MH
- R-2
- R-3
- R-O
- RS
- RSM
- B-1
- B-1_SUZD
- B-3
- B-3_SUZD
- B-4
- B-4_SUZD
- CBD
- M-X
- M-1
- M-2
- AG
- B-1R
- C.U.P.
- S.U.P.
- B-4 S.U.P.
- M-1 S.U.P.
- S.U.Z.D.
- B-3 S.U.P.
- B-3 C.U.P.
- R-1 P.U.D.
- R-1A P.U.D.
- M-1 S.U.Z.I



**City of Laredo
Zoning Map**



CITY OF LAREDO

PLANNING DEPARTMENT

22 de Diciembre de 1999

Estimado Sr. Propietario:

La ley de Zonificación de la Ciudad de Laredo ordena que, cuando cambio de zona es solicitado para cualquier propiedad; los dueños de propiedades a una distancia de 200 ft. seran notificados y se les ofrece la oportunidad de expresar sus opiniones respecto al cambio de zona.

Una solicitud ha sido recibido para cambio de zona en **Lot 20, Block 5, Sierra Vista Police Station Plat**, localizado en la siguiente dirección: **el lado norte de Sierra Vista Blvd. y este de Hwy 83.**

La propiedad actualmente tiene la zona de **R-1 (Distrito Residencial Unifamiliar)** y se solicita el cambio de zona a **B-1 (Distrito Comercial Limitado).**

El solicitante menciona que el uso propuesto es: **police station**. Sinembargo cuando el uso ha sido cambiado, la propiedad puede ser usada de cualquier forma que este de acuerdo con la ley de zonificación.

La Comisión de Zonificación celebrará una audiencia pública el jueves, **6 de Enero de 2000**, a las 6:00 p.m. en las Cámaras del Concilio de la Ciudad, en 1110 Houston, Laredo, Texas. La Comisión de Zonificación hará su recomendación al Concilio de la Ciudad en audiencia pública, que se celebrará en fecha próxima, para tomar una decisión final sobre esto. Queda usted invitado a asistir a esta audiencia y expresar sus opiniones con respecto a esta solicitud de cambio de uso.

Si desea oponerse o respaldar el cambio de zona propuesto, necesitamos que firme la forma adjunta a este aviso y la envíe a la Oficina de Planificación. Su objeción o respaldo será entregado a la Comisión de Planificación y Zonificación y al Concilio de la Ciudad.

Si usted tiene preguntas sobre esto, favor de comunicarse con Carlos Ordonez al telefono (956) 791-7441, o pasar a esta oficina.

=====99j16602t3b0s10v1PDESPEGUE AQUI=====

ZC-105-99; R-1 to B-1; North side of Sierra Vista Blvd. and east of Hwy 83.

Yo, _____ de _____
Nombre Dirección

me *opongo* al _____ / *respaldo* _____ el cambio de zona propuesto por las siguientes razones:

(_____) _____
Telefono Firma Fecha

1110 Houston P.O. Box 579 Laredo, Texas 78042-0579 (956) 791-7441 Fax (956) 791-7457



CITY OF LAREDO

PLANNING DEPARTMENT

December 22, 1999

Dear Property Owner:

The zoning ordinance for the City of Laredo requires that when a zone change is requested for any property, owners within 200 feet of that property be notified and offered the opportunity to express their opinions regarding the change of zoning.

A request has been received to change the zone on Lot 20, Block 5, Sierra Vista Police Station Plat, located at the following address: the north side of Sierra Vista Blvd. and east of Hwy 83.

The zone change request is from its current zoning of R-1 (Single Family Residential District) to B-1 (Limited Business District).

The applicant has stated the proposed use is: police station. However, once the zoning has been changed, the property may be used in any manner consistent with the zoning ordinance.

A public hearing will be held by the Planning and Zoning Commission on Thursday, January 6, 2000, at 6:00 p.m. in the City Council Chambers, 1110 Houston, Laredo, Texas. The Commission will give a recommendation to the City Council who will, at a public hearing scheduled at a later date, decide the fate of the application. You are invited to attend this hearing and express your opinions concerning this zone change request.

If you wish to object or support the proposed zone change, it is requested that you sign and detach the form below and send it to the Planning Department Office. Your objection/ support will be conveyed to the Planning and Zoning Commission and the City Council.

If you have any questions, please telephone or come by this office and contact Mr. Carlos Ordonez at (956) 791-7441.

DETACH HERE

ZC-105-99; R-1 to B-1; North side of Sierra Vista Blvd. and east of Hwy 83.

I _____ of _____
Name Address

object to _____ / *support* _____ the proposed zone change for the following reasons:

Telephone Signature Date

1110 Houston P.O. Box 579 Laredo, Texas 78042-0579 (956) 791-7441 Fax (956) 791-7457

Sierra Vista Blvd.

Block 5 lots 16-20

941-0005-160 ✓
941-0005-190

Blocks Lot 20

OWNER VIMOSAL

2801 MONTGOMERY

tl (956) 722-8021

Block 4 lots 9-12

941-0004-090 ✓

941-0004-120

Block 1 lot 1 Sierra Vista subd unit IV

OWNER Max L. Watts president of B.P. Newman Investment

CO Managing Partner of Vimosal II

2801 Montgomery St

tl (956) 722-8621

Block 5 Colonia Las Brisas IV

962-7005-010 ✓

NETZER TRACT (2 Acres)

V. 686 Pages 425-427

W.C.D.R.

1920 MACON ST.

445-0108-070 ✓

941-00004-090

~~GRACE JAMES E~~
GRACE
117 CENISO LOOP
LAREDO, TX 78046

941-00004-100

KINSLOW GEORGE W & MARTA B
119 CENISO LOOP
LAREDO, TX 78046

941-00004-110

~~KINSLOW GEORGE W & MARTA B~~
119 CENISO LOOP
LAREDO, TX 78046

941-00004-120

VINGSA II
PO BOX 2008
LAREDO, TX 78044-2008

800-14000-157

NEWMAN B P INVESTMENT CO
P O BOX 2008
LAREDO, TX 78044-2008

941-00005-160

~~AGUIAR ROSE & WF~~
RACHEL PAULINE
2116 SANTA CECOTILDE AVE
LAREDO, TX 78040-3015

941-00005-170

PENECALE GRACIELA
136 CENISO LOOP
LAREDO, TX 78046

941-00005-180

PENECALE GRACIELA
136 CENISO LOOP
LAREDO, TX 78046

941-00005-190

LOPEZ JESUS & WF BEATRIZ
138 CENISO LOOP
LAREDO, TX 78046

800-14000-157

~~NEWMAN B P INVESTMENT CO~~
P O BOX 2008
LAREDO, TX 78044-2008

10

LAREDO, TX 78044-2008

962-7005-010
HARECO/VIMOSA
P O BOX 2008

LAREDO, TX 78043-4319

445-01080-070
NETZER VIRGINIA
1920 CHACON ST

hearing at the address below. Persons can also submit written comments prior to public hearing to:

Housing Authority of the City of Laredo
2000 San Francisco
Laredo, Texas 78040

For further information, please call Abraham Rodriguez, Executive Director at (956) 722-4521.



L-076

PUBLIC NOTICE

Written notice is hereby given of a Planning & Zoning Commission Meeting to be held January 6, 2000, at 6:00 P.M. in the City Council Chambers, City Hall, located at 1110 Houston Street. The following will be discussed:

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from B-3 (Community Business District) to M-1 (Light Manufacturing District) on Lots 3 and 4, block 98, Eastern Division, located at 809 Market St.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-1 (Single Family Residential District) to R-4 (Highway Commercial District) on 5.6740 acres, located east of Bob Bullock Loop and south of Clark Blvd.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-1 (Single Family Residential District) to R-1A (Single Family Reduced Area District) on 1.0441 acres, located on the east side of Bob Bullock Loop and south of Hwy 59.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-1 (Single Family Residential District) to R-0 (Residential/Office District) on 2,000 acres, located east of Bob Bullock Loop and south of Hwy 59.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-1 (Single Family Residential District) to B-1 (Limited Business District) on Lot 20, block 5, Sierra Vista Police Station Plat, located on the north side of Sierra Vista Blvd. and east of Hwy 83.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-1 (Single Family Residential District) to R-2 (Multi-Family Residential District) on Lots 4, 5, and 6, Block 921, Eastern Division, located at 1717 and 1719 Cortez St.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from B-3 (Community Business District) to B-4 (Highway Commercial District) on 4.7714 acres, located at the northwest corner of Springfield Ave. and Calle Del Norte Rd.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from B-1 (Limited Business District) to B-3 (Community Business District) on Lot 1, Block 7, San Isidro/McPherson III, located at 9701 McPherson Rd.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to rezone a site from R-2 (Multi-Family Residential District) to B-1 (Limited Business District) on Lots 1-A and 1-B, Block 3, G&M Apartment and Townhouse Project, Del Mar Hills, located at the southeast corner of Del Mar Blvd. and Village Blvd.

a. Public Hearing

Public hearing and consideration of a proposed amendment to the Zoning Ordinance (Map) to issue a Special Use Permit for above ground fuel tanks on lot 4, Block 1, Laredo International Airport Manufacturing Facilities Phase I, located at 5513 Thomas Ave.

a. Public Hearing

L-148

WITNESS MY HAND AND SEAL, THIS 13TH DAY OF DECEMBER, 1999.

GUSTAVO GUEVARA, JR.
CITY SECRETARY

L-152

PUBLIC NOTICE

Notice is hereby given that the County of Webb is accepting bids for Video Cameras and Riding Rotary Mower.

Bids must be submitted **TRIPPLICATE** in sealed envelopes to the Office of the Webb County Clerk. Sealed envelopes must be marked **(Sealed Bid) with Bid Number and Service on front lower left-hand corner of envelope.**

Bid. No. 2000-37

"Video Cameras"

Bid No. 2000-38

"All-Purpose Riding Rotary Mower"

Bids will be either hand delivered or mailed to the following locations: Hand delivered or Mailed to: Webb County Clerk

Webb County Justice Center

1110 Victoria St., Suite 201

Laredo, Texas 78042

Bid must be delivered no later than **2:00 P.M., January 6, 2000**, at which time all bids received will be opened and read to the public. Late bids will not be considered.

Bids must be held by the County of Webb for a period not to exceed thirty (30) days from the date of the bid opening for the purpose of reviewing the bids and investigating the bidder's qualification prior to the Award of Contract.

If any additional information is required please, contact, the Webb County Purchasing Department, 1110 Victoria, Suite 501, (956) 721-2530, Laredo, Texas 78041

The County of Webb reserves the right to reject any and all Bids or to select the bid that is in the best interest of Webb County.
Eloy Ramirez, Jr.
Purchasing Agent

L-181

PUBLIC NOTICE

Written notice is hereby given of a Planning & Zoning Commission Meeting to be held January 6, 2000, at 6:00 P.M. in the City Council Chambers, City Hall, located at 1110 Houston Street. The following will be discussed:

Public hearing and consideration of an ordinance amending provisions of the *Laredo Land Development Code* specifically Section 24.73 pertaining to oil and gas extraction and production specific use zoning overlay district and permit requirements; Section 24.63.2 pertaining to permitted uses; Section 24.77.2 pertaining to dimensional standards supplementary provisions; and amending Appendix "A", providing for publication and effective date.

a. Public Hearing

Public hearing and consideration of an ordinance amending Section 24.66.22 of the *Laredo Land Development Code* allowing for the creation of a Jarvis Plaza Historic District; amending Appendix "A"; and providing for publication and effective date.

Proposed Jarvis Plaza Historic District, Western Division, includes: Block 3, Lots 9 and 10; block 36, Lots 1,2,9, and Block 10; Block 39, Lots 4,5,6,7,8,9, and 10; Block 40, Lots 1,2,9, and 10; Block 48, Lots 1,2,9, and 10; Block 55, Lots 6,7,8,9, and 10; All of Blocks 49,59,61,62,70,71,73,127,128,139,140,141, and 142.

L-177

Proposals are to be submitted in a clearly marked:

**Proposal: BUS BENCH ADVERTISING
FY00-047**

Proposals are to be mailed or hand carried to:
City of Laredo - City Secretary (Gustavo Guevara, Jr.)
City Hall - Third Floor 1110 Houston St.
P.O. Box 579
Laredo, Texas 78042-0579
The City of Laredo reserves the right and all proposals, and to waive any minutes.

WITNESS MY HAND AND SEAL, THIS 13TH DAY OF DECEMBER, 1999

GUSTAVO GUEVARA JR.
CITY SECRETARY

PUBLIC NOTICE

Written notice is hereby given of a Planning & Zoning Commission Meeting to be held January 6, 2000, at 6:00 P.M. in the City Council Chambers, City Hall, located at 1110 Houston Street. The following will be discussed:

Public hearing and consideration of a proposed amendment to all sections of the *Laredo Land Development Code* pertaining to Manufactured Housing. These sections include Section 24.63.3 Non-Conforming Uses or Buildings, Section 24.63 Permitted Uses, Section 24.65.7 R-3 Mixed Residential District, Section 24.65.6 R-1MH Single Family Manufactured Housing District, Section 24.77.1 Dimensional Standards, and Section 24.93.2 Manufactured Housing Park.
a Public Hearing

L-176

See For What Class In Mer

Call 728-2 to Subscribe to your # Local Newspaper Laredo Morning

Laredo Morning Times
Dec 22, 1999

**PETITION FOR AMENDMENT
TO THE ZONING ORDINANCE MAP**

ZC-105-1999

APPLICANT. VIMOSA II
 ADDRESS 2801 MONTGOMERY
 TELEPHONE (956) 722-8021

OWNER VIMOSA II
2801 MONTGOMERY
(956) 722-8021

ADDRESS OF PROPOSED ZONE CHANGE SOUTH LAREDO, NORTHEAST CORNER OF
SIERRA VISTA BOULEVARD AND CENISO LOOP
 PRESENT LAND USE RESIDENTIAL PRESENT ZONING R-1
 PROPOSED LAND USE POLICE STATION PROPOSED ZONING B-1 ✓

THE FOLLOWING DOCUMENTS MUST BE PROVIDED WITH APPLICATION

- DEED RESTRICTIONS (IF APPLICABLE)
- X TAX CERTIFICATE (CITY OF LAREDO, WEBB CO.
SCHOOL DISTRICT)
- X COPY OF DEED
- X SITE PLAN

RECEIVED
 DEC 03 1999
 PLANNING DEPT.

LEGAL DESCRIPTION OF PROPERTY:

LOT 20 TRACT
 BLOCK 5 SURVEY
 SUBDIVISION SIERRA VISTA POLICE STA. PLAT ABSTRACT
 NO. OF LOTS 1 NO. OF ACRES 0.3774

* For properties not in a recorded subdivision submit a current survey and complete metes and bounds description by a Texas Registered Public Surveyor.

The undersigned has read the above application and does hereby certify that all information contained therein is true and correct. I further certify that I have been informed of the times and dates that this request will be considered by the Planning and Zoning Commission and the City Council.

Mal L. Wink
 Signature of owner(s)

12-3-99
 Date

Note: If applicant is different from the owner named on the deed, page two of this application must be completed.

AX CERTIFICATE
UNITED INDEPENDENT SCHOOL DISTRICT
3501 E. SAUNDERS
LAREDO, TX. 78041

NO 93303

ACCOUNT NUMBER: 900-90361-032

PROPERTY OWNER:

VIMOSA II
P O BOX 2008
LAREDO, TX 78044-2008

PROPERTY DESCRIPTION:

ABST 473 POR 36 J A DIAZ 13.325 AC
S

ACRES 0.000 MIN% .00000 TYPE

MRS. MARY ANN CATES TAX ASSESSOR-COLLECTOR IN AND FOR UNITED INDEPENDENT SCHOOL DISTRICT, AND THE WEBB CED, AND MIRANDO CITY ISD, AFTER CAREFUL CHECK ON THIS DATE 12/02/1999, ON THE DESCRIBED PROPERTY:

YEAR	ENTITY	BASE TAX	P & I	COLLECTION FEES	TOTAL
1999	UNITED ISD			*	ALL PAID *
TOTAL SEQUENCE	0			*	ALL PAID *

UNITED I.S.D.

TOTAL TAX:	* ALL PAID *
UNPAID FEES:	* NONE *
INTEREST ON FEES:	* NONE *
COMMISSION:	* NONE *
TOTAL DUE:	* ALL PAID *

CERTIFY THAT ALL TAXES ARE PAID IN FULL PRIORITY AND INCLUDING THE YEAR 1999 EXCEPT FOR THOSE UNPAID YEARS LISTED ABOVE.
TAXES PAID FOR YEAR 1999 1656.12

(IF APPLICABLE) THE ABOVE DESCRIBED PROPERTY HAS/IS RECEIVING SPECIAL VALUATION BASED ON ITS USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE BASED ON THE PROVISIONS OF THE SPECIAL VALUATION. (Section 23.95, State Property Tax Code).

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 12/02/1999

CHECK # 1033
FEE PAID \$10.00

MARY ANN CATES, RTA, CSTA, CTA, CTSBS
TAX ASSESSOR & COLLECTOR
WEBB COUNTY TEXAS

BY: *Mary Ann Cates*

City of Laredo
 Tax Assessor-Collector
 P.O. Box 329
 Laredo TX 78042
 PHONE 791-7403
 12/02/99

Parcel number
 900-90361-032
 VIMOSA II
 P O BOX 2008
 LAREDO TX 780442008

540543
 LEGAL DESCRIPTION
 ABST 473 POR 36 J A DIAZ
 13.325 ACS

** TAX CERTIFICATE **

TAX YEAR	BASE TAX	PEN/INT	SUB-TOTAL	COLL FEES	OTHER	TOTAL DUE
=====	=====	=====	=====	=====	=====	=====
99	655.34		655.34		.00	655.34
TOT DUE	655.34		655.34		.00	655.34

I, Phyllis J. Colon, Tax Assessor-Collector for the City of Laredo, Texas, do hereby certify that the following property owes no delinquent taxes through the year 1999.

(If applicable) The above described property may be receiving special valuation based on its use, and additional rollback taxes may become due based on the provisions of the special valuation.

Certified by

Deputy

Phyllis J. Colon
 Check # 1031

TAX CERTIFICATE
Webb County Tax Assessor, Collector
Patricia A. Barrera
1110 Victoria St. Ste 107
Laredo, Texas 78040
(956) 721-2323

NO. 9281

ACCOUNT NUMBER: 900-90361-032

PROPERTY OWNER:

VIMOSA II
PO BOX 2008
LAREDO, TX 78044-2008

PROPERTY DESCRIPTION:

ABST 473 POR 36 J A DIAZ 13.325 AC
S

ACRES 0.000 MIN% .00000 TYPE

Webb County, in and for Webb County, and Laredo Community College.

YEAR ENTITY
1999 WEBB COUNTY
LAREDO COMMUNITY COLLEGE
ROAD AND BRIDGE

TOTAL
* ALL PAID
* ALL PAID
* ALL PAID

TOTAL SEQUENCE 0

* ALL PAID

TOTAL TAX:
UNPAID FEES:
INTEREST ON FEES:
COMMISSION:
TOTAL DUE -->

* ALL PAID
* NONE
* NONE
* NONE
* ALL PAID

ALL TAXES PAID IN FULL PRIOR TO AND INCLUDING THE YEAR 1999 EXCEPT FOR UNPAID
YEARS LISTED ABOVE.
TAXES PAID FOR YEAR 1999 684.05

THE ABOVE DESCRIBED PROPERTY MAY BE SUBJECT TO SPECIAL VALUATION BASED ON ITS
USE, AND ADDITIONAL ROLLBACK TAXES MAY BECOME DUE.
(SECTION 23.55, STATE PROPERTY TAX CODE)
PURSUANT TO *31.08 OF THE PROPERTY TAX CODE, THERE IS A FEE ON ALL TAX
CERTIFICATES.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS DATE OF 12/02/1999

CHECK #: 1032
Fee Paid: \$10.00

Patricia A. Barrera
Tax Assessor-Collector
By: _____

Deputy Collector

WARRANTY DEED

1.8506 (1.11.81)
Fl... ..

STATE OF TEXAS
COUNTY OF WEBB

323337

Porciones

KNOW ALL MEN BY THESE PRESENTS:

THAT DIVERSIFIED INVESTORS OF LAREDO, a Texas General Partnership, composed of RICARDO V. GOMEZ, ALBERTO J. MARTINEZ, SIGIFREDO PEREZ, M.D., OSCAR L. ELIZONDO, M.D., B. P. NEWMAN INVESTMENT CO., a Texas Corporation acting by and through its President, B. P. NEWMAN, acting herein by and through a majority of its Partners, of the County of Webb and the State of Texas, for and in consideration of the sum of TEN AND NO/100THS (\$10.00) and other valuable consideration to the undersigned paid by the grantee herein named, the receipt of which is hereby acknowledged, has GRANTED, SOLD AND CONVEYED, and by these presents does GRANT, SELL AND CONVEY unto VIMOSA II, a Texas General Partnership composed of RICARDO V. GOMEZ, ALBERTO J. MARTINEZ, SIGIFREDO PEREZ, M.D., OSCAR L. ELIZONDO, M.D., B. P. NEWMAN INVESTMENT CO., a Texas Corporation acting by and through its President, B. P. NEWMAN, LAWRENCE A. MANN, FRANK J. SALDANA, JR., and LA PALOMA APARTMENTS, LTD., a Texas Limited Partnership, whose address is Post Office Box 1611, Laredo, Texas, 78041, all of the following described real property in Webb County, Texas, to-wit:

1073/527

TRACT I

THE SURFACE ONLY to a tract of land containing 209.119 acres, more or less, out of Porciones 36 and 37, Webb County, Texas, as fully described in Deed dated March 13, 1981 from Lawrence A. Mann, Trustee, as grantor, to Diversified Investors of Laredo, as grantee, of record in Volume 652, pp. 142-144 of the Deed Records of Webb County, Texas, to which Deed and the recording thereof reference is here made for all purposes.

8-22-84
323337
SERIES FLORES
COUNTY CLERK WEBB COUNTY, TEXAS
FILED

TRACT II

THE SURFACE ONLY to a tract of land containing 1.8506 acres in Porciones 36 and 37 in Webb County, Texas, as fully described in Deed dated March 13, 1981 and recorded in Volume 652, pp. 130 et seq. of the Deed Records of Webb County, Texas, to which Deed and the recording thereof reference is here made for all purposes.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said grantee, its successors and assigns forever; and grantor hereby binds itself, its successors and assigns to WARRANT AND FOREVER DEFEND all and singular the said premises unto the said grantee, its successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part thereof.

This conveyance is made and accepted subject to the following matters, to the extent same are in effect at this time: any and all restrictions, indebtedness and liens securing same, covenants, conditions, reservations and easements, including utility easements, if any, relating to the hereinabove described property, but only to the extent they are still in effect, shown of record in the hereinabove mentioned county and state, and to all zoning laws, regulations and ordinances of municipal and/or other governmental authorities, if any, but only to the extent that they are in effect, relating to the hereinabove described property, or any part thereof.

All oil, gas and other minerals underlying above described property are excepted from this conveyance, and it is understood that the grantee acquires no interest therein. This conveyance is also made and accepted subject to any oil, gas and/or mineral leases now in effect, or which may hereafter be granted covering all or any part of above described property.

Above described property was purchased in the name of grantor herein, as grantee, for one or more of the Partners of Vimoso II, a Texas General Partnership, and this conveyance of the property herein described is made as a capital contribution to the said Vimoso II, and grantor hereby adopts, ratifies, and confirms all of the acts which Vimoso II, or B. P. Newman Investment Co., its Managing Partner, or B. P. Newman, its President, may heretofore have done with relation to above described property.

EXECUTED this the 21st day of August, 1984.

DIVERSIFIED INVESTORS OF LAREDO
A Texas General Partnership

BY: Ricardo V. Gomez
RICARDO V. GOMEZ

BY: Alberto G. Martinez
ALBERTO G. MARTINEZ

BY: B. P. NEWMAN INVESTMENT CO.

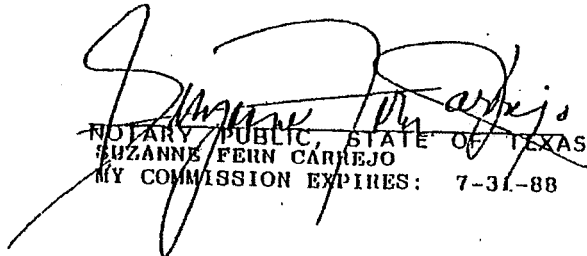
BY: B. P. Newman
B. P. NEWMAN, President

STATE OF TEXAS
COUNTY OF WEBB

§
§

THIS instrument was acknowledged before me on this 21st day of August, 1984 by the said RICARDO V. GOMEZ, a Partner of DIVERSIFIED INVESTORS OF LAREDO, a Texas General Partnership.

(L.S.)

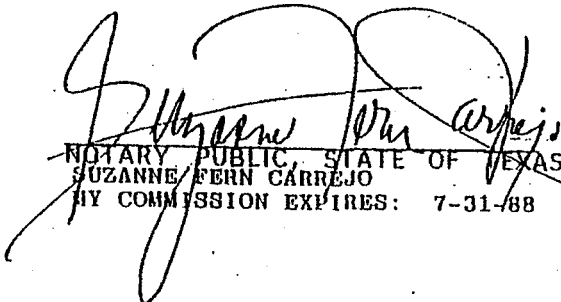

NOTARY PUBLIC, STATE OF TEXAS
SUZANNE FERN CARREJO
MY COMMISSION EXPIRES: 7-31-88

STATE OF TEXAS
COUNTY OF WEBB

§
§

THIS instrument was acknowledged before me on this 21st day of August, 1984 by the said ALBERTO J. MARTINEZ, Partner of DIVERSIFIED INVESTORS OF LAREDO, a Texas General Partnership.

(L.S.)

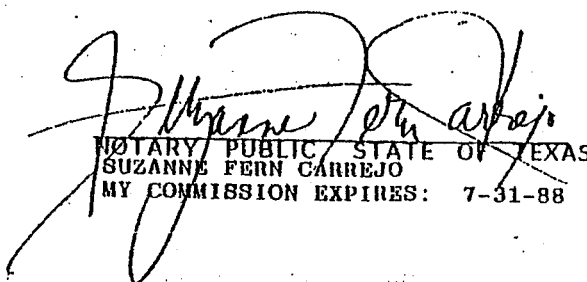

NOTARY PUBLIC, STATE OF TEXAS
SUZANNE FERN CARREJO
MY COMMISSION EXPIRES: 7-31-88

STATE OF TEXAS
COUNTY OF WEBB

§
§

THIS instrument was acknowledged before me on this 21st day of August, 1984 by the said B. P. NEWMAN, President of B. P. NEWMAN INVESTMENT CO., a Partner of DIVERSIFIED INVESTORS OF LAREDO, a Texas General Partnership.

(L.S.)


NOTARY PUBLIC, STATE OF TEXAS
SUZANNE FERN CARREJO
MY COMMISSION EXPIRES: 7-31-88

1073 PAGE 569



Richard A. Chamberlain,
DrPH, MPH, CPHA, CPM, CHW, RS
Director of Public Health

Subject: Request for Conditional Use Permit Change

From: Police Substation

To: Animal Services Substation with 3–5 Outdoor Kennels

To Whom It May Concern:

We respectfully request a change in the conditional use permit for the property currently designated for a police substation. We propose to repurpose this location as an Animal Services Substation, which will include 3 to 5 outdoor kennels for temporary animal containment.

Purpose of Change:

This substation will significantly improve animal control response times in the surrounding area, which currently records the highest volume of animal-related service calls. Having a local base will allow officers and animal service staff to respond more quickly and efficiently, ensuring community safety and animal welfare. The existing building will service as office areas for up to 3 animal services officers.

Operational Notes:

- The facility will not house animals overnight.
- The outdoor kennels will be used only for short-term, temporary holding of animals during active field operations.
- No long-term boarding or sheltering will occur on-site.
- The property will remain staffed and monitored during operational hours to ensure proper animal care and noise management.

We believe this change supports the public interest and improves essential services in a high-need area, while maintaining neighborhood compatibility.

Thank you for your consideration.

Sincerely,

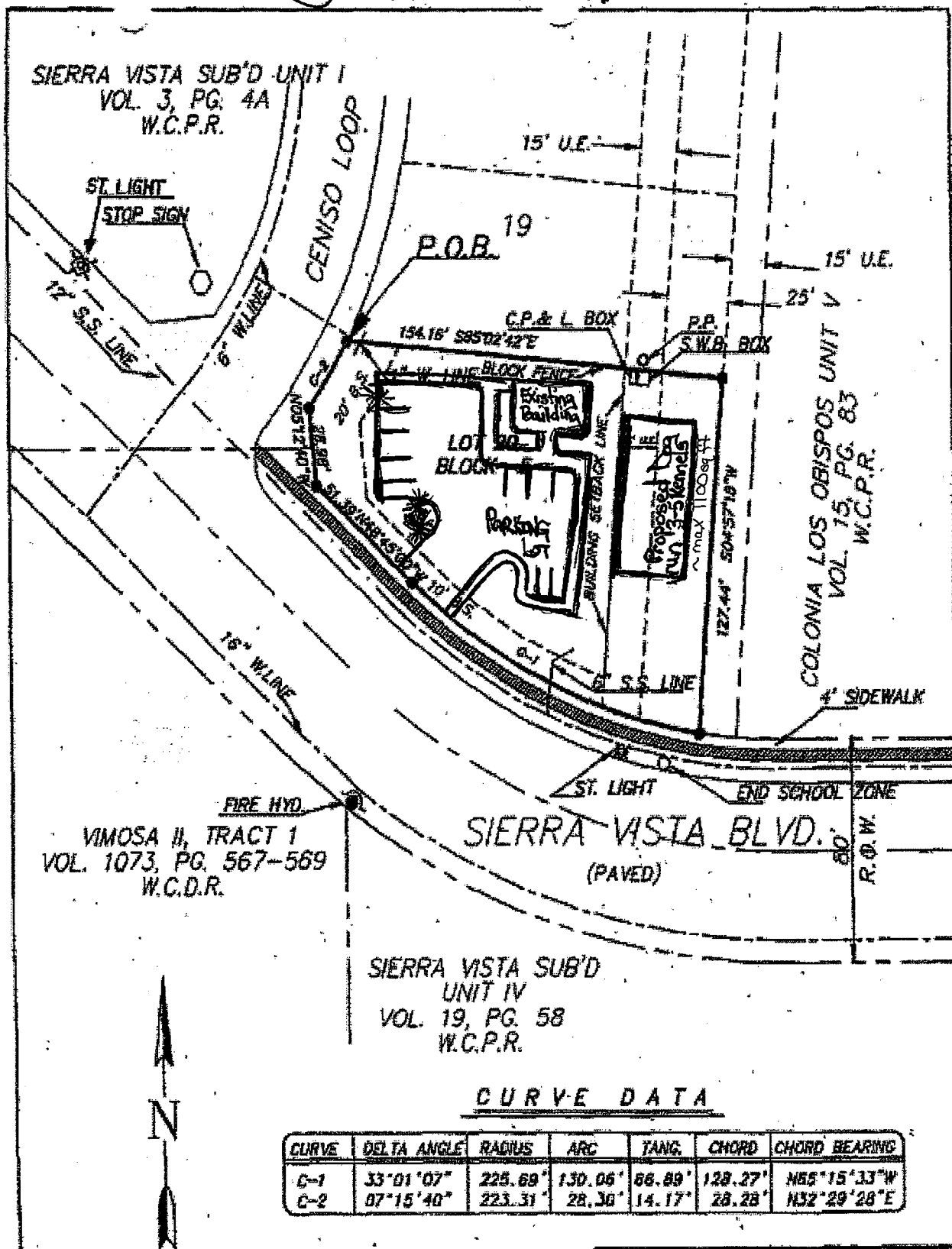
Lauren C. Bluestone
Assistant Director, Laredo Animal Care Services

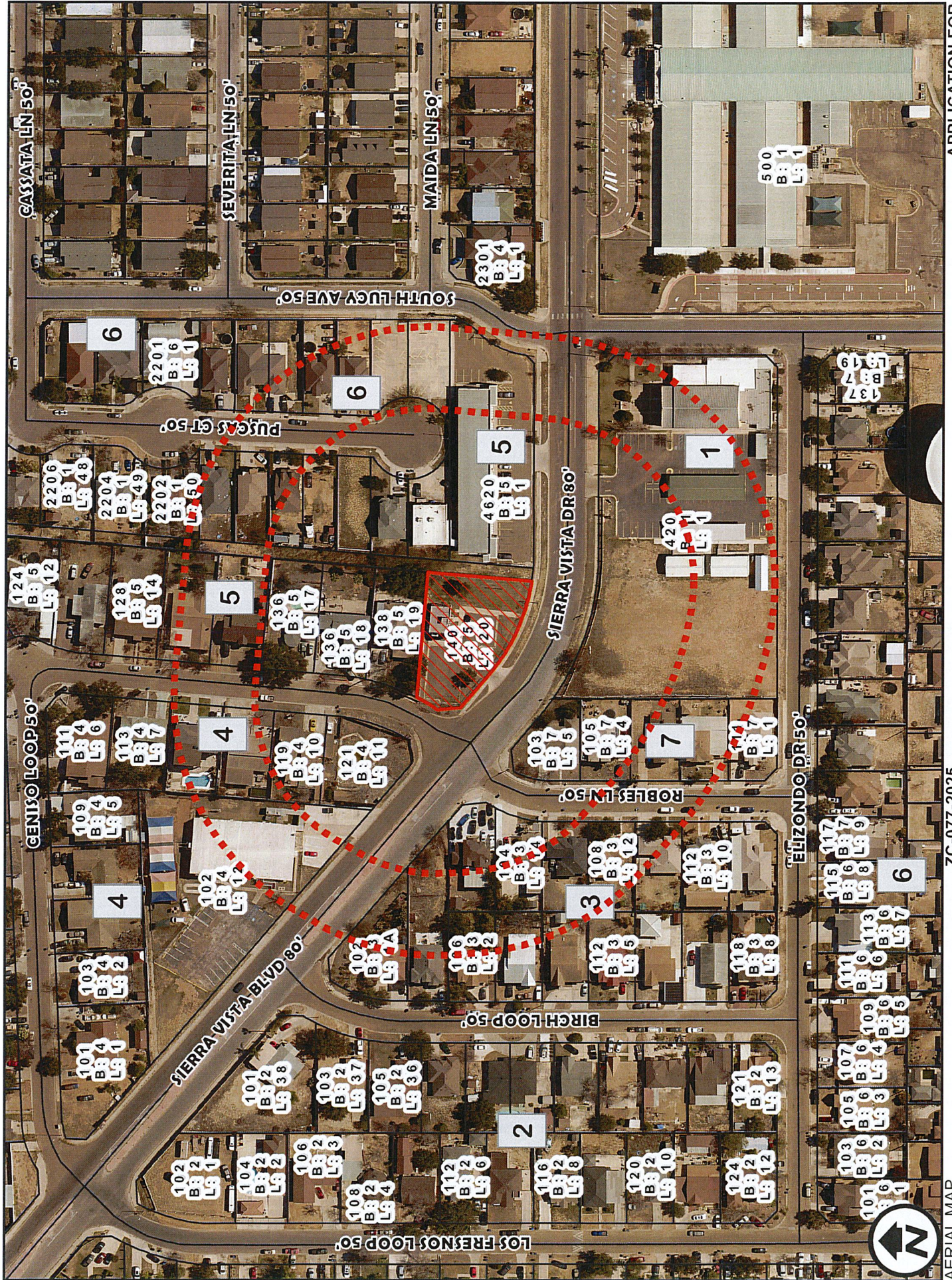
2600 Cedar Ave.
Laredo, TX 78040
956-795-4900

www.cityoflaredo.com/health
clhd@ci.laredo.tx.us



SITE PLAN

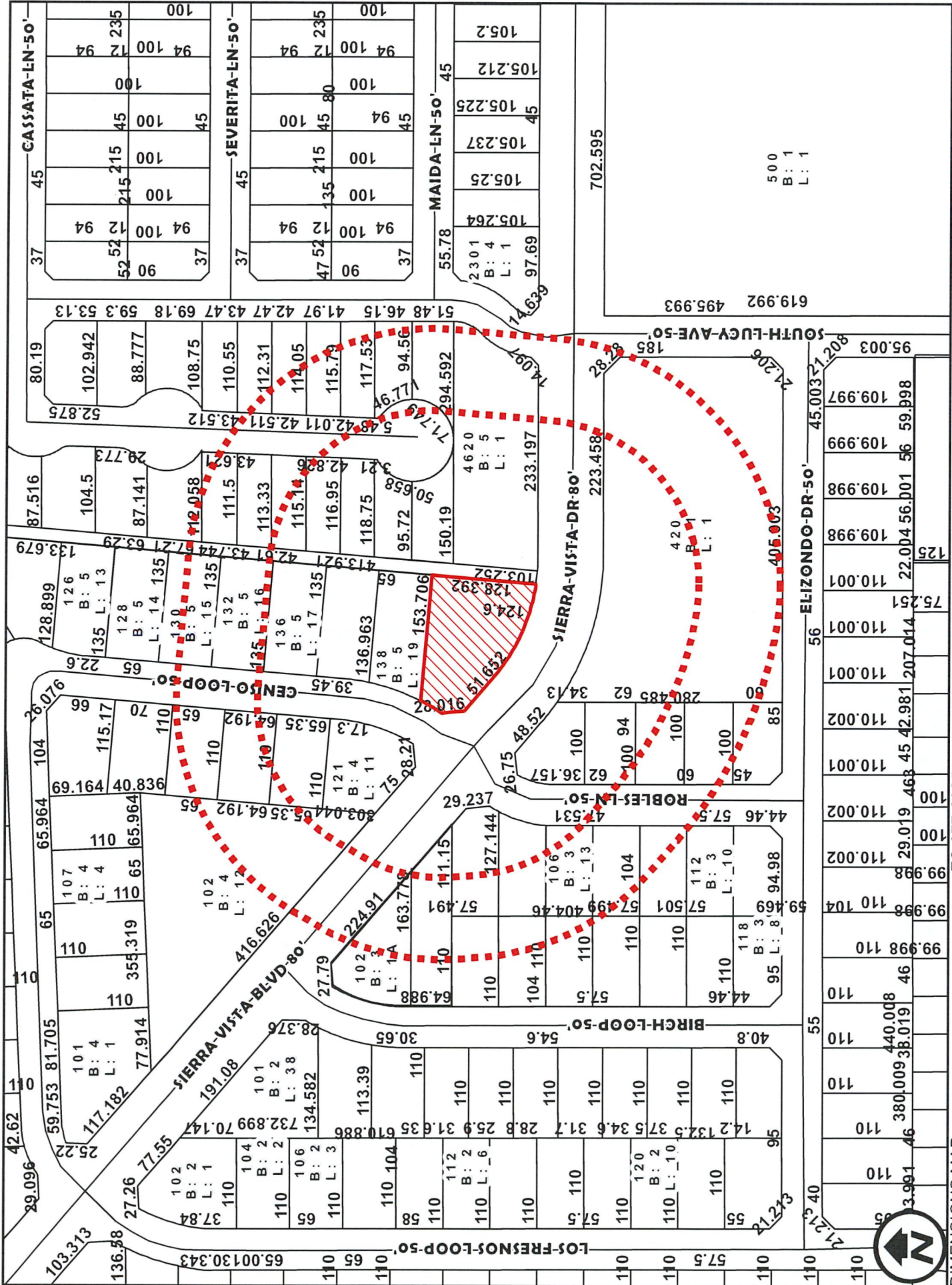




APPLICATION FOR
R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

ZC-077-2025
COUNCIL DISTRICT 1
140 CENISO LOOP

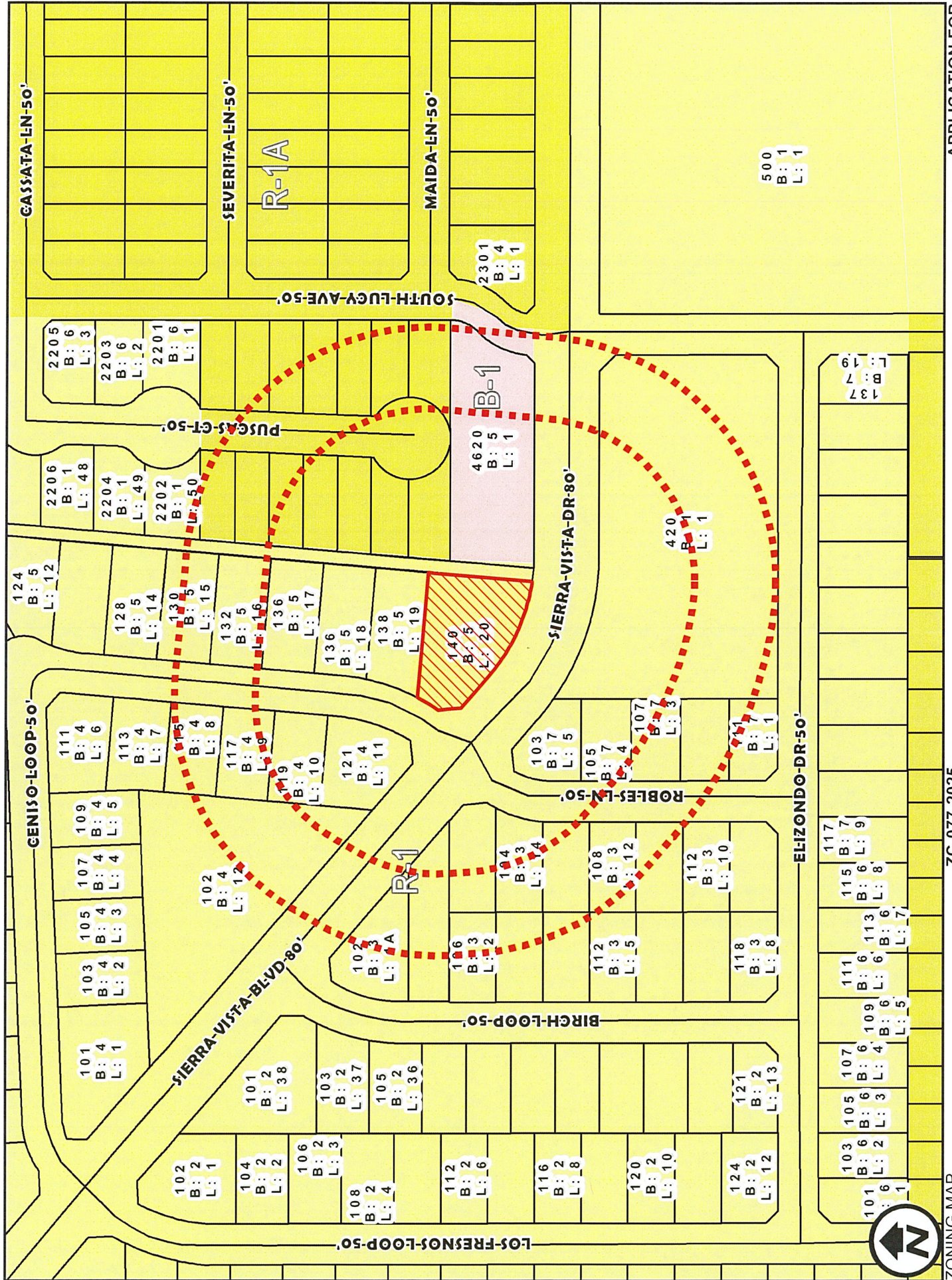
AERIAL MAP
1 inch = 150 feet
274



APPLICATION FOR
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
 C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

ZC-077-2025
 COUNCIL DISTRICT 1
 140 CENISO LOOP

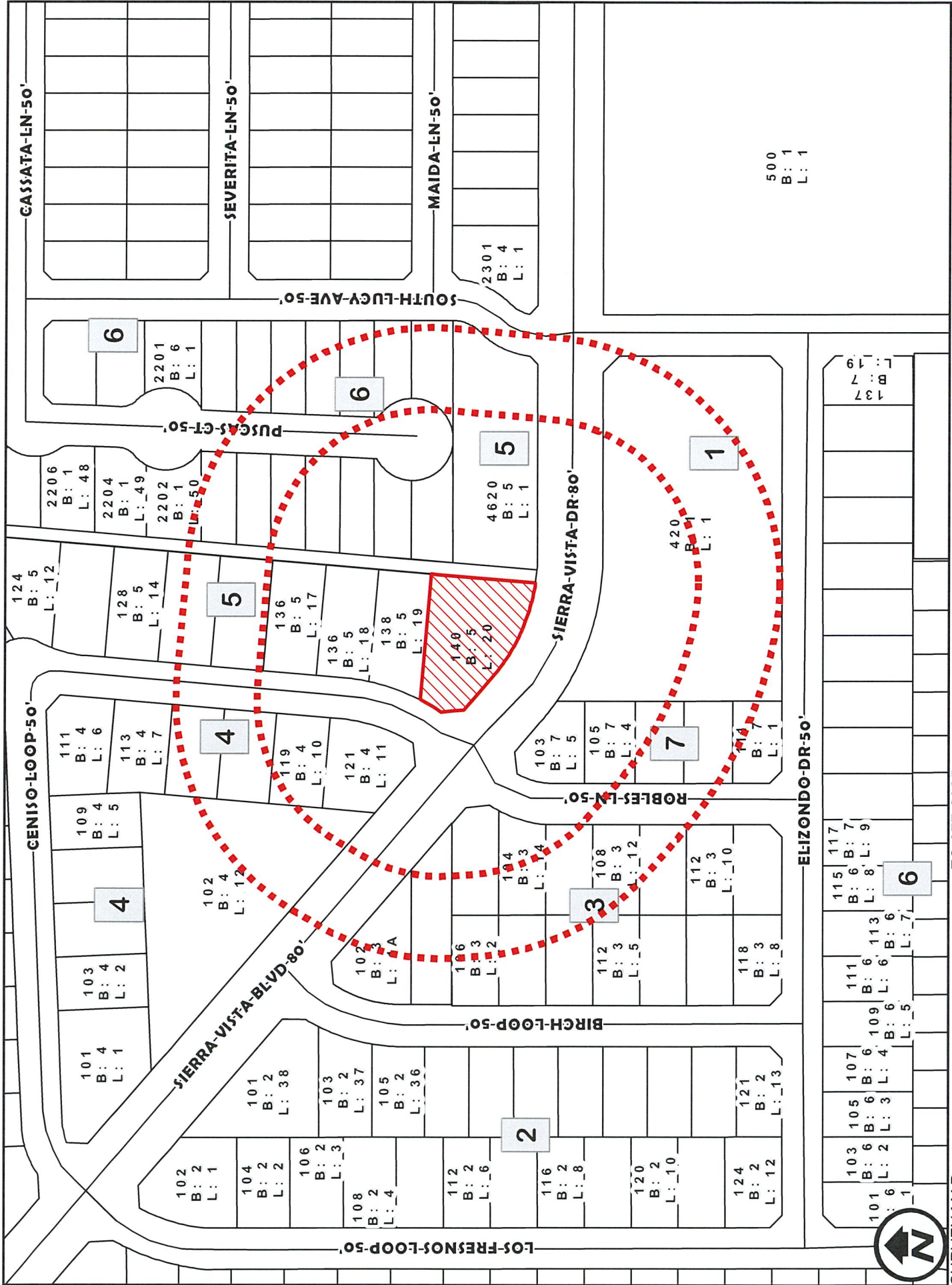
DIMENSIONS MAP
 1 inch = 150 feet



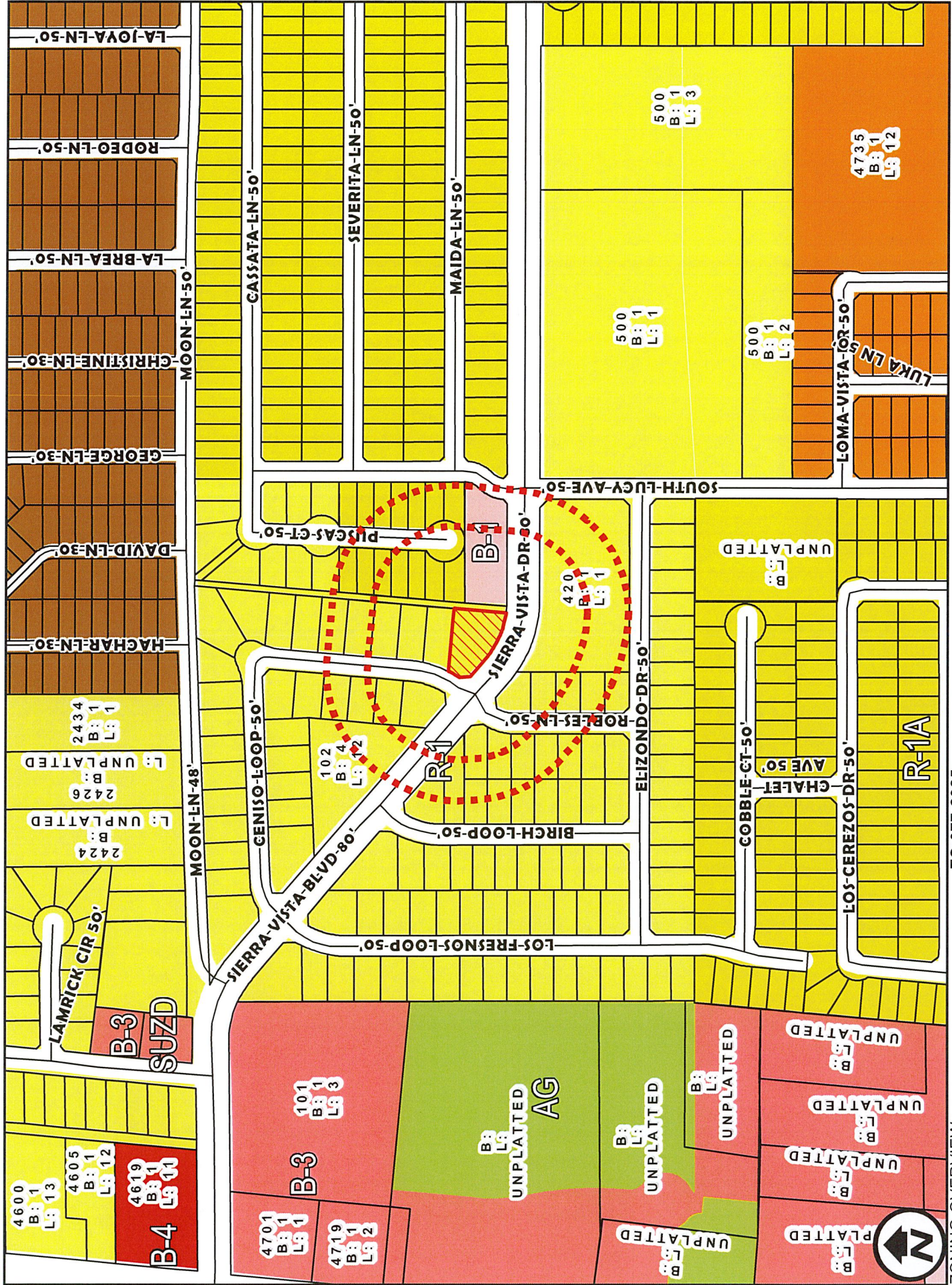
APPLICATION FOR
R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

ZC-077-2025
COUNCIL DISTRICT 1
140 CENISO LOOP

ZONING MAP
1 inch = 150 feet
276



SURVEY MAP
 ZC-077-2025
 COUNCIL DISTRICT 1
 140 GENISO LOOP
 APPLICATION FOR
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
 C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)
 1 inch = 150 feet
 277



APPLICATION FOR
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
 C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

ZC-077-2025
 COUNCIL DISTRICT 1
 140 CENISO LOOP

ZONING OVERVIEW
 1 inch = 300 feet
 278

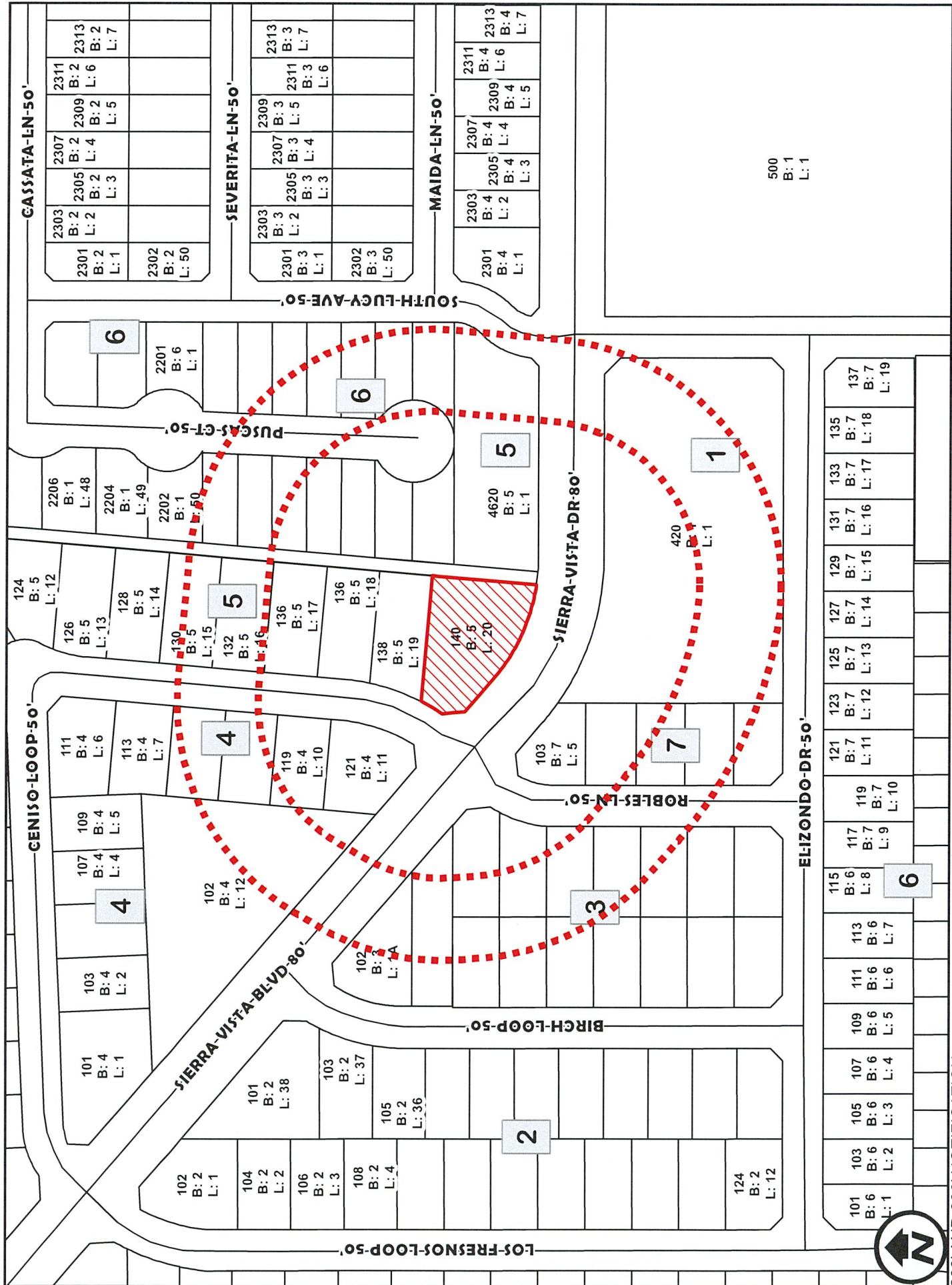


APPLICATION FOR
R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO
C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

ZC-077-2025
COUNCIL DISTRICT 1
140 CENISO LOOP

FUTURE LANDUSE
1 inch = 150 feet
279





200' AND 300' NOTIFICATION

ZC-077-2025

COUNCIL DISTRICT 1

140 CENISO LOOP

APPLICATION FOR

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO

C.U.P. AMENDMENT FOR ANIMAL CARE SUBSTATION (OFFICE)

280

1 inch = 150 feet



City Council-Regular Meeting

Date: 11/3/2025

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: City of Laredo, Owner; Lauren Bluestone, Applicant/Representative

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

2025-O-223 amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2000-O-026, which authorized a conditional use permit for a Police Substation Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to change the use of the property to an Animal Care Substation (Office).

ZC-077-2025

District I

PREVIOUS COUNCIL ACTION

On October 20, 2025, City Council introduced the item.

On February 7, 2000, City Council approved the conditional use permit for a Police Substation.

BACKGROUND

Council District: I – Cm. Gilberto Gonzalez

Proposed use: The proposed use is an Animal Care Substation (Office).

- The facility will serve as an administrative and operational hub to support animal care services. Its primary function will be office-based. While it will be associated with the City’s animal care functions, the site is not intended to serve as a public shelter, adoption center, or boarding facility. Instead, its use is focused on administrative support with limited on-site activity, ensuring compatibility with the surrounding zoning and land uses. (See attached Narrative).

Minimum Zoning District Required for Proposed Use: R-O (Residential Office District) zoning district

Current Zoning District: The site is currently zoned as a R-1 (Single Family Residential District) zoning district.

Site: The site is occupied by vacant building.

Surrounding land uses: To the north of the site is residential uses. To the east of the site is residential uses, Triumph Public High School - Laredo South, and Lucy Avenue. To the south of the site is Sierra Vista Boulevard, vacant land, residential uses, and Nuestra Señora Del Rosario Catholic Church. To the west of the site is Ceniso Loop, Webb County of Sierra Vista, and residential uses.

Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies Sierra Vista as a Minor Arterial and Ceniso Loop as a local street.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 29

Inside 200' Radius: In Favor: 0 Opposed: 0

Outside 200' Radius: In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a 7 to 0 vote recommended **approval** of the conditional use permit amendment.

STAFF RECOMMENDATION

A Conditional Use Permit is intended to provide for those land uses where additional regulation is necessary to protect the property and surrounding area. It is primarily intended for property located in older section of the city and is intended to promote development and/or redevelopment of such property, which is consistent with the land use patterns of surrounding property.

Staff **supports** the proposed conditional use permit amendment for the following reasons:

1. The primary use of the location is for office use only. Therefore, it is not anticipated to be a nuisance to the surrounding area or neighborhood.
2. The proposed use meets the required parking requirement as per the Laredo Land Development Code Section 27.78.3.
 - Total parking spaces required for the proposed office = 4 parking spaces
 - Actual amount identified on site plan = 12 parking spaces
 - Therefore, the proposed site meets the required parking spaces.

However, staff does not support outdoor animal confinement. Outdoor kennels may be anticipated to have a negative impact to the surrounding neighborhood and area as it creates a noise and odor nuisance. The surrounding area is a primarily residential.

General Comments:

1. The approval of the conditional use permit does not guarantee the issuance of the building permit.
2. The use authorized by the conditional use permit is required to abide by all relevant municipal codes.

If approved, Staff suggests the following conditions

1. The primary use shall serve as an Animal Care Substation Office.
2. The Conditional Use Permit is restricted to Exhibit A, which is made part hereof for all purposes.
3. The kennel structure shall consist of a single large enclosure, as shown in the attached Exhibit A.
4. The kennel structure shall consist of a combination of indoor and outdoor enclosures. One (1) indoor enclosure and one (1) outdoor enclosure shall be considered as one (1) kennel.
5. The use of each kennel shall be limited to one (1) animal at a time, with a maximum of four (4) kennels permitted in total. An exception shall apply in the case of a mother with her litter, which will be considered as one (1) animal.
6. Animal confinement shall be restricted to the indoor enclosure. There shall be no more than four (4) animals on site, with the exception of a mother with their litter, which will be considered as one (1) animal.
 - As per Article III – Small Animals and Fowl, Section 6-42. (5) states, “It is unlawful for a person to keep five (5) or more small animals or fowl, in any combination thereof, or any number of male chickens, within one hundred (100) feet of any residence, structure or building used for human habitation or any other lawful activity, other than the person's habitation or business premises.”
7. Kennels shall be sized and spaced appropriately to allow the animal to stand, turn around, and lie down in a natural position.
8. The proposed use shall not house animals overnight. Long-term boarding or sheltering shall be prohibited on site.
9. The outdoor enclosure of the kennel shall be used for animal relief accommodations purposes only. Outdoor confinement shall be prohibited.
10. The kennel structure location shall not abut the residential property to the north.
11. The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, and any other similar conditions.
12. The property shall remain staffed and monitored during operational hours to ensure proper animal care and safety, only if there are animals on premise.
13. Waste removal and soiled bedding shall be disposed of promptly and properly to control odor and diseases.
14. There shall be adequate ventilation systems on site.
15. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.
16. Landscaping shall be provided and maintained for the complete duration in accordance with the City of Laredo Land Development Code.

17. The owner shall provide an opaque fence or wall of not less than 7 (seven) feet in height along any side or rear property lines which abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums or residential townhomes shall be similarly screened irrespective of which zoning district they occur in.
18. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
19. Signage shall be consistent with the City's Sign Ordinance.
20. On-site parking shall be provided in accordance with the City of Laredo Land Development Code.
21. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.
22. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
23. The proposed use shall undergo an annual Fire Inspection.
24. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.
25. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.
26. The use authorized by the conditional use permit is required to abide by all relevant municipal codes.

Staff **supports** the application.

Is this change contrary to the established land use pattern?

There are no similar uses in the area. There are residential uses to the north, east, south, and west of the site..

Would this change create an isolated zoning district unrelated to surrounding districts?

No, the zone will not change.

Will change adversely influence living conditions in the neighborhood?

It may be anticipated to have a negative impact to the surrounding neighborhood and area.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing R-1 does not allow for Animal Care Substation (Office) as intended by the applicant.

Attachments

Maps

Site Plan

Narrative

Ordinance No. 2000-O-026

Final Ordinance

City of Laredo

Legislation Details (With Text)

File #: 2025-O-223 **Version:** 1
Type: Final Readings **Status:** Agenda Ready
File created: 10/21/2025 **In control:** City Council
On agenda: 11/3/2025 **Final action:**
Title: An Ordinance of the City of Laredo, Texas, amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2000-O-026, which authorized a conditional use permit for a Police Substation Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to change the use of the property to an Animal Care Substation (Office).

ZV-077-2025
District I

Sponsors:
Code sections:
Attachments: 1. ZC-077-2025 - Final Staff Report, 2. ZC-077-2025 - Maps, 3. ZC-077-2025 - Site Plan, 4. ZC-077-2025 - Narrative, 5. Ordinance No. 2000-O-026, 6. ZC-077-2025 - Comp Plan Alignment, 7. Final Ordinance - ZC-077-2025

Date	Ver.	Action By	Action	Result
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SUBJECT

An Ordinance of the City of Laredo, Texas, amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance Number 2000-O-026, which authorized a conditional use permit for a Police Substation Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to change the use of the property to an Animal Care Substation (Office).

ZV-077-2025
District I

Council District: District 1 **Zone Case:** ZC-077-2025

Letters sent to property owners: 29

In Favor (within 200 radius): 0
Opposed (within 200 radius): 0

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning & Zoning Commission in a 7 to 0 vote recommended approval of the conditional use permit amendment.

STAFF RECOMMENDATION - Supports
Staff supports the application.

City Council Agenda Item ZC-057-2026, proposing an amendment to Ordinance No. 2025-O-223 to allow an **Animal Care Substation with indoor and outdoor animal confinement** at 140 Ceniso Loop

1. Level of Alignment

- Strong
 Moderate – Indirectly supports or contributes to the intent of a verbatim goal or policy.
 Weak/None
-

2. Supporting Goal(s)/Policy(ies)

Goal 7.1

“All residents have access to a variety of health services that support their well-being.”

Page 321

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed Animal Care Substation supports community well-being through the intake, care, and placement of stray animals. The facility contributes to public health and neighborhood safety by addressing animal control and welfare needs within the community.

Policy 6.1.1

“Encourage development that is compatible with surrounding land uses and contributes to a cohesive urban form.”

Page 285

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposal introduces expanded animal confinement activities within a predominantly residential area. While compatibility concerns exist due to surrounding residential uses and a nearby public high school, the Conditional Use Permit overlay imposes operational limitations, buffering, noise reduction, fencing, and screening requirements intended to mitigate impacts and improve compatibility.

Goal 1.1

“Encourage the efficient use of land and resources in Laredo through appropriate infill, redevelopment, and coordinated growth patterns.”

Page 45

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The amendment represents the continued use and modification of an existing governmental/community service facility within an already developed urban area, supporting efficient land utilization and reinvestment rather than outward expansion.

3. Summary of Alignment

The proposed amendment to allow indoor and outdoor animal confinement at the existing Animal Care Substation demonstrates **moderate alignment** with the *Viva Laredo Comprehensive Plan*. The request supports broader public welfare objectives under **Goal 7.1** by providing enhanced animal care, intake, and placement services that contribute to neighborhood safety, public health, and animal welfare.

The proposal also aligns with **Goal 1.1** through the adaptive reuse and intensification of an existing public service facility within a developed area. Additionally, the Conditional Use Permit framework and accompanying operational conditions—including noise reduction measures, fencing, landscaping, limitations on outdoor confinement, and restrictions on overnight boarding—attempt to address compatibility concerns in accordance with **Policy 6.1.1**.

However, the Future Land Use Map identifies the area as **Low Density Residential**, and the staff report acknowledges that the expanded use “may be anticipated to have a negative impact to the surrounding neighborhood and area.” The proximity to residential neighborhoods, a public high school, and a church limits full consistency with the Comprehensive Plan’s compatibility objectives.

The proposal intersects with broader planning themes including **public safety, community services, animal welfare, and land use compatibility**.

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE MAP OF THE CITY OF LAREDO BY AMENDING ORDINANCE NUMBER 2025-O-223, WHICH AUTHORIZED A CONDITIONAL USE PERMIT FOR AN ANIMAL CARE SUBSTATION (OFFICE) ON LOT 20, BLOCK 5, SIERRA VISTA POLICE STATION PLAT, LOCATED AT 140 CENISO LOOP IN ORDER TO CONVERT THE APPROVED OFFICE USE INTO AN ANIMAL CARE SUBSTATION WITH INDOOR AND OUTDOOR ANIMAL CONFINEMENT; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a request has been received to amend the Executed Ordinance Number 2025-O-223, which authorized a conditional use permit for an Animal Care Substation (Office) on Lot 20, Block 5, Sierra Vista Police Station Plat, located at 140 Ceniso Loop in order to convert the approved office use into an Animal Care Substation with indoor and outdoor animal confinement.; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the issuance of the Conditional Use Permit Amendment; and,

WHEREAS, notice of the Conditional Use Permit request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026, on the request and finds the Conditional Use Permit appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo be and is hereby amended by amending Ordinance Number 2025-O-223, which authorized a conditional use permit for an Animal Care Substation (Office) on Lot 20, Block 5, Sierra Vista Police Station Plat, located

at 140 Ceniso Loop in order to convert the approved office use into an Animal Care Substation with indoor and outdoor animal confinement.

Section 2: The Conditional Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. The primary use shall serve as an Animal Care Substation (~~Office~~).
2. The Conditional Use Permit is restricted to Exhibit A, which is made part hereof for all purposes.
3. The kennel structure shall consist of a single large enclosure, as shown in the attached Exhibit A, up to a total of 880 square feet.
4. The kennel structure shall consist of a combination of indoor and outdoor enclosures. One (1) indoor enclosure and one (1) outdoor enclosure shall be considered as one (1) kennel.
5. The use of each kennel shall be limited to one (1) animal at a time, with a maximum of ~~four (4)~~ fourteen (14) kennels permitted in total. An exception shall apply in the case of a mother with her litter, which will be considered as one (1) animal.
6. There shall be no more than ~~four (4)~~ fourteen (14) animals on site, with the exception of a mother with their litter, which will be considered as one (1) animal.
7. Kennels shall be sized and spaced appropriately to allow the animal to stand, turn around, and lie down in a natural position.
8. ~~The proposed use shall not house animals overnight. Long term boarding or sheltering shall be prohibited on site.~~
9. ~~The outdoor enclosure of the kennel shall be used for animal relief accommodations purposes only. Outdoor confinement shall be prohibited. Outdoor confinement of animals shall be permitted only between the hours of 8:00 a.m. and 5:00 p.m. All animals shall remain indoors after 5:00 p.m.~~
10. The kennel structure location shall not abut the residential property to the north.
11. The operating characteristics of the use shall not create a nuisance and the impacts of the use on surrounding properties shall be minimized with respect to noise, odors, and any other similar conditions.
12. ~~The property shall remain staffed and monitored during operational hours to ensure proper animal care and safety, only if there are animals on premise.~~
13. Waste removal and soiled bedding shall be disposed of promptly and properly to control odor and diseases.
14. There shall be adequate ventilation systems on site.
15. Lighting of property shall be screened to avoid adverse impact on adjacent residential neighborhoods.
16. Landscaping shall be provided and maintained for the complete duration in accordance with the City of Laredo Land Development Code.

17. The owner shall provide an opaque fence or wall of not less than 7 (seven) feet in height along ~~any side or rear property lines which~~ the east side property line and not less than 6 (six) feet in height along the north property line where such property lines abut or adjoin property containing a residential use or residential zoning district. Apartment complexes, residential condominiums, or residential townhomes shall be similarly screened irrespective of the zoning district in which they occur.
18. The establishment must make provisions to keep litter (trash) to a minimum, and to keep it from blowing onto adjacent streets and properties.
19. Signage shall be consistent with the City's Sign Ordinance.
20. On-site parking shall be provided in accordance with the City of Laredo Land Development Code.
21. The proposed use shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to the CUP business holder.
22. The proposed use shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
23. The proposed use shall undergo an annual Fire Inspection.
24. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to: a. Food Manager License (annual), b. Food Handler's Permit (annual), c. Certificate of Occupancy with Occupant Load. Occupant Load being the approved capacity of a building or portion thereof.
25. Owner shall comply with Building, Health, Safety, Fire, Environmental, and all applicable codes and regulations as required.
26. The use authorized by the conditional use permit is required to abide by all relevant municipal codes.
27. Indoor animal kennels shall have noise reduction.

Section 3: This ordinance shall be published in a manner provided by Section 2.09(D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

Section 5: The Conditional Use Permit authorized by this ordinance shall be revoked pursuant to the Laredo Land Development Code, section 24.94.10, entitled "Revocation," according to the criteria and procedures described therein.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY
APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 27.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 881, Eastern Division, located at 1600 Clark Boulevard, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

The Planning and Zoning Commission recommended denial of the proposed zone change. However, staff supports the application.

Pursuant to Section 211.0061 of the Texas Local Government Code, approval of this zoning request requires a supermajority vote of three-fourths (3/4) of the City Council due to a valid protest petition having been filed. Accordingly, a favorable vote by at least three-fourths of all members of the governing body is required for approval of the proposed zoning change.

ZC-053-2026
District IV

Council District: District 4 **Zone Case:** ZC-053-2026

Letters sent to property owners: 29

In Favor (within 200 radius): 0
Opposed (within 200 radius): 11

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 31

COMMISSION RECOMMENDATIONS - Deny

The Planning and Zoning Commission in a 7 to 0 vote recommended denial of the zone change.

STAFF RECOMMENDATION - Supports

Staff supports the application.

ZC-053-2026 – Comprehensive Plan Alignment

1. Level of Alignment

Weak/None – Lacks identifiable alignment or conflicts with existing verbatim goals or policies.

2. Supporting Goal(s)/Policy(ies)

Future Land Use – Low Density Residential

“Low Density Residential includes R-1, R-1MH, R-1A, R-1B, R-S, B-1R, and R-O with exceptions.”

Page 1.9

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The subject property is designated **Low Density Residential** on the Future Land Use Map. The proposed rezoning from **R-1 (Single Family Residential District)** to **B-1 (Limited Business District)** is not expressly included within the Low Density Residential designation, except for limited B-1R and R-O exceptions. Therefore, the request is not fully consistent with the Comprehensive Plan’s prescribed land use framework.

Growth and Development Consistency

“Promote orderly growth and development that is consistent with the Future Land Use Map.”

Page 1.5

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The requested rezoning introduces a commercial zoning classification into an area designated for low-density residential development. Although commercial uses exist nearby, the proposal does not directly align with the adopted Future Land Use designation.

Transportation and Land Use Coordination

“Coordinate land use and transportation planning by locating higher intensity uses along arterial and collector streets.”

Page 1.6

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The site fronts **Clark Boulevard**, which the Long Range Thoroughfare Plan identifies as a **Modified Principal Arterial**, and also abuts Meadow Avenue, a **Major Collector**. The location along high-traffic corridors supports the appropriateness of more intensive uses from a transportation and access standpoint.

Land Use Compatibility Policy

“Encourage land use patterns that promote compatibility between adjacent uses and minimize conflicts.”

Page 1.6

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The surrounding area contains a mixture of residential and limited commercial uses, including retail, medical office, daycare, and service uses. While the proposed B-1 zoning may be compatible with nearby commercial activity, the proposed gas station use introduces a more intensive commercial operation adjacent to residential neighborhoods, raising compatibility considerations.

3. Summary of Alignment

Agenda Item ZC-053-2026 demonstrates **Weak/None alignment** with the Viva Laredo Comprehensive Plan. Although the site is located along a **Modified Principal Arterial** and near existing neighborhood-scale commercial uses, the proposed rezoning from R-1 to B-1 conflicts with the property’s **Low Density Residential** Future Land Use designation. The designation does not contemplate standard B-1 commercial zoning districts except under limited exceptions not applicable to the request.

The proposal does support certain broader planning principles related to **transportation coordination, commercial access along arterial corridors, and adaptive reuse of a vacant commercial structure**. However, these considerations do not outweigh the inconsistency with the adopted Future Land Use Map. Additionally, the proposed gas station use introduces compatibility concerns due to the proximity of surrounding single-family residential development.

The agenda item intersects with broader planning themes including **mobility coordination, commercial corridor development, and land use compatibility**, but does not directly implement the Comprehensive Plan’s stated land use framework.

4. Additional Requirements

All cited goals and policies are quoted directly from the *Viva Laredo City of Laredo Comprehensive Plan*. Relevant verbatim policies supporting and limiting the proposed zoning action were identified and applied.

Conclusion:

The proposed rezoning under Agenda Item ZC-053-2026 demonstrates **Weak/None alignment** with the Viva Laredo Comprehensive Plan.

City Council-Regular Meeting

Date: 06/15/2026
Initiated By: Ramon Chavez, Assistant City Manager
Initiated By: The Student Alternatives Program, Inc., Owner; Jairo Romeo - Lasco Development, Applicant; Andres Rubio, Representative
Staff Source: Vanessa Guerra, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 881, Eastern Division, located at 1600 Clark Boulevard, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

The Planning and Zoning Commission recommended **denial** of the proposed zone change. However, staff **supports** the application.

Pursuant to Section 211.0061 of the Texas Local Government Code, approval of this zoning request requires a supermajority vote of three-fourths (3/4) of the City Council due to a valid protest petition having been filed. Accordingly, a favorable vote by at least three-fourths of all members of the governing body is required for approval of the proposed zoning change.

ZC-053-2026 District IV

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

Council District: VI - Cm. Dr. David Tyler King

Proposed use: The proposed use is a gas station.

Site: The site is currently a vacant commercial building.

Surrounding land uses: To the north of the site is Clark Boulevard, single family residential uses, O’Kane Street, Stripes, Show it Signs (Sign Shop-retail), the Dog House Pet Grooming, and Oriental Acupuncture, and apartments. To the east of the site is North Mendiola Avenue, Tapeyste Avenue, and primarily single-family residential uses. To the south of the site is Gustavus Street, Musser Street, single-family residential uses, and apartments. To the west of the site is North Meadow Avenue, single family residential uses, Lil’ Kidz Klub, commercial plaza that contains a Dr. Alvarez, MD - Family Practice Clinic, collectible shop (retail), pharmacy, and another commercial plaza that contains a Pronto’s Superette (grocery store/meat market), Alma’s Pet Care, and D’Martha Beauty Center, and apartments.

Comprehensive Plan: The Future Land Use Map recognizes this area as Low Density Residential.

https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39

Transportation Plan: The Long Range Thoroughfare Plan identifies Clark Boulevard as a Modified Principal Arterial, Meadow Avenue as a Major Collector, and Gustavus Street, and Mendiola Avenue as a Local Street..

www.laredompo.org/wp-content/uploads/

Letters sent to surrounding property owners: 29

Inside 200 feet:

In Favor: 0 Opposed: 11

Outside 200 feet:

In Favor: 0 Opposed: 31

The submitted protest satisfies the requirements of Texas Local Government Code § 211.0061(b)(2), as the protesting property owners represent at least 20 percent of the area of the lots or land immediately adjoining the area covered by the proposed zoning change and extending 200 feet from that area.

Based on the protest calculations, 6 of the 29 affected property owners within the 200-foot notification area are required to meet the statutory threshold. The protests received satisfy this requirement. Therefore, pursuant to Texas Local Government Code § 211.0061(b)(2), approval of the proposed zoning change requires the affirmative vote of seven (7) members of the governing body.

COMMITTEE RECOMMENDATION

The Planning and Zoning Commission in a 7 to 0 vote recommended denial of the zone change.

STAFF RECOMMENDATION

Staff supports the proposed zone change for the following reasons:

1. The proposed zone change is appropriate at this location, as the site abuts two high-traffic corridors, Meadow Avenue and Clark Boulevard.
2. Commercial uses are more compatible at this location than residential uses.
3. Although the proposed zone change is not in conformance with the Comprehensive Plan's designation as Low Density Residential (R-1, R-1-MH, R-1A, R-1B, R-S, B-1R, R-O with exceptions), there are existing B-1 zoning districts within the vicinity of the site.

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of the building permit and requires full compliance with all applicable municipal codes and regulations.

IMPACT ANALYSIS

B-1. The purpose of the B-1 limited business district is to provide for business and commercial development serving a limited geographic area or neighborhood.

Is this change contrary to the established land use pattern?

No. There are limited commercial uses with the vicinity of the proposed site, such as daycare, sign shop (retail), doctor's office, collectibles store (retail).

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The proposed zone will not create an isolated zoning district. There are B-3 zoning districts to the northwest and west of the site.

Will change adversely influence living conditions in the neighborhood?

No. The proposed zone change is not anticipated to have a negative impact with the surrounding area or neighborhoods since the proposed site is abutting Clark Boulevard, which is classified as a Modified Principal Arterial on the Long-Range Thoroughfare Plan.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

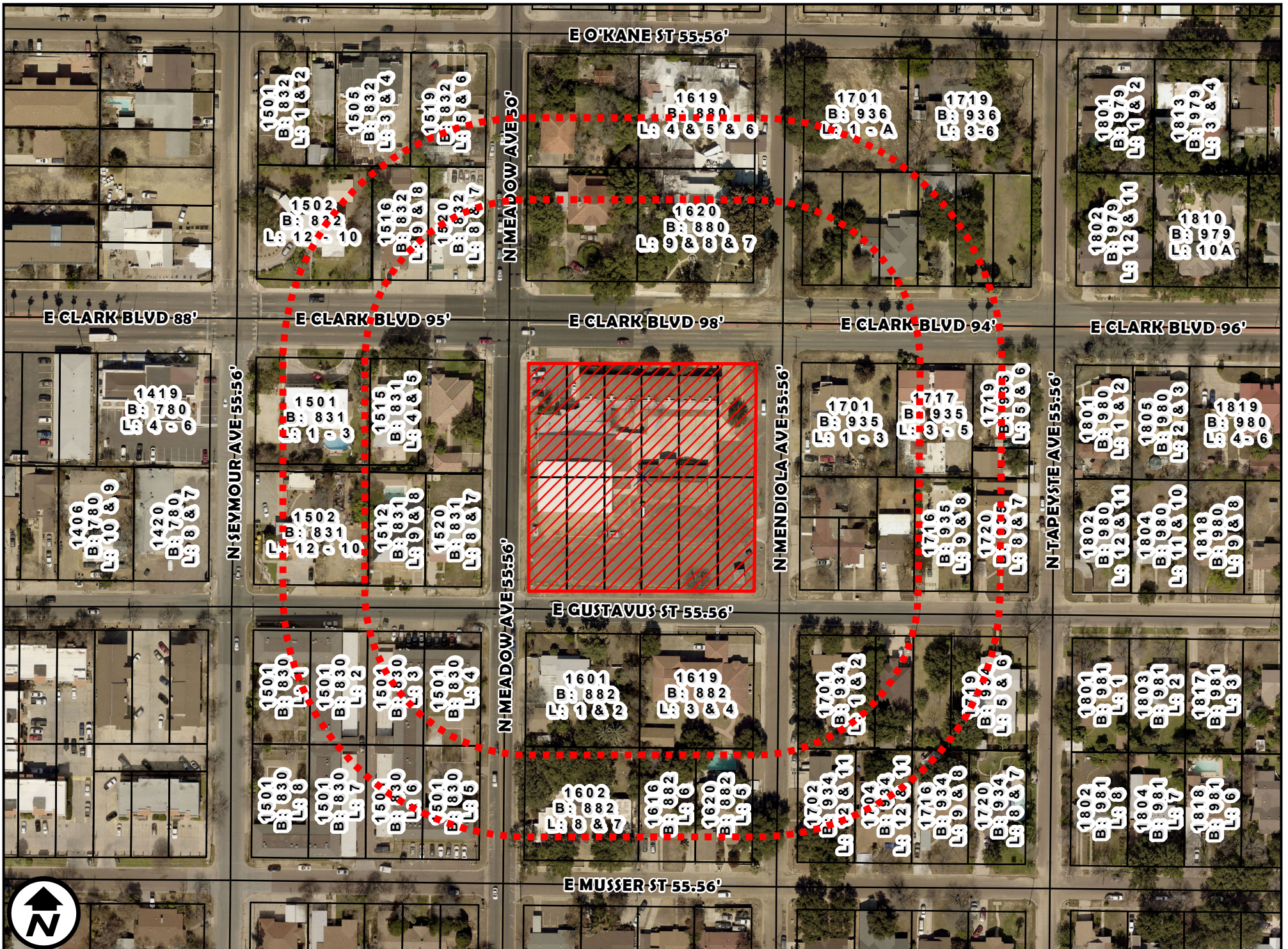
Yes. The existing zone does not allow for a gas station as intended by the applicant.

Attachments:

Comp Plan Alignment

Maps

Draft Ordinance

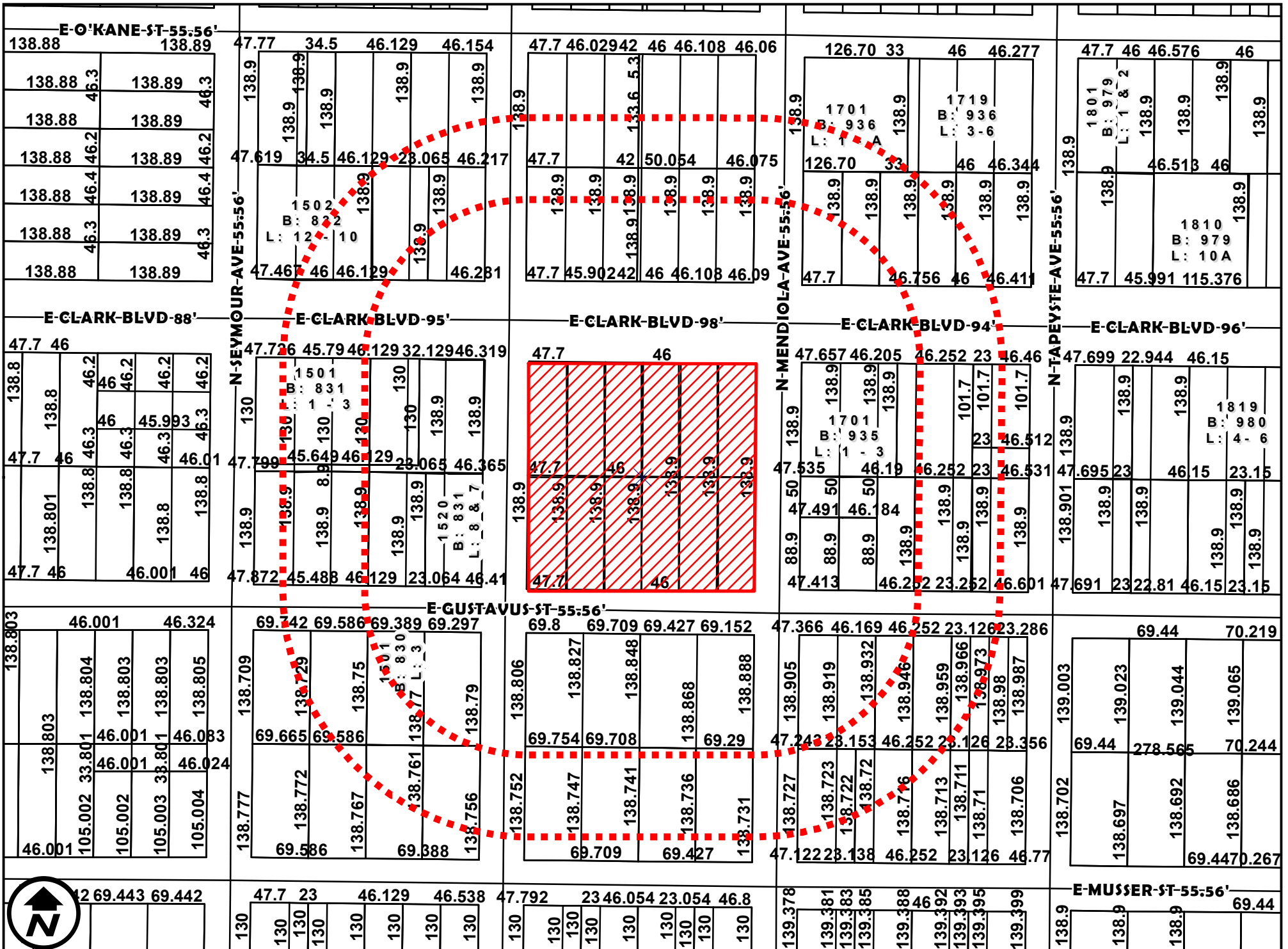


AERIAL MAP

1 inch = 150 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 301
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) ...
 B-1 (LIMITED BUSINESS DISTRICT)



DIMENSIONS MAP

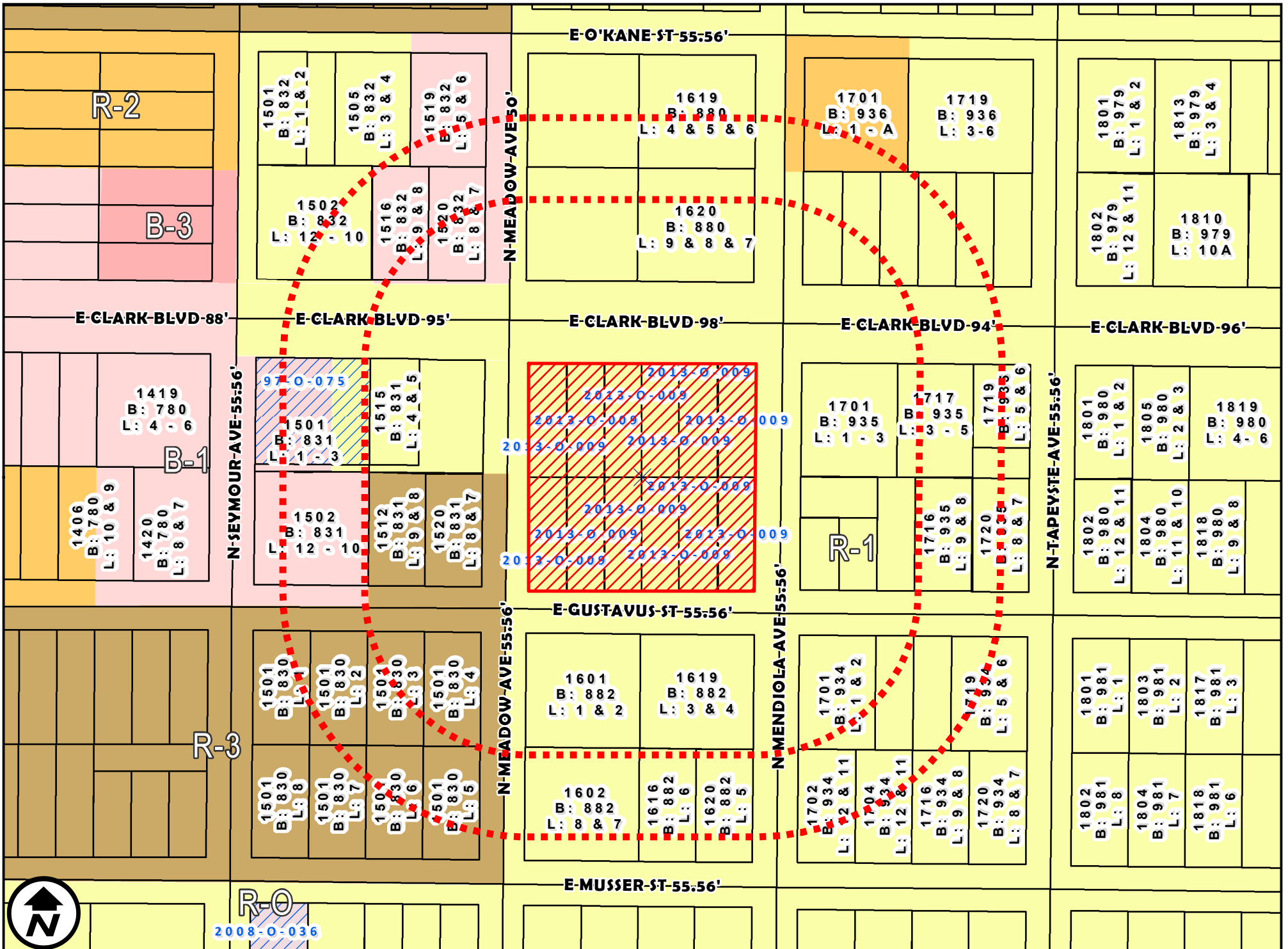
ZC-053-2026

APPLICATION F 302

1 inch = 150 feet

COUNCIL DISTRICT 4
1600 CLARK BOULEVARD

R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) B-1 (LIMITED BUSINESS DISTRICT)

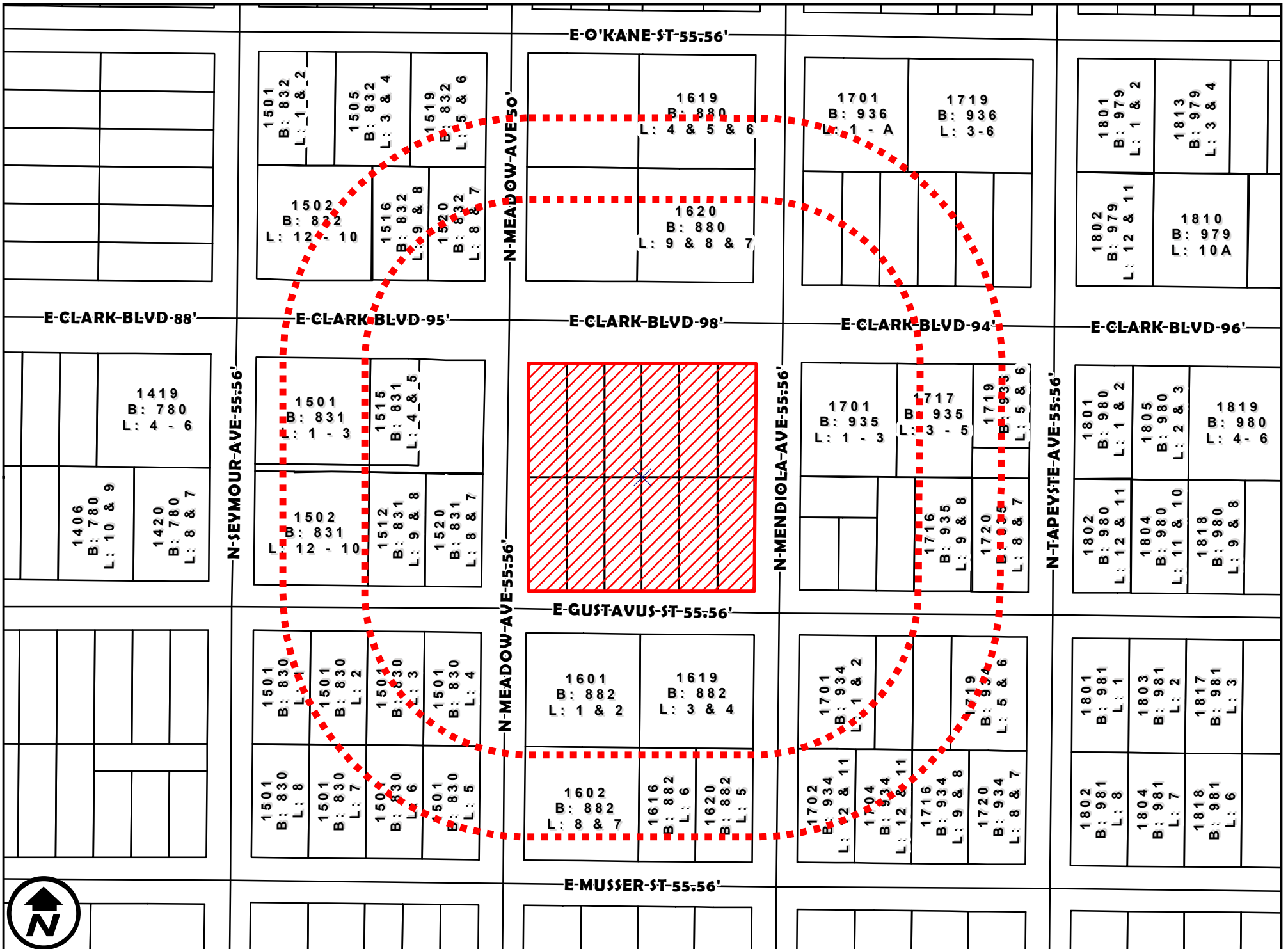


ZONING MAP

1 inch = 150 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 303
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)

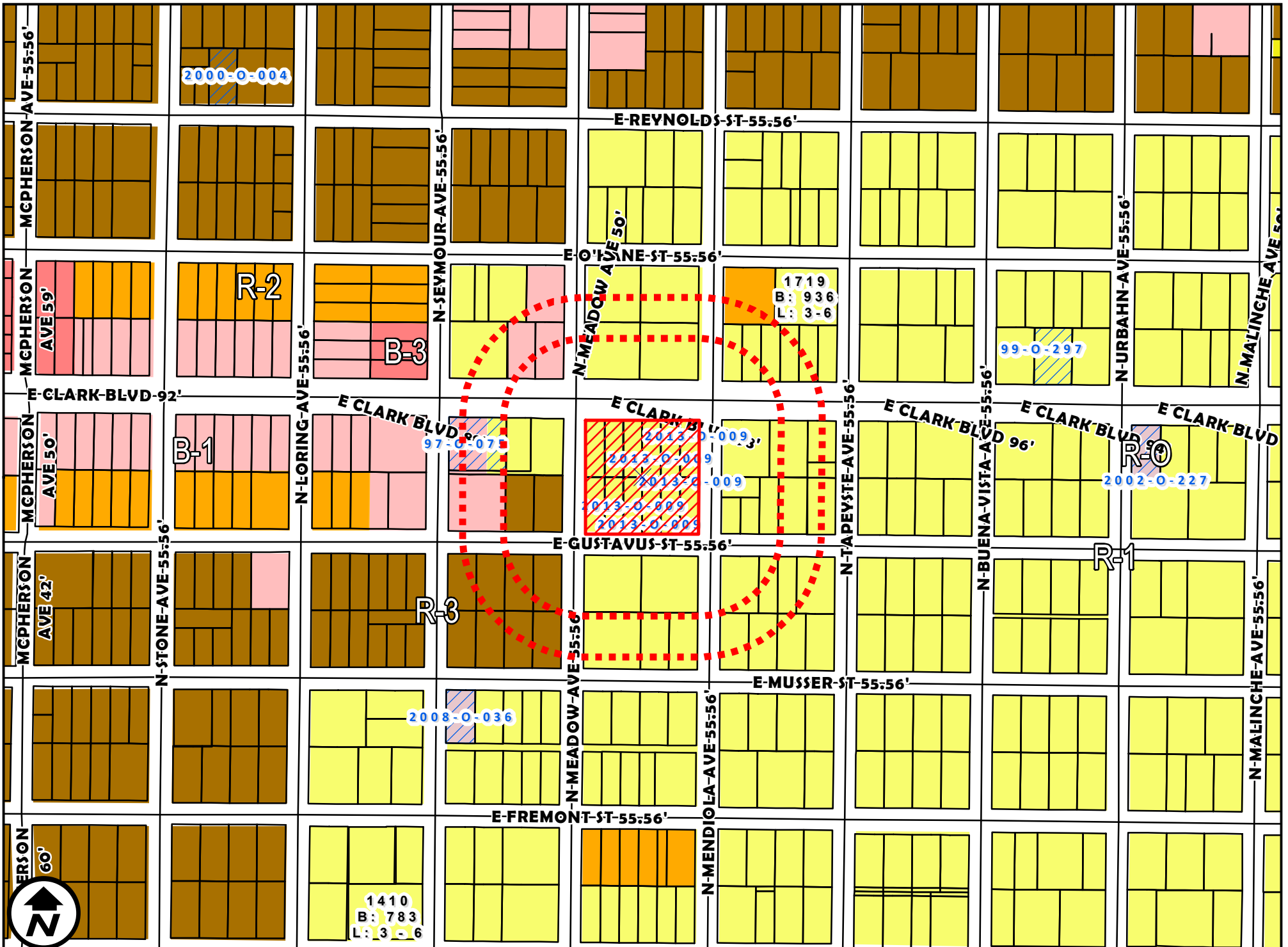


SURVEY MAP

1 inch = 150 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 304
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)

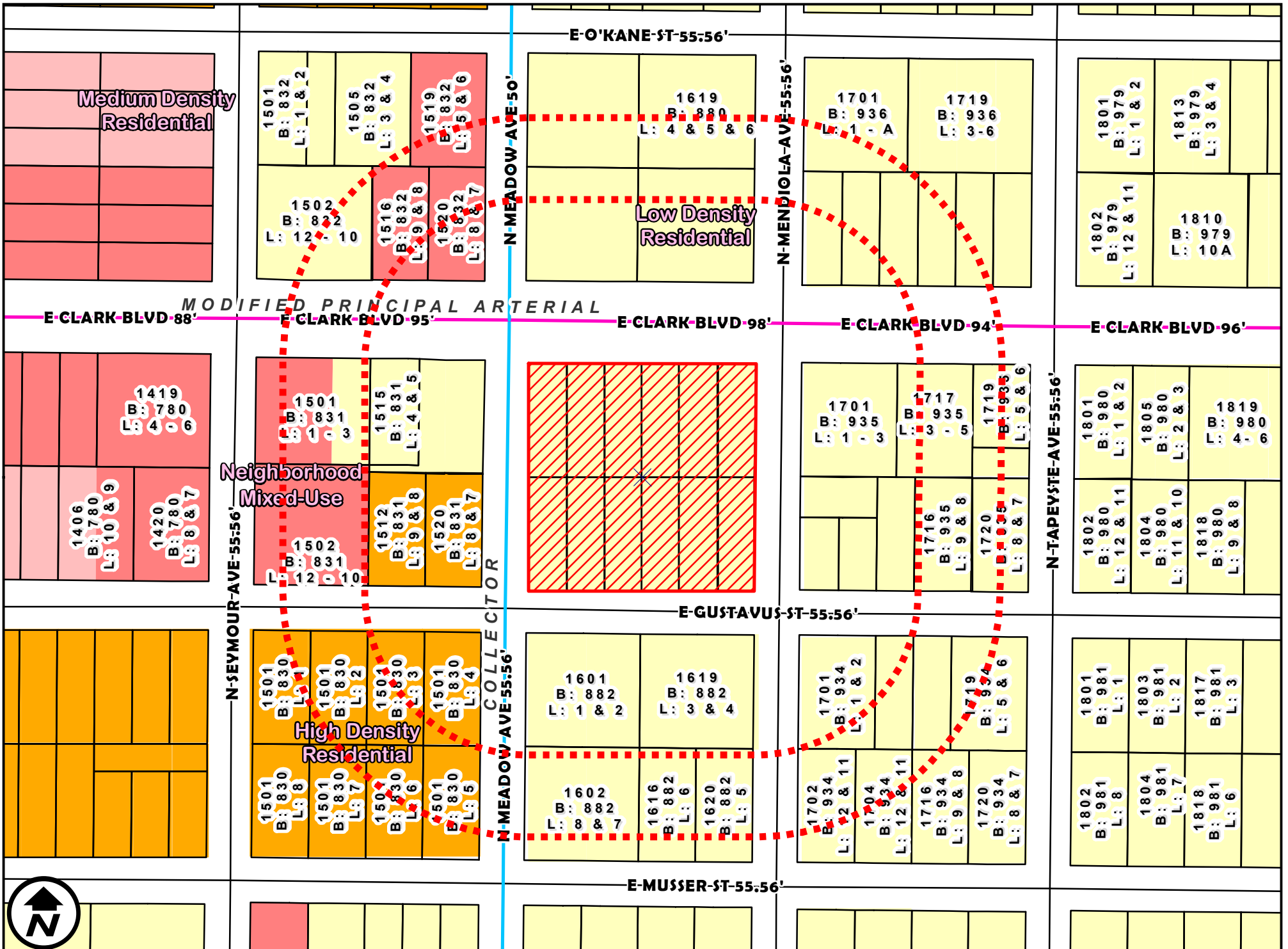


ZONING OVERVIEW

1 inch = 300 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 305
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)

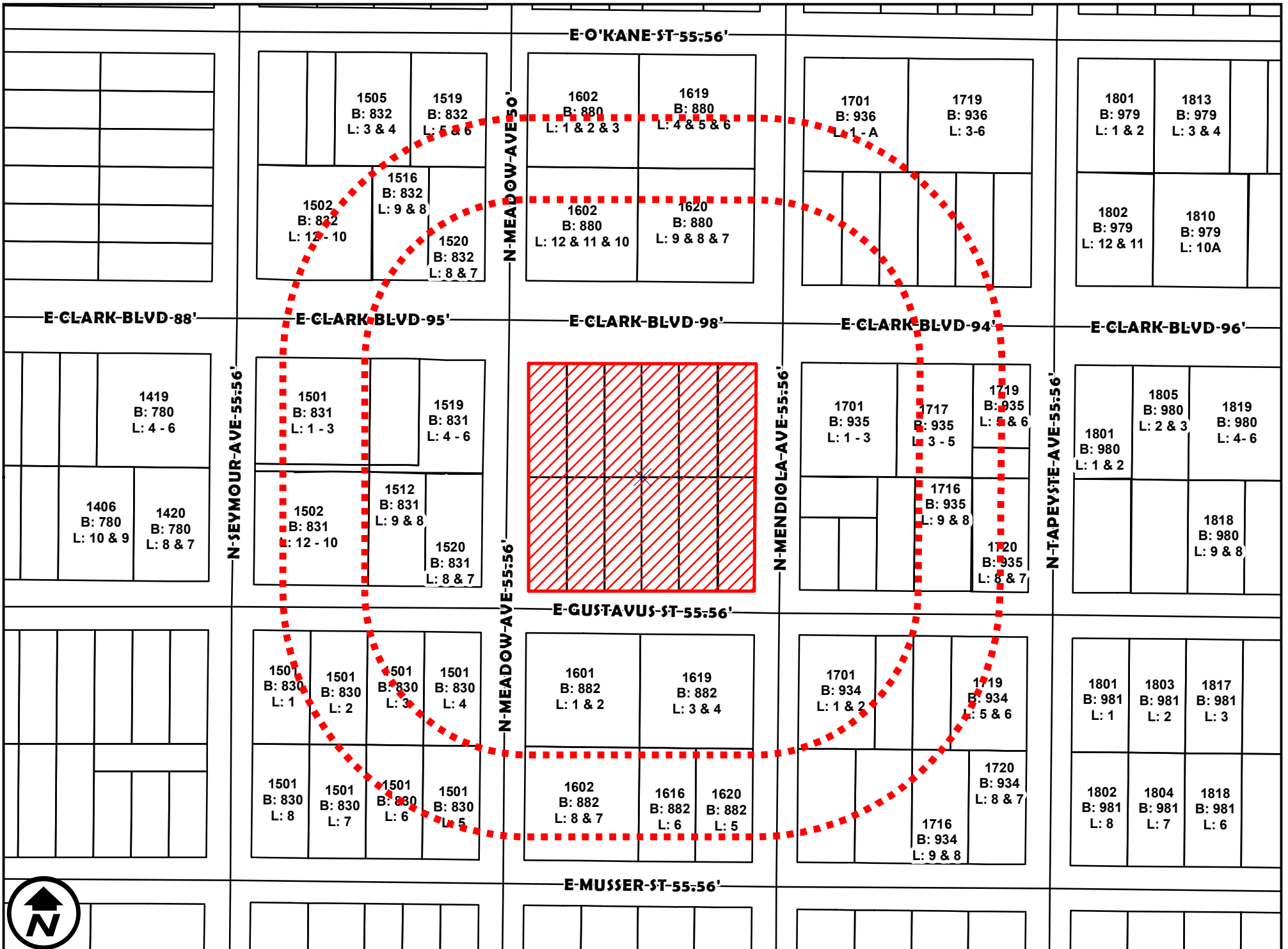


FUTURE LANDUSE

1 inch = 150 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 306
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT)
 B-1 (LIMITED BUSINESS DISTRICT)

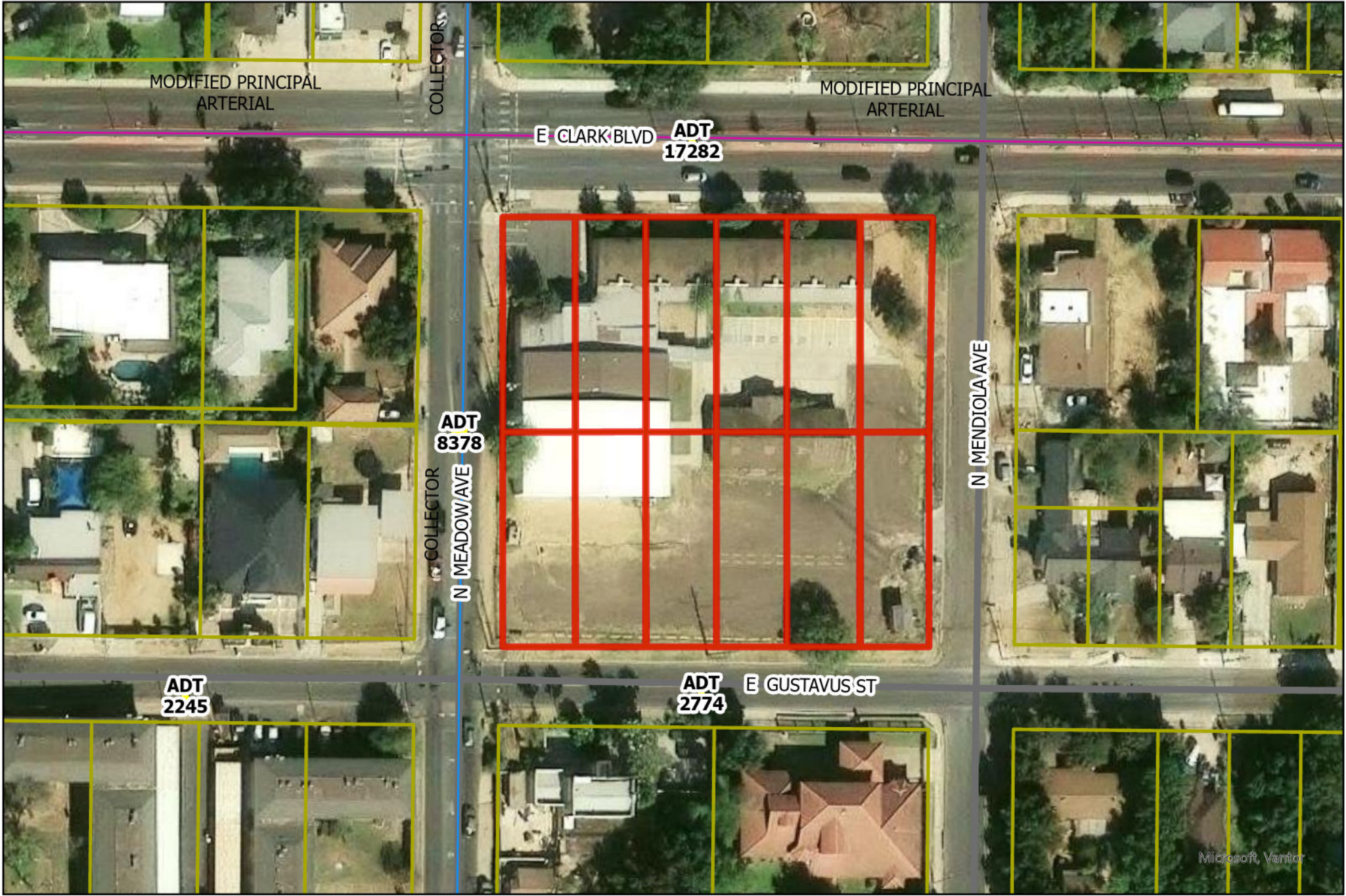


200' AND 300' NOTIFICATION

1 inch = 150 feet

ZC-053-2026
 COUNCIL DISTRICT 4
 1600 CLARK BOULEVARD

APPLICATION F 307
 R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) 307
 B-1 (LIMITED BUSINESS DISTRICT)



ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, AND 12, BLOCK 881, EASTERN DIVISION, LOCATED AT 1600 CLARK BOULEVARD, FROM R-1 (SINGLE FAMILY RESIDENTIAL DISTRICT) TO B-1 (LIMITED BUSINESS DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 881, Eastern Division, located at 1600 Clark Boulevard, from R-1 (Single Family Residential District) to B-1 (Limited Business District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on Lots 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, and 12, Block 881, Eastern Division, located at 1600 Clark Boulevard, from R-1 (Single Family Residential District) to B-1 (Limited Business District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH “ZONE” T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 28.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance 2022-O-185, which authorized a Special Use Permit for a restaurant serving alcohol on Lot 5A, Block 1, Encino Plaza Subdivision, Unit 2A, located at 7518 McPherson Road, Suite 510 (4,176 square feet) in order to remove Cosmos Bar and Grill and Encino Plaza, Incorporated and replace with Cosmos Bar & Grill-Lombrana Properties as the parties to whom the permit is issued and to amend the site plan to add additional square footage.

The Planning and Zoning Commission recommended approval of the proposed special use permit amendment, and staff supports the application.

ZC-055-2026
District VI

Council District: District 6 **Zone Case:** ZC-055-2026

Letters sent to property owners: 28

In Favor (within 200 radius): 0
Opposed (within 200 radius): 0

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 0

COMMISSION RECOMMENDATIONS - Approve

The Planning and Zoning Commission in a 7 to 0 vote recommended approval of the special use permit amendment.

STAFF RECOMMENDATION - Supports

Staff supports the application.

ZC-055-2026 – Comprehensive Plan Alignment

1. Level of Alignment

Moderate – Indirectly supports or contributes to the intent of a verbatim goal or policy from the Viva Laredo Comprehensive Plan.

2. Supporting Goal(s)/Policy(ies)

Future Land Use – Neighborhood Mixed-Use

“Neighborhood Mixed-Use areas provide a mix of residential, office, retail, service, and civic uses that serve the surrounding neighborhood and are designed to be walkable and integrated into nearby residential areas.”

Page 1.9

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The subject property is designated **Neighborhood Mixed-Use** on the Future Land Use Map. The continued operation and expansion of a restaurant serving alcohol within an established commercial center is generally consistent with the mixed-use commercial and service-oriented character envisioned by the Comprehensive Plan.

Economic Development and Commercial Activity

“Promote commercial development that strengthens the local economy and expands employment opportunities.”

Page 6.4

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The request supports the continued operation and expansion of an existing commercial business within a developed corridor along McPherson Road. The amendment facilitates ongoing commercial activity and investment within an established retail and service area.

Land Use Compatibility Policy

“Encourage land use patterns that promote compatibility between adjacent uses and minimize conflicts.”

Page 1.6

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

Although the surrounding area contains significant commercial development, townhomes and single-family residential uses exist west of the site. The proposed amendment includes operational conditions intended to mitigate impacts on nearby residential properties, including restrictions on outdoor amplified sound, lighting controls, and fencing requirements.

Transportation and Land Use Coordination

“Coordinate land use and transportation planning by locating higher intensity uses along arterial and collector streets.”

Page 1.6

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The site fronts **McPherson Road**, identified in the Long Range Thoroughfare Plan as a **Major Arterial**, making the location appropriate for commercial and mixed-use activity with regional accessibility.

3. Summary of Alignment

Agenda Item ZC-055-2026 demonstrates **Moderate alignment** with the Viva Laredo Comprehensive Plan. The proposed Special Use Permit amendment supports continued commercial activity within a designated **Neighborhood Mixed-Use** area and reinforces the established retail and restaurant corridor along McPherson Road. The request also advances broader planning objectives related to **economic development, commercial reinvestment, and corridor activity**.

However, the amendment includes the expansion of a restaurant serving alcohol adjacent to nearby residential uses, creating potential compatibility concerns related to noise and operational impacts. The proposed conditions addressing outdoor amplified sound, lighting, fencing, and operational compliance help mitigate these concerns, but the adjacency to residential neighborhoods limits the degree of direct alignment.

The agenda item intersects with broader planning themes including **economic vitality, mixed-use development, mobility coordination, and neighborhood compatibility**.

4. Additional Requirements

All cited goals and policies are quoted directly from the *Viva Laredo City of Laredo Comprehensive Plan*. Relevant verbatim policies supporting the proposed Special Use Permit amendment were identified and applied.

Conclusion:

The proposed Special Use Permit amendment under Agenda Item ZC-055-2026 demonstrates **Moderate alignment** with the Viva Laredo Comprehensive Plan.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: Lombrana Properties, Owner; Gerardo Pinzon, Applicant/Representative

Staff Source: Vanessa Guerra, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance amending the Zoning Ordinance (Map) of the City of Laredo by amending Ordinance 2022-O-185, which authorized a Special Use Permit for a restaurant serving alcohol on Lot 5A, Block 1, Encino Plaza Subdivision, Unit 2A, located at 7518 McPherson Road, Suite 510 (4,176 square feet) in order to remove Cosmos Bar and Grill and Encino Plaza, Incorporated and replace with Cosmos Bar & Grill-Lombrana Properties as the parties to whom the permit is issued and to amend the site plan to add additional square footage.

The Planning and Zoning Commission recommended **approval** of the proposed special use permit amendment, and staff **supports** the application.

ZC-055-2026

District VI

PREVIOUS COUNCIL ACTION

On November 7, 2022, the City Council made a motion to approve a Special Use Permit Amendment in order to remove Junction Partners, Limited and Encino Plaza, Limited for Cosmos Bar and Grill Restaurant and replace with Cosmos Bar and Grill and Encino Plaza, Incorporated

On October 17, 2022, the City Council made a motion to approve a Special Use Permit Amendment on the condition of keeping the original hours of operation from 11:00am to 2:00am.

On June 20, 2016, the City Council made a motion to approve a Special Use Permit (SUP) for a restaurant serving alcohol.

BACKGROUND

Council District: V - Cm. Ruben Gutierrez, Jr.

Proposed use: The proposed use is for a restaurant serving alcohol.

Site: The site is currently occupied by Cosmos Bar & Grill.

Surrounding land uses: To the north of the site is vacant undeveloped land, Del Mar Boulevard, Walgreens, Bank of America, a commercial structure that includes Chipotle, Great Clips, Menta Dentistry, and Urgent Care, and China Express. To the east of the site is Quick Quack Car Wash, Laredo Emergency Room, and McPherson Road. To the south of the site is vacant commercial building, IBC Bank and ATM, Welby Court, and a family practice. To the west of the site is Merlin Road, single-family residential uses, and townhomes.

Comprehensive Plan: The Future Land Use Map recognizes this area as Neighborhood Mixed-Use.

<https://www.openlaredo.com/planning/>

[2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39](https://www.openlaredo.com/planning/2017_Comprehensive_Plan-Viva_Laredo.pdf#page=39)

Transportation Plan: The Long Range Thoroughfare Plan identifies McPherson Road as a Major Arterial.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 28

Inside 200 feet:

In Favor: 0 Opposed: 0

Outside 200 feet:

In Favor: 0 Opposed: 0

COMMITTEE RECOMMENDATION

The Planning and Zoning Commission in a 7 to 0 vote recommended approval of the special use permit amendment.

STAFF RECOMMENDATION

Staff supports the proposed zone change for the following reasons:

1. All conditions other than the non-transferable/issuance and the square footage addition clauses shall remain the same.
2. No citations have been issued to this location for non-compliance with the existing conditions and any other city regulations

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of the building permit and requires full compliance with all applicable municipal codes and regulations.

If approved, Staff recommends the continuance of the following provisions from the existing Ordinance 2022-O-185, except the whom the SUP is issued to and the addition of the square footage:

1. REMOVE: The Special Use Permit is issued to Cosmos Bar & Grill and Encino Plaza, Inc., and is non-transferable.
ADD: The Special Use Permit is issued to Cosmos Bar & Grill - Lombrana Properties, and is non-transferable.
2. REMOVE: The Special Use Permit is restricted to 3,700 S.F. of area on Building C, Suite 510, as per the site plan, Exhibit “A”, which is made part hereof for all purposes.
ADD: The Special Use Permit is restricted to 4,176 square feet of area on Building C, Suite 510, as per the site plan, “Exhibit A-1”, which is made part hereof for all purposes.
3. The Special Use Permit is restricted to a restaurant serving alcohol and hours of operation from Monday through Sunday from 11:00 a.m. through 2:00 a.m.
4. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
5. Signage shall be consistent with the City's Sign Ordinance and TABC rules or regulations.
6. Off-street parking shall be provided in accordance with the City of Laredo Land Development Code.
7. REMOVE: Ambient low-level music is permitted. KEEP: Live music and speakers shall be prohibited and there shall be no ground vibrations created or sustained on the site which are perceptible without

instruments at any point on any property adjoining the subject property.

ADD: 8. There shall not be any outdoor amplified music, use of any outdoor amplified sound system, excessively loud generators, outdoor speakers, and/or any outdoor moving or flashing lights. The applicant must comply with all city noise ordinances and all provisions of the City of Laredo Code of Ordinances.

9. At all times the restaurant is open to the public for business; it shall continually maintain and serve food from its full-service menu.

10. The restaurant shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to SUP business holder.

11. The restaurant shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.

12. The restaurant shall undergo an annual Fire Inspection.

13. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to Food Manager License (annual), Food Handler's Permit (annual), and Certificate of occupancy with Occupant Load, Occupant Load being the approved capacity of a building or portion thereof.

14. Landscaping of property shall be provided in accordance with the City of Laredo Land Development Code.

15. Lighting of property shall be screened and face inward to avoid adverse impact on adjacent residential neighborhoods.

16. Owner shall provide a 7' high opaque fence along property lines which abut or adjoin any residential zones/uses.

17. Owner shall comply with, Building, Health, Life and Safety, and all applicable codes and regulations as required.

18. The Restaurant shall maintain and comply with the BLUE Gun Sign regulations as per TABC (not to exceed the required alcohol sales percentages).

19. The restaurant shall provide the City of Laredo, Planning Department with a copy of the current TABC License to include but not limited to any renewals or amendments as they occur.

IMPACT ANALYSIS

Is this change contrary to the established land use pattern?

No. There are restaurants within the vicinity of the site.

Would this change create an isolated zoning district unrelated to surrounding districts?

No. The zone will not change.

Will change adversely influence living conditions in the neighborhood?

Possibly. There are outdoor speakers that may pose as noise nuisance to the neighbors to the west of the site.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

Yes. The existing zone does not allow for a restaurant serving alcohol as intended by the applicant.

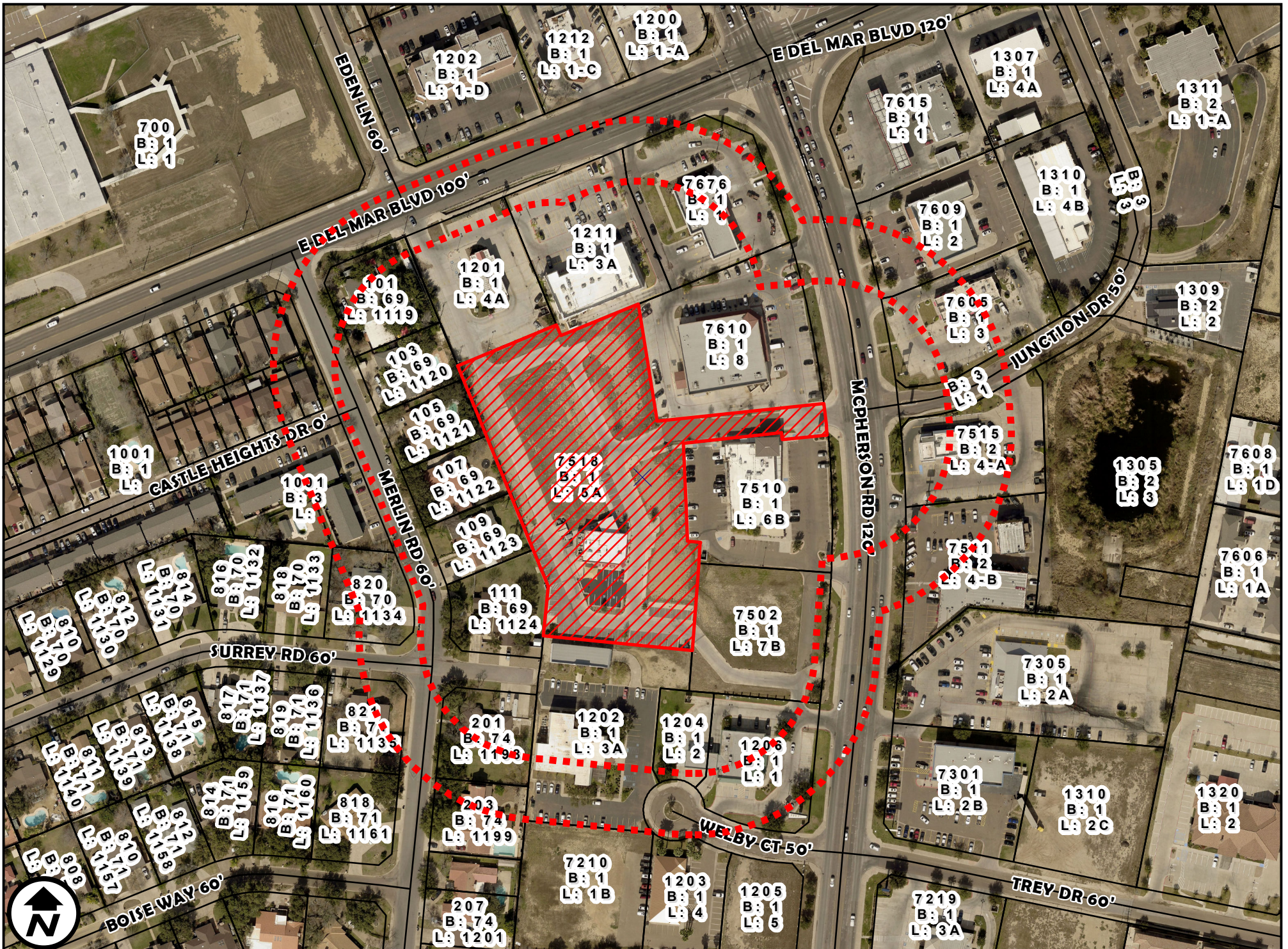
Attachments:

Comp Plan Alignment

Maps

Zone Change Signage

Draft Ordinance



AERIAL MAP

ZC-055-2026

APPLICATION F 319

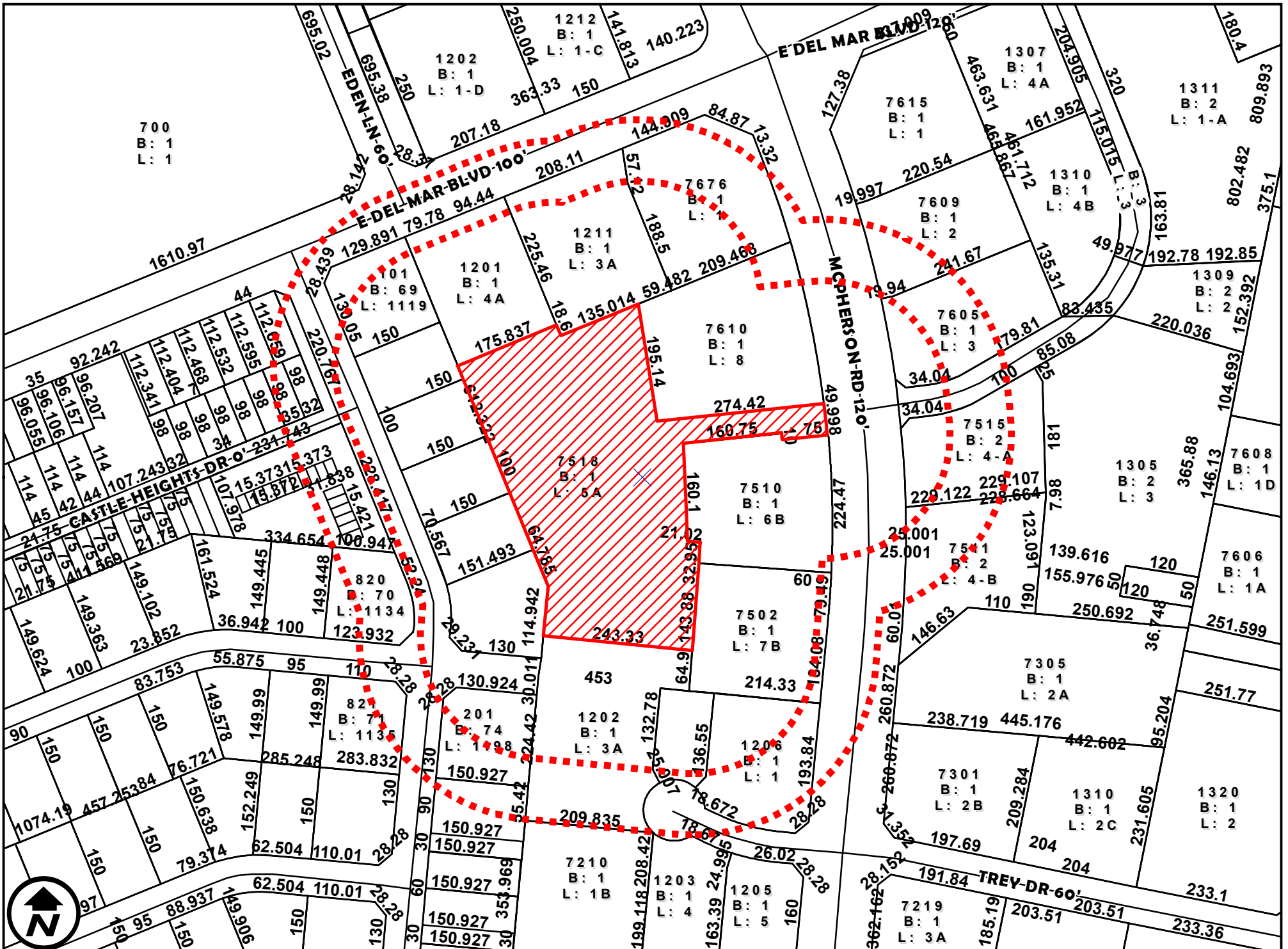
1 inch = 200 feet

COUNCIL DISTRICT 5

B-3 (COMMUNITY BUSINESS DISTRICT)

7518 MCPHERSON ROAD, UNIT 510

S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



DIMENSIONS MAP

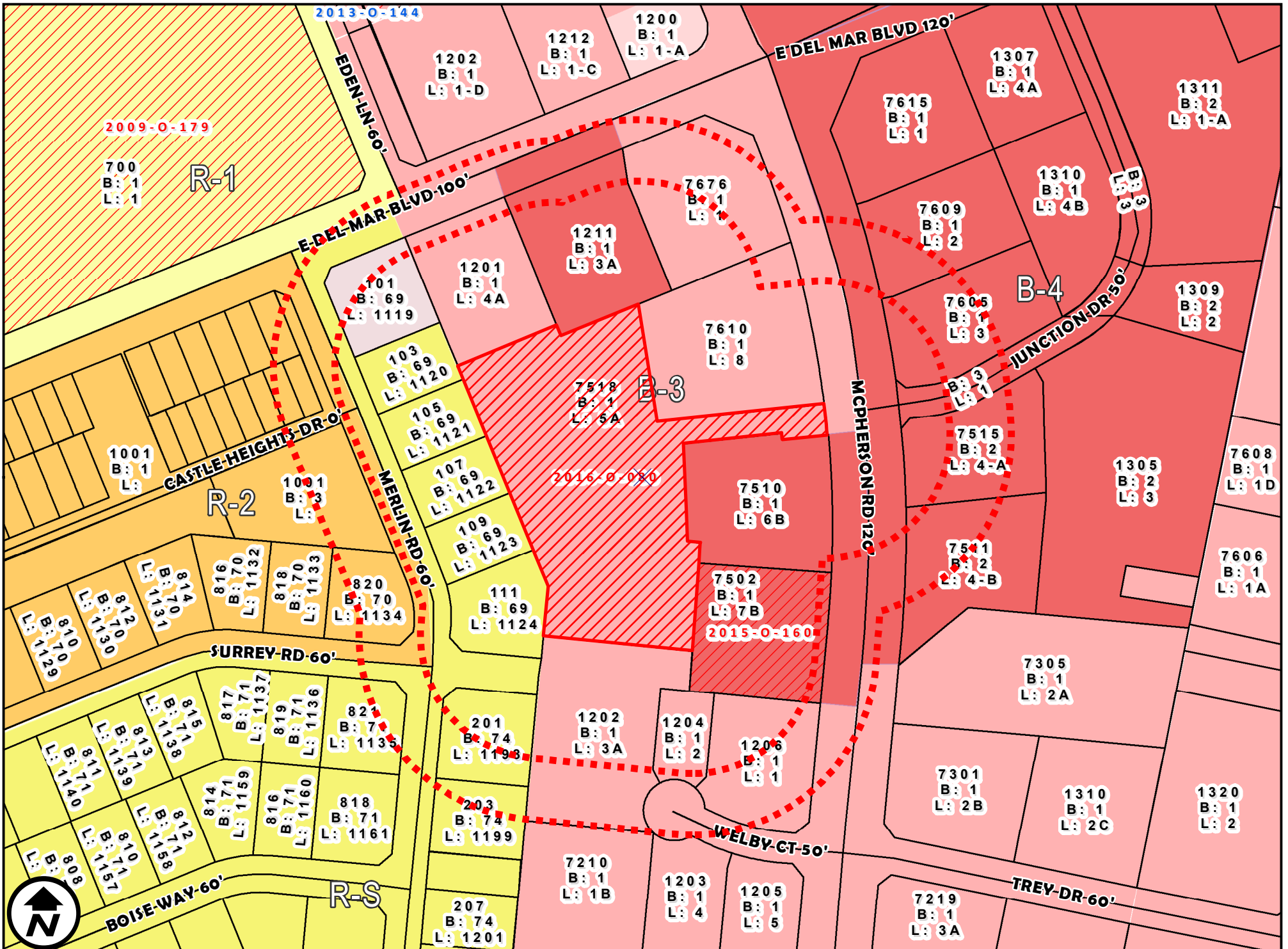
ZC-055-2026

APPLICATION F 320

1 inch = 200 feet

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

B-3 (COMMUNITY BUSINESS DISTRICT)
S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



ZONING MAP

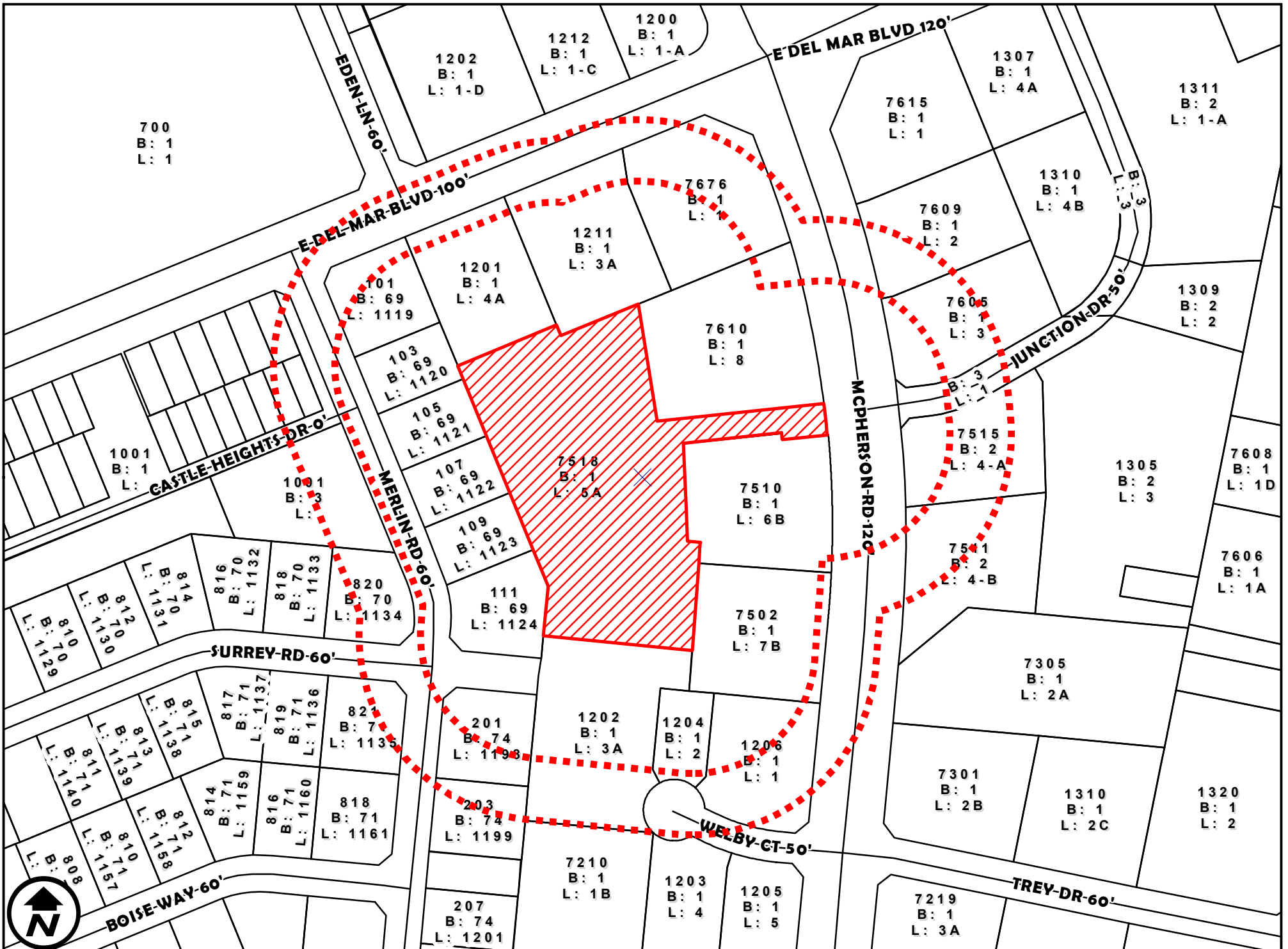
1 inch = 200 feet

ZC-055-2026

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

APPLICATION F 321

B-3 (COMMUNITY BUSINESS DISTRICT) S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



SURVEY MAP

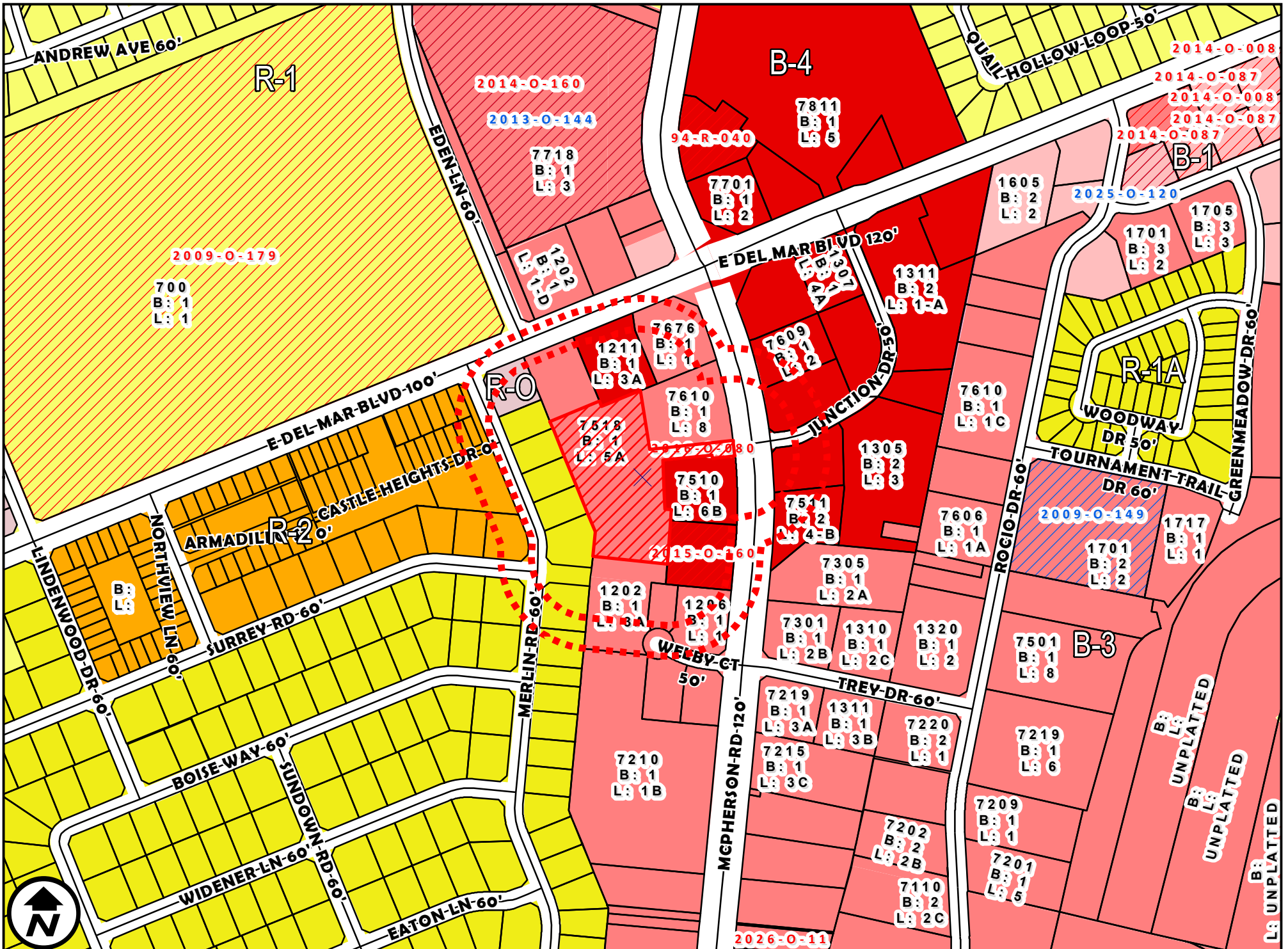
1 inch = 200 feet

ZC-055-2026

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

APPLICATION F 322

B-3 (COMMUNITY BUSINESS DISTRICT)
S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



ZONING OVERVIEW

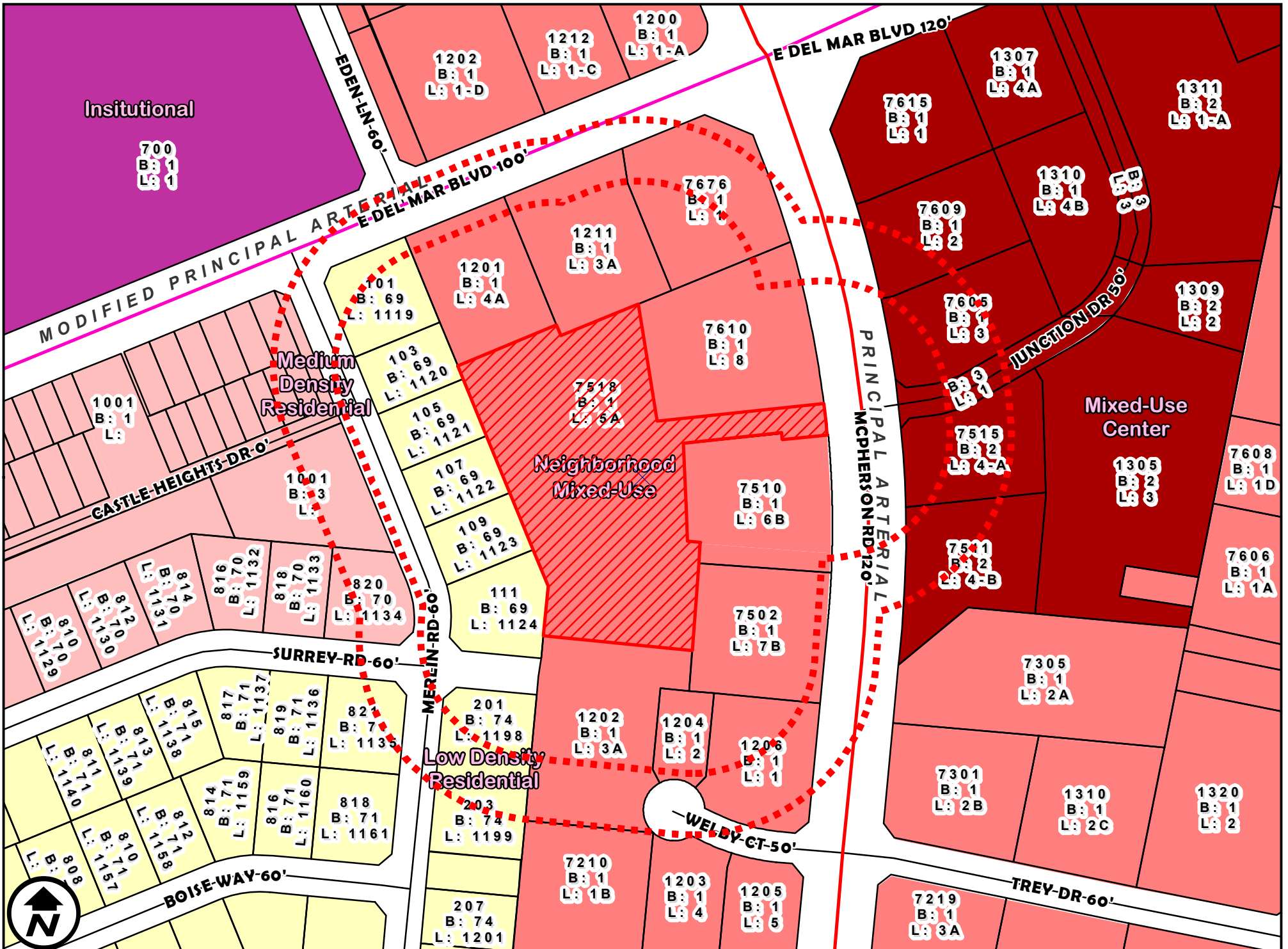
ZC-055-2026

APPLICATION F 323

1 inch = 400 feet

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

B-3 (COMMUNITY BUSINESS DISTRICT)
S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



FUTURE LANDUSE

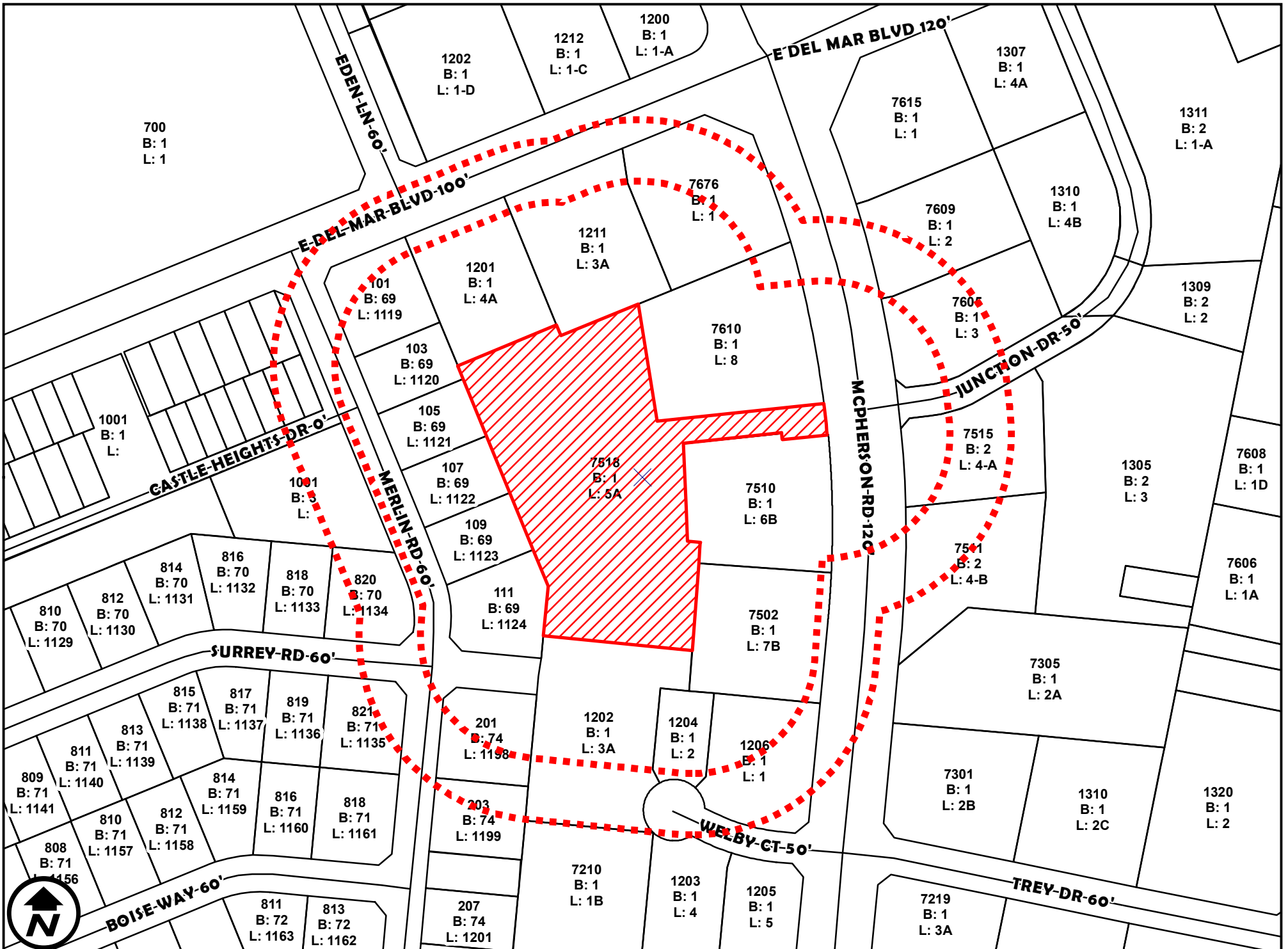
1 inch = 200 feet

ZC-055-2026

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

APPLICATION F 324

B-3 (COMMUNITY BUSINESS DISTRICT) ...
S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL



200' AND 300' NOTIFICATION

1 inch = 200 feet

ZC-055-2026

COUNCIL DISTRICT 5
7518 MCPHERSON ROAD, UNIT 510

APPLICATION F 325

B-3 (COMMUNITY BUSINESS DISTRICT) .C
S.U.P. AMENDMENT FOR RESTAURANT SERVING ALCOHOL

Cosmos Bar & Grill

7518 McPherson Road

Unit #510

Laredo, Texas 78041

The project includes a 476 sq ft expansion to the existing building area covered under the original SUP, which was limited to 3,700 sq ft. This modification is requested solely to update the SUP boundary to reflect the expanded footprint, with no change to the approved use or operating conditions.

Cosmos Bar and Grill + Lombrana Properties

As per email correspondence the SUP shall be issued to Cosmos Bar & Grill - Lombrana Properties. - DG

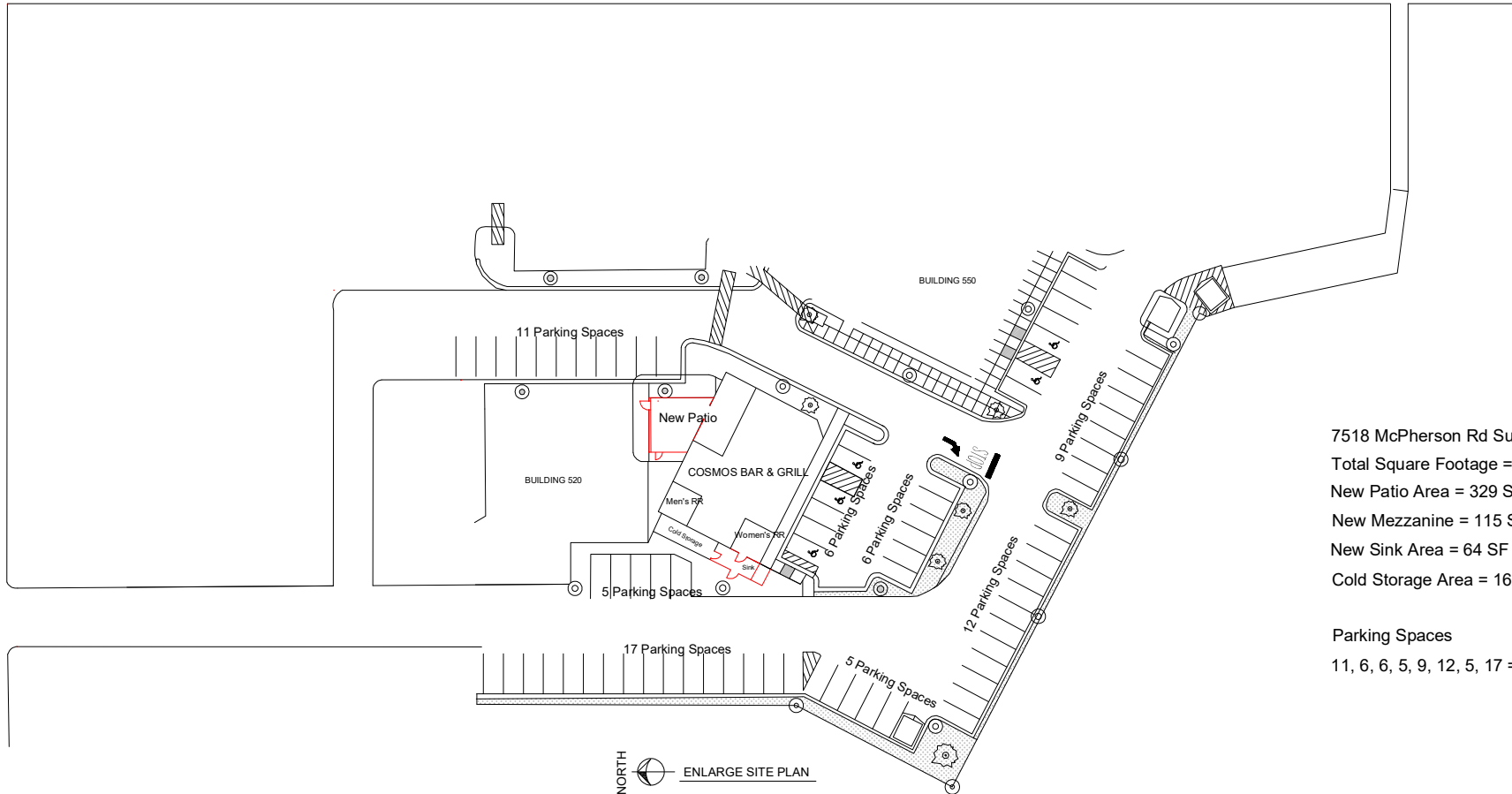
Exhibit A-1

COSMOS BAR & GRILL

7518 McPherson RD Unit 510

MCPHERSON RD

DEL MAR BLVD



7518 McPherson Rd Suite 510
 Total Square Footage = 4,176 SF
 New Patio Area = 329 SF
 New Mezzanine = 115 SF
 New Sink Area = 64 SF
 Cold Storage Area = 162 SF

Parking Spaces
 11, 6, 6, 5, 9, 12, 5, 17 = 71

PLAN
 NOT SCALE
 FEET
 UNITS
 DATE
 5/4/2026

SITE PLAN
 PLAN
 APPROVED BY
 DESIGNED & DRAWN BY

COSMOS BAR & GRILL
 7518 MCPHERSON RD UNIT 510
 LAREDO, TEXAS
 ADDRESS
 LOCATION

FINCH ENGINEERING,LLC
 1408 WILDROSE LN
 GERARDO PINZON, PE





ORDINANCE NO.

AMENDING THE ZONING ORDINANCE MAP OF THE CITY OF LAREDO BY AMENDING ORDINANCE 2022-O-185, WHICH AUTHORIZED A SPECIAL USE PERMIT FOR A RESTAURANT SERVING ALCOHOL ON LOT 5A, BLOCK 1, ENCINO PLAZA SUBDIVISION, UNIT 2A, LOCATED AT 7518 MCPHERSON ROAD, SUITE 510 (4,176 SQUARE FEET) IN ORDER TO REMOVE COSMOS BAR AND GRILL AND ENCINO PLAZA, INCORPORATED AND REPLACE WITH COSMOS BAR & GRILL-LOMBRANA PROPERTIES AS THE PARTIES TO WHOM THE PERMIT IS ISSUED AND TO AMEND THE SITE PLAN TO ADD ADDITIONAL SQUARE FOOTAGE; PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, a request has been received to amend the Executed Ordinance 2022-O-185, which authorized a Special Use Permit for a restaurant serving alcohol on Lot 5A, Block 1, Encino Plaza Subdivision, Unit 2A, located at 7518 McPherson Road, Suite 510 (4,176 square feet) in order to remove Cosmos Bar and Grill and Encino Plaza, Incorporated and replace with Cosmos Bar & Grill-Lombrana Properties as the parties to whom the permit is issued and to amend the site plan to add additional square footage; and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on May 21, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **approval** of the issuance of the Special Use Permit Amendment; and,

WHEREAS, notice of the Special Use Permit Amendment request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026, on the request and finds the Special Use Permit Amendment appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance; and,

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Ordinance 2022-O-185, which authorized a Special Use Permit for a restaurant serving alcohol on Lot 5A, Block 1, Encino Plaza Subdivision, Unit 2A, located at 7518 McPherson Road, Suite 510 (4,176 square feet) in order to remove Cosmos Bar and Grill and Encino Plaza, Incorporated and replace with Cosmos Bar & Grill-Lombrana Properties as the parties to whom the permit is issued and to amend the site plan to add additional square footage.

Section 2: The Special Use Permit is further restricted to the following provision herewith adopted by the City Council:

1. ~~The Special Use Permit is issued to Junction Partners, LTD and Encino Plaza LTD for Cosmos Bar and Grill Restaurant, and is non-transferable. The Special Use Permit is issued to Cosmos Bar & Grill Encino Plaza, Inc., and may only be transferred upon application to and with the express permission of the City Council. The Special Use Permit is issued to Cosmos Bar & Grill - Lombrana Properties, and is non-transferable.~~
2. ~~The Special Use Permit is restricted to 3,700 S.F. of area on Building C, Suite 510, as per the site plan, Exhibit "A", which is made part hereof for all purposes. The Special Use Permit is restricted to 4,176 square feet of area on Building C, Suite 510, as per the site plan, "Exhibit A-1", which is made part hereof for all purposes.~~
3. ~~The Special Use Permit is restricted to a restaurant serving alcohol and hours of operation from Monday through Sunday from 11:00 a.m. through 2:00 a.m. The Special Use Permit is restricted to a restaurant serving alcohol and hours of operation from Monday through Sunday from 11:00 a.m. to 11:00 p.m. The Special Use Permit is restricted to a restaurant serving alcohol and hours of operation from Monday through Sunday from 11:00 a.m. through 2:00 a.m.~~
4. The establishment must make provisions to keep litter to a minimum, and to keep it from blowing onto adjacent streets and properties.
5. Signage shall be consistent with the City's Sign Ordinance and TABC rules or regulations.
6. Off-street parking shall be provided in accordance with the City of Laredo Land Development Code.
7. ~~Ambient low-level music is permitted.~~ Live music and speakers shall be prohibited and there shall be no ground vibrations created or sustained on the site which are perceptible without instruments at any point on any property adjoining the subject property.
8. There shall not be any outdoor amplified music, use of any outdoor amplified sound system, excessively loud generators, outdoor speakers, and/or any outdoor moving or flashing lights. The applicant must comply with all city noise ordinances and all provisions of the City of Laredo Code of Ordinances.

- 8. 9. At all times the restaurant is open to the public for business; it shall continually maintain and serve food from its full-service menu.
- 9. 10. The restaurant shall not exceed the "Occupant Load" as set forth in the Certificate of Occupancy with Occupant Load issued to SUP business holder.
- 10. 11. The restaurant shall, during all hours of operation, maintain, free from obstruction or impediment to full instant use in the case of fire or other emergency, all exit accesses, exits or exit discharges.
- 11. 12. The restaurant shall undergo an annual Fire Inspection.
- 12. 13. All permits, licenses, certifications and inspections required by the codes and ordinances of the City of Laredo shall be kept up to date and current including but not limited to Food Manager License (annual), Food Handler's Permit (annual), and Certificate of occupancy with Occupant Load, Occupant Load being the approved capacity of a building or portion thereof.
- 13. 14. Landscaping of property shall be provided in accordance with the City of Laredo Land Development Code.
- 14. 15. Lighting of property shall be screened and face inward to avoid adverse impact on adjacent residential neighborhoods.
- 15. 16. Owner shall provide a 7' high opaque fence along property lines which abut or adjoin any residential zones/uses.
- 16. 17. Owner shall comply with, Building, Health, Life and Safety, and all applicable codes and regulations as required.
- 17. 18. The Restaurant shall maintain and comply with the BLUE Gun Sign regulations as per TABC (not to exceed the required alcohol sales percentages).
- 18. 19. The restaurant shall provide the City of Laredo, Planning Department with a copy of the current TABC License to include but not limited to any renewals or amendments as they occur.

Section 3: This ordinance shall be published in a manner provided by Section 2.09(D) of the Charter of the City of Laredo.

Section 4: This ordinance shall become effective as and from the date of publication specified in Section 3.

Section 5: The Special Use Permit authorized by this ordinance shall be revoked pursuant to the Laredo Land Development Code, section 24.93.12.12, entitled "Enforcement and Revocation of Special Use Permit Revocation," according to the criteria and procedures described therein and below:

1. Enforcement and Revocation of Special Use Permit Revocation

If it is determined based on inspection by the Planning Director or reasonable investigation by the City Manager, or his designee, that there exist reasonable grounds for revocation of a

Special User Permit, a public hearing shall be set before the Zoning Commission and the City Council.

- A. Circumstances that warrant revocation of an approved special use permit include, but shall not be limited to, any of the following:
 - 1. Any Violation of any of the conditions of the special use permit if not corrected to the satisfaction of the City within 90 days of the owner having received written notice of the violation and the means necessary to correct it;
 - 2. A plea of guilty or no-contest to an offense that that occurs on the property for which the special use permit is granted involving any zoning ordinance or provision of the City’s Land Development Code;
 - 3. The building, premise, or land uses under the special use permit is enlarged, modified, structurally altered, or otherwise significantly changed without the approval of a separate special use permit for such enlargement, modification, structural alteration or change;
 - 4. Violation of any provision of the site plan encompassing the property for which the special use permit was issue for, terms or conditions of a special use permit;
 - 5. The special use permit was obtained by fraud or with deception.
- B. Revocation process. The revocation process shall be conducted through a public hearing and recommendation by the Zoning Commission, followed by a public hearing and ordinance amendment consideration by the City Council. The City Council ma revoke the special use permit, deny the revocation and allow the sue to continue, or deny the revocation and amend the special use permit to attach conditions to assure that the terms, conditions and requirements of the special use permit be met.
- C. Effect of revocation. Upon the effective date of the revocation, it shall be unlawful to undertake or perform any activity that was previously authorized by the special use permit. Any person, firm, or corporation, who violates, disobeys, omits, neglects or refuses to comply with or who resists the enforcement of any of the provisions of this ordinance shall be fined not more than Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation exists shall constitute a separate offense.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026
Introductory Ordinance 29.

Planning & Zoning Public Hearing &

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 1, Kimberly Plaza Subdivision, located at 4800 McPherson Road, from B-3 (Community Business District) to B-4 (Highway Commercial District).

The Planning and Zoning Commission recommended denial of the proposed zone change, and staff does not support the application.

ZC-036-2026
District IV

Council District: District 4 **Zone Case:** ZC-036-2026

Letters sent to property owners: 21

In Favor (within 200 radius): 0
Opposed (within 200 radius): 1

In Favor (outside 200 radius): 0
Opposed (outside 200 radius): 1

COMMISSION RECOMMENDATIONS - Deny

The Planning & Zoning Commission in an 5 to 0 vote recommended denial of the proposed zone change.

STAFF RECOMMENDATION - Does not support

Staff does not support the application.

City Council-Regular Meeting

Date: 06/15/2026

Initiated By: Ramon Chavez, Assistant City Manager

Initiated By: TXINV Family Limited Partnership, Owner; Raul Cantu, Applicant

Staff Source: Vanessa Guerra, MPA, AICP, Planning Director

SUBJECT

Public Hearing and Introductory Ordinance Amending the Zoning Ordinance (Map) of the City of Laredo by rezoning Lot 1, Block 1, Kimberly Plaza Subdivision, located at 4800 McPherson Road, from B-3 (Community Business District) to B-4 (Highway Commercial District).

The Planning and Zoning Commission recommended denial of the proposed zone change, and staff does not support the application.

ZC-036-2026

District IV

PREVIOUS COUNCIL ACTION

On June 1, 2026, the City Council motioned to table the item. (City Council File ID: 26-651)

On May 18, 2026, the City Council initially motioned to deny the request; however, the motion was recalled and replaced with a motion to table the item, allowing the applicant an opportunity to apply for a Conditional Use Permit (CUP) for the proposed use. (City Council File ID: 26-651)

On May 4, 2026, the City Council motioned to table the item. (City Council File ID: 26-651)

On April 20, 2026, the City Council motioned to table the item. (City Council File ID: 26-651)

On April 1, 2019, City Council made a motion to approve a special use permit for a restaurant serving alcohol. (Ordinance No. 2019-O-049).

BACKGROUND

Council District: IV – Cm. Ricardo Garza

Proposed use: The proposed use is Groceries/Related Products (Wholesale).

- The applicant was advised about applying for a conditional use permit (CUP), and decided to attempt the zone change instead of applying for the CUP.
- The applicant has been advised of the reapplication waiting periods under Section 24-92.2(b)(1) of the Laredo Land Development Code if the zone change is denied by City Council.
 - 6 months – Reapplication for the same or a more intensive zoning classification.
 - 3 months – Reapplication for a less intensive zoning classification, Special Use Permit (SUP), or Conditional Use Permit (CUP).

Site: The site is currently a commercial structure occupied by Suarez Restaurant and Mr. Corn, with a former tenant space (previously Obregon's Restaurant) now vacant. The zone change request is being pursued in order to accommodate a proposed use within this vacant suite.

Surrounding land uses: To the north of the site is a commercial plaza, which includes, Saludos Brewing and Print x Press, and single-family residential uses. To the east of the site is McPherson Road, and Multi-Family Residential uses. To the south of the site is Broadacres Apartments. To the west of the site is Broadacres Apartments and single-family residential uses.

Comprehensive Plan: The Future Land Use Map recognizes this area as Neighborhood Mixed-Use.

<https://www.cityoflaredo.com/LaredoPlanning/wp-content/uploads/2021/03/viva-laredo-city-of-laredo-comprehensive-plan.pdf#page=39>

Transportation Plan: The Long Range Thoroughfare Plan identifies McPherson Road as a major arterial.

www.laredompo.org/wp-content/uploads/2021/05/2021-Future-Thoroughfare-Plan_2021.02.11.pdf

Letters sent to surrounding property owners: 21

Inside 200' Radius: In Favor: 0 Opposed: 1

Outside 200' Radius: In Favor: 0 Opposed: 1

COMMITTEE RECOMMENDATION

The Planning & Zoning Commission in a **5** to **0** vote recommended denial of the proposed zone change.

STAFF RECOMMENDATION

Staff **does not support** the proposed zone change for the following reasons:

1. The proposed zone change is not in conformance with the Comprehensive Plan's designation as Neighborhood Mixed-Use (All Except, M-1, M-2, B-4, AH, FH, OG, FiH), which does not include B-4 zoning districts. The future land use designation of Neighborhood Mixed-Use is intended to support a balanced mix of low to moderate intensity residential and commercial uses that serve the immediate neighborhood, while promoting compatibility and appropriate transitions between uses.
2. The subject property is directly adjacent to established residential uses, including multi-family and single-family developments located to the south and west. B-3 zoning would allow for commercial uses that could complement, such as restaurants, retail, and service-oriented businesses. B-4 zoning may create land use conflicts, like commercial industrial uses that may adversely affect the livability and stability of the surrounding neighborhood. These conflicts may include increased noise, traffic, lighting, and operational impacts.
3. The applicant was advised of the option to pursue a Conditional Use Permit (CUP) for uses exceeding those permitted under B-3 zoning but chose to proceed with a zone change instead. A CUP would allow for site-specific review and the imposition of conditions to mitigate potential impacts on adjacent residential properties. In

contrast, rezoning to B-4 would allow a wide range of high intensity uses by right without the same level of oversight. A CUP is the more appropriate planning tool at this location to balance development with neighborhood protection; however, approval of a CUP is not guaranteed.

4. The subject property has maintained a B-3 zoning designation since the adoption of the City's zoning ordinance in the 1980s, reflecting a long-standing and established land use pattern in the area. The surrounding area is predominantly residential, with existing development characterized by lower intensity uses that are compatible with nearby neighborhoods.
5. Although the property is located along McPherson Road, a designated major arterial, the site's location makes it less appropriate for higher-intensity commercial uses, particularly within an area that is primarily residential. Increased traffic generation associated with B-4 uses may result in congestion and queuing along the arterial. Additionally, the subject site and the adjacent commercial property to the north, which includes Saludos Brewing, currently share access points and already experience high parking demand. Intensifying the zoning at this location is likely to exacerbate existing parking shortages and circulation issues, leading to spillover parking and further impacting surrounding properties.
6. The current B-3 zoning district is more suitable for this location, as it allows for a range of community oriented commercial uses that are compatible with the surrounding residential area. Retaining B-3 zoning provides reasonable use of the property while maintaining consistency with the Comprehensive Plan and minimizing potential adverse impacts proposed. More intensive uses could be accommodated with a Conditional Use Permit and thereby ensure compatibility and mitigation for adverse impacts.

Notice to the owner/applicant:

1. The approval of the zone change does not guarantee the issuance of a building permit and requires full compliance with all applicable municipal codes and regulations.

Staff **does not support** the application.

B-4. The purpose of the B-4 District (Highway Commercial District) is to provide for those businesses and services serving a regional area which are to be located primarily along principal (major) arterial streets or the freeway, as classified in the Transportation Plan of the City of Laredo. It is intended for this zoning classification to exist primarily along principal arterial streets or the freeway and to impose site development regulations to ensure adequate access of all uses within this classification.

Is this change contrary to the established land use pattern?

Yes. The surrounding land uses include residential uses, such as single-family residences, apartments and town-homes. The surrounding land uses also include commercial uses, such as a commercial plaza.

Would this change create an isolated zoning district unrelated to surrounding districts?

The property is surrounded by residential zoning districts (R-1 and R-2 zoning).

Will change adversely influence living conditions in the neighborhood?

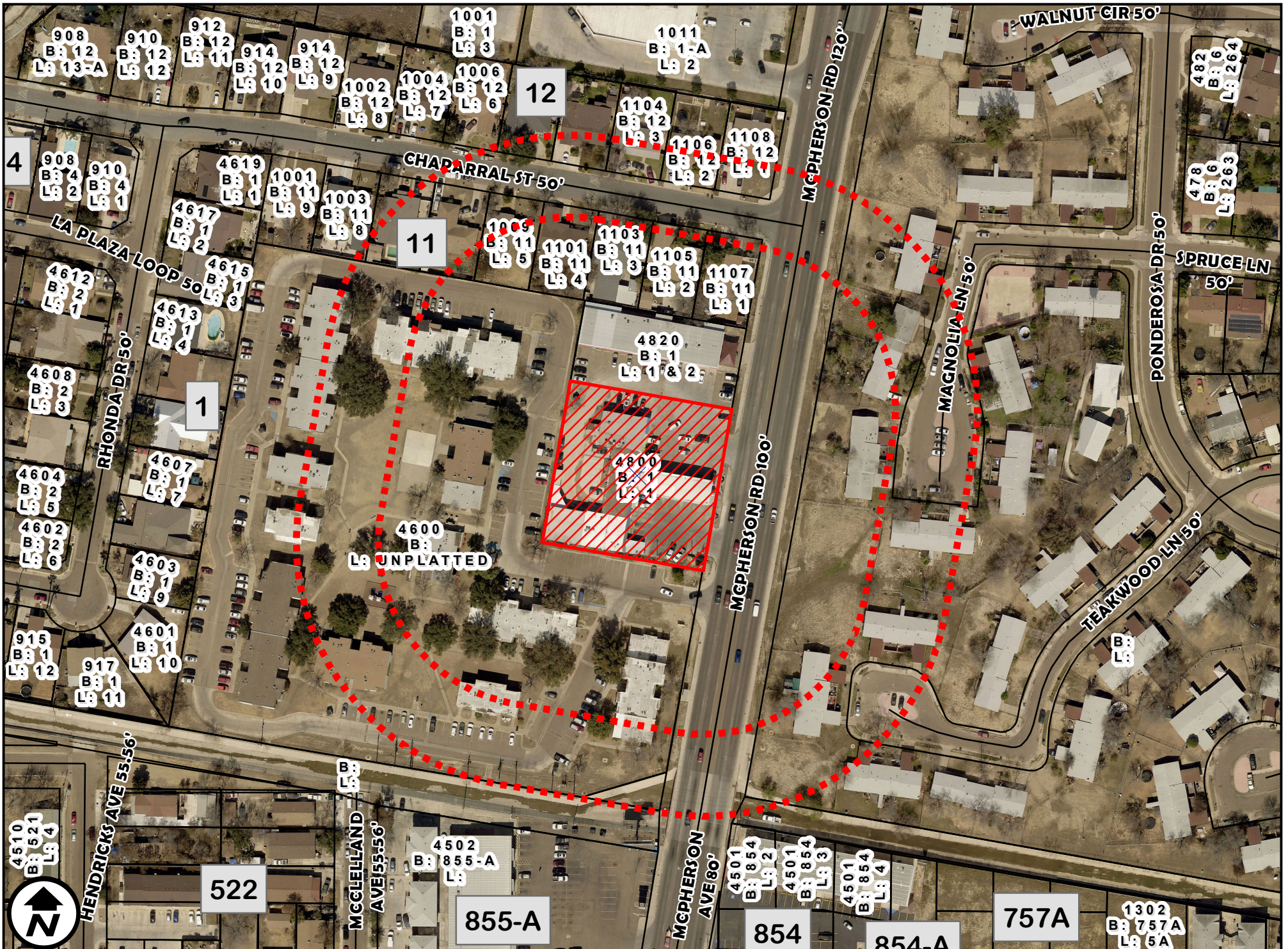
Yes. The proposed zone change is anticipated to have a negative impact with the surrounding area or neighborhoods, as it may introduce uses that are dissimilar to the area.

Are there substantial reasons why the property cannot be used in accordance with existing zoning?

The existing zone does not allow for a Groceries/Related Products (Wholesale) as intended by the applicant.

Attachments

- Maps
 - Zone Change Signage
 - Comp Plan Alignment
 - Draft Ordinance
-



AERIAL MAP

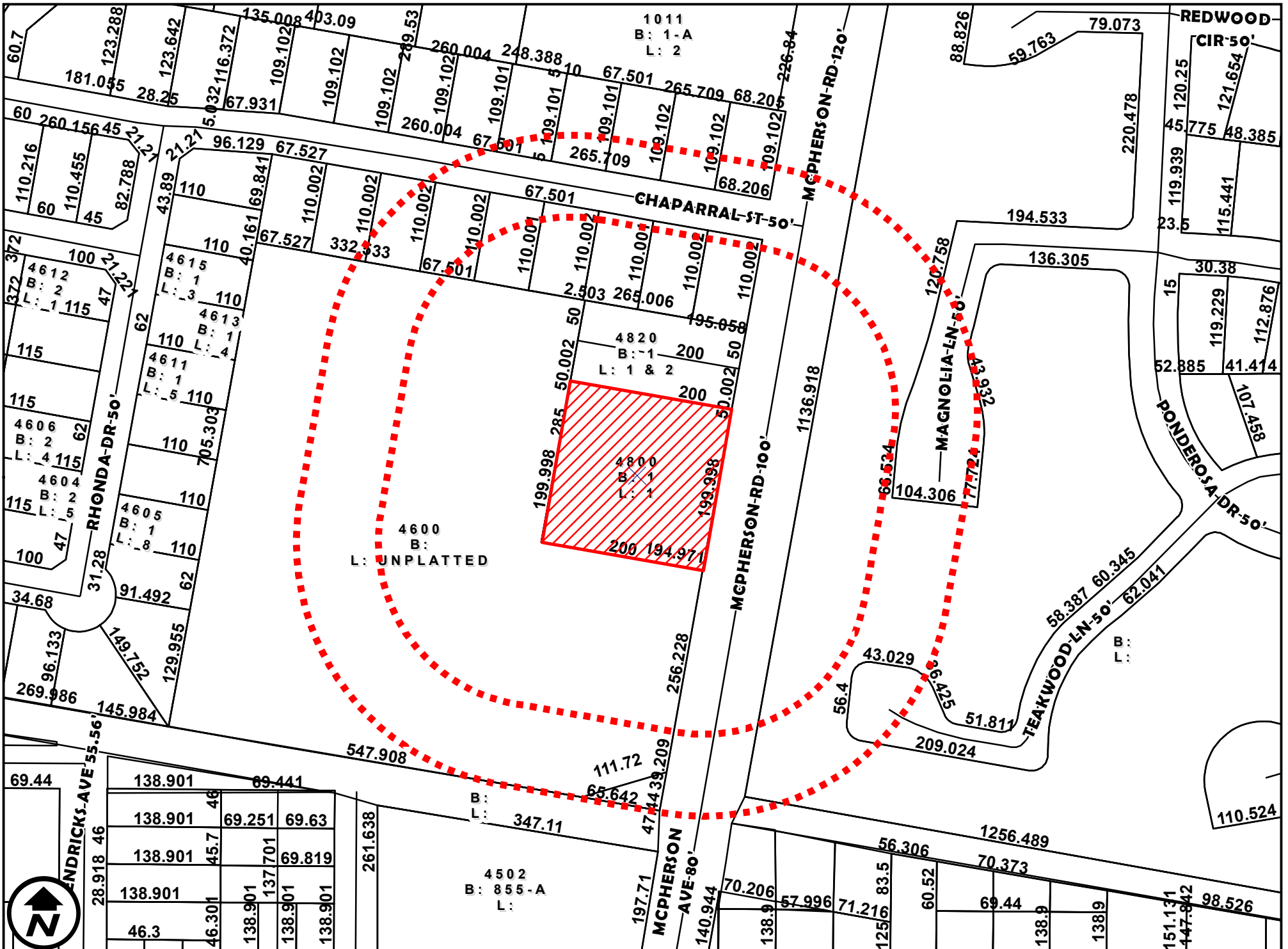
1 inch = 150 feet

ZC-036-2026

COUNCIL DISTRICT 4
4800 MCPHERSON ROAD

APPLICATION F 339

B-3 (COMMUNITY BUSINESS DISTRICT)
B-4 (HIGHWAY COMMERCIAL DISTRICT)

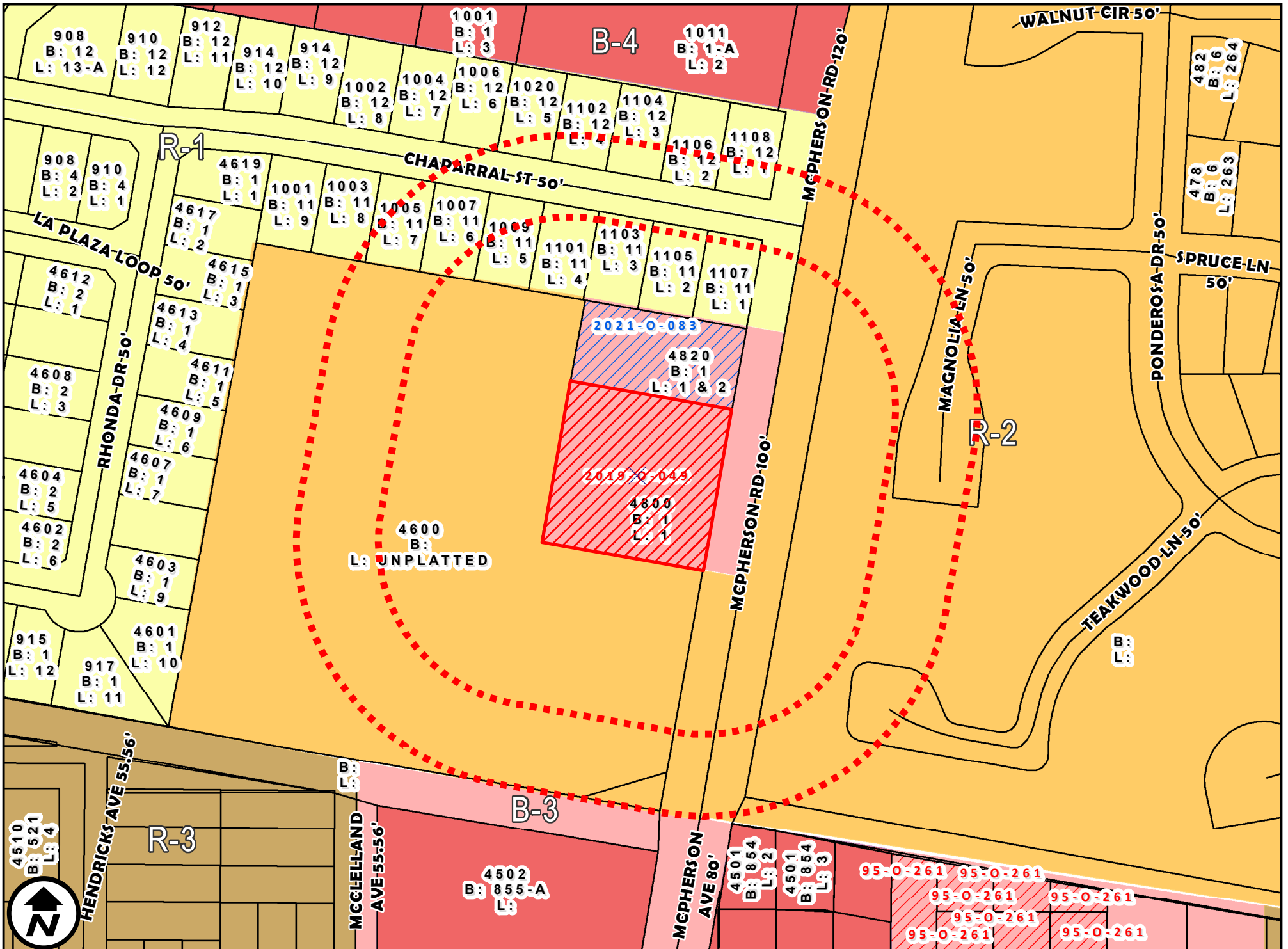


DIMENSIONS MAP

1 inch = 150 feet

ZC-036-2026
 COUNCIL DISTRICT 4
 4800 MCPHERSON ROAD

APPLICATION F 340
 B-3 (COMMUNITY BUSINESS DISTRICT)
 B-4 (HIGHWAY COMMERCIAL DISTRICT)



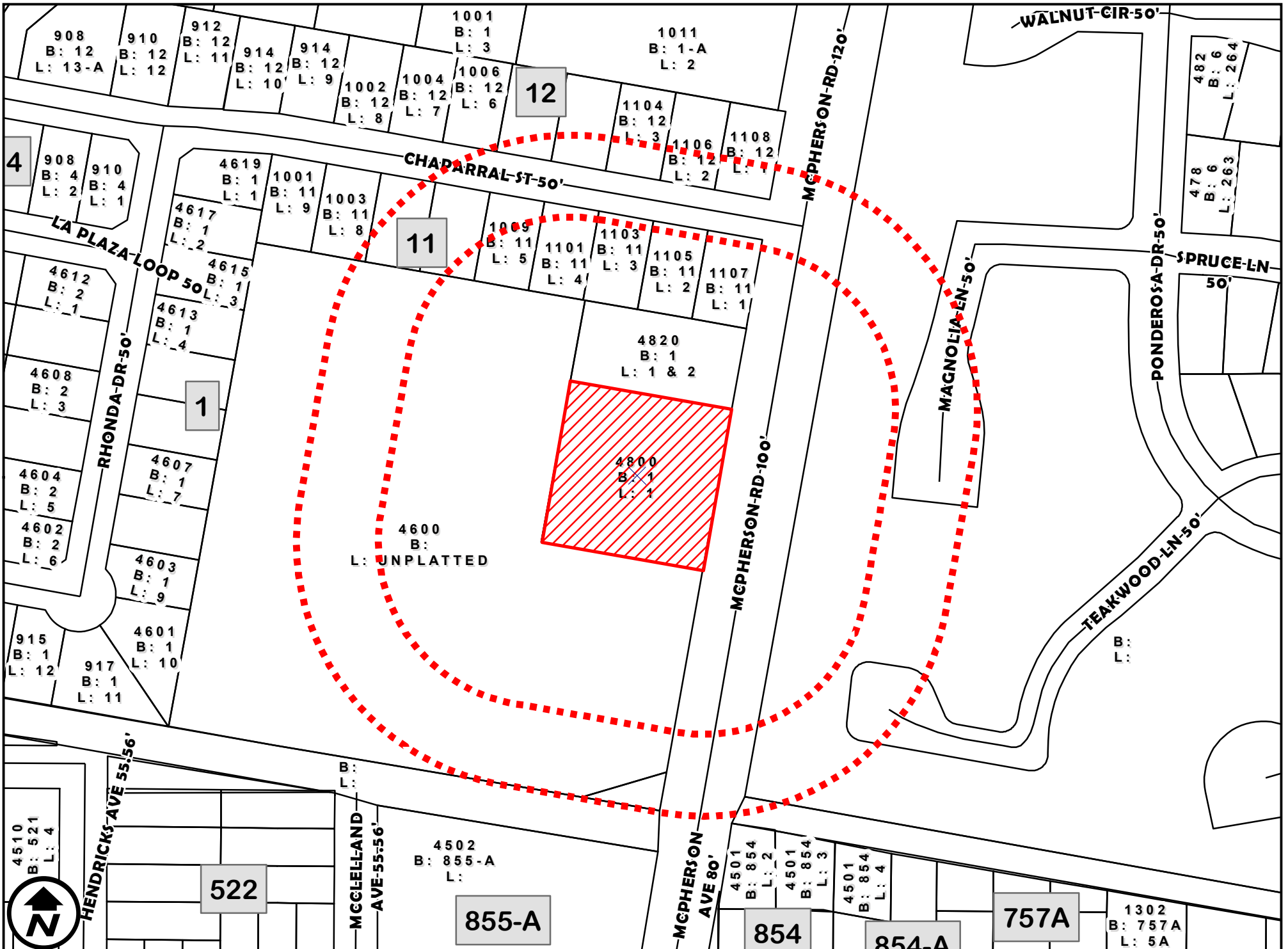
ZONING MAP

1 inch = 150 feet

ZC-036-2026
 COUNCIL DISTRICT 4
 4800 MCPHERSON ROAD

95-O-261 95-O-261
 95-O-261 95-O-261
 95-O-261 95-O-261

APPLICATION F 341
 B-3 (COMMUNITY BUSINESS DISTRICT)
 B-4 (HIGHWAY COMMERCIAL DISTRICT)



SURVEY MAP

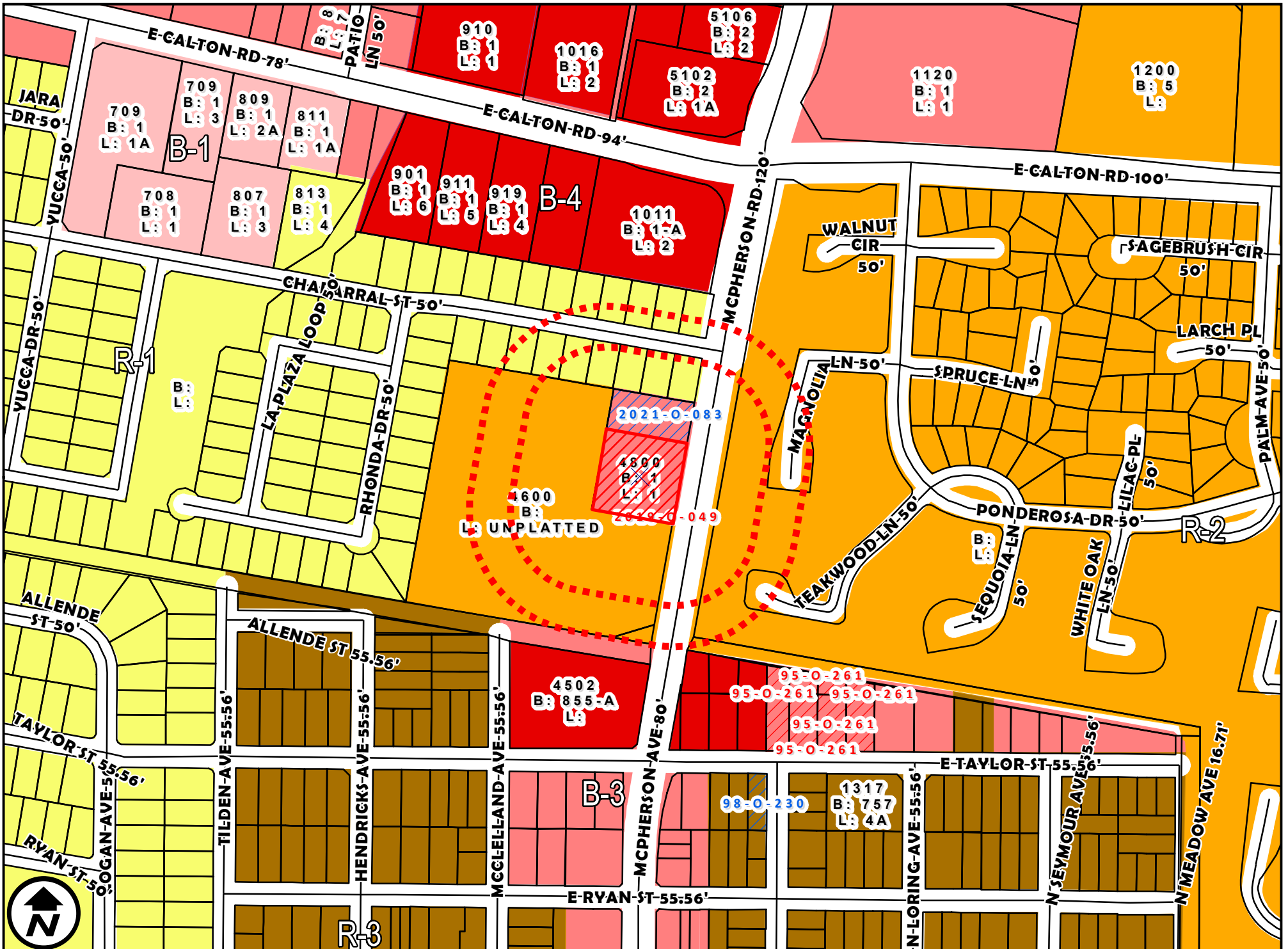
1 inch = 150 feet

ZC-036-2026

COUNCIL DISTRICT 4
4800 MCPHERSON ROAD

APPLICATION F 342

B-3 (COMMUNITY BUSINESS DISTRICT)
B-4 (HIGHWAY COMMERCIAL DISTRICT)

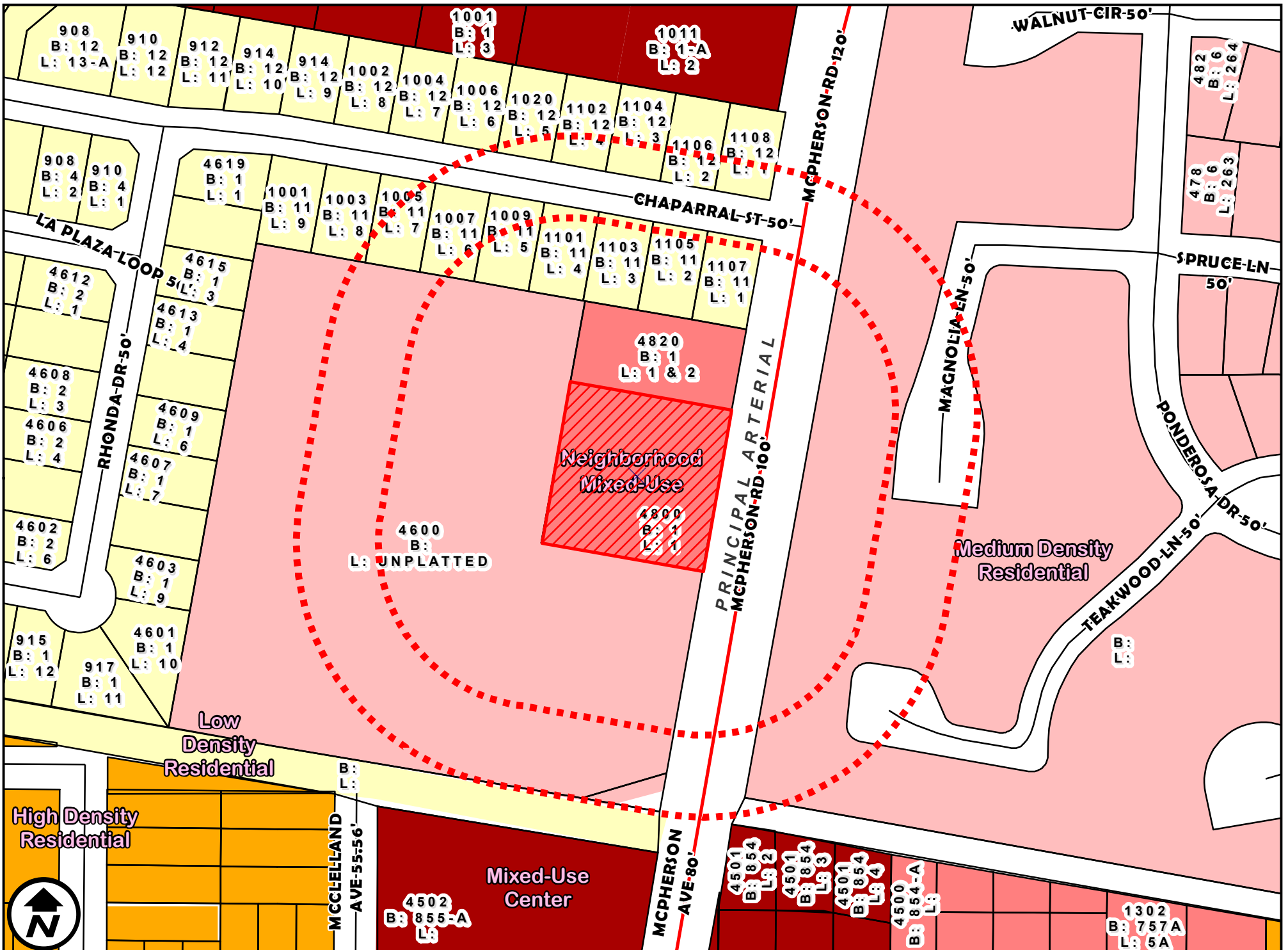


ZONING OVERVIEW

1 inch = 300 feet

ZC-036-2026
 COUNCIL DISTRICT 4
 4800 MCPHERSON ROAD

APPLICATION F 343
 B-3 (COMMUNITY BUSINESS DISTRICT)
 B-4 (HIGHWAY COMMERCIAL DISTRICT)

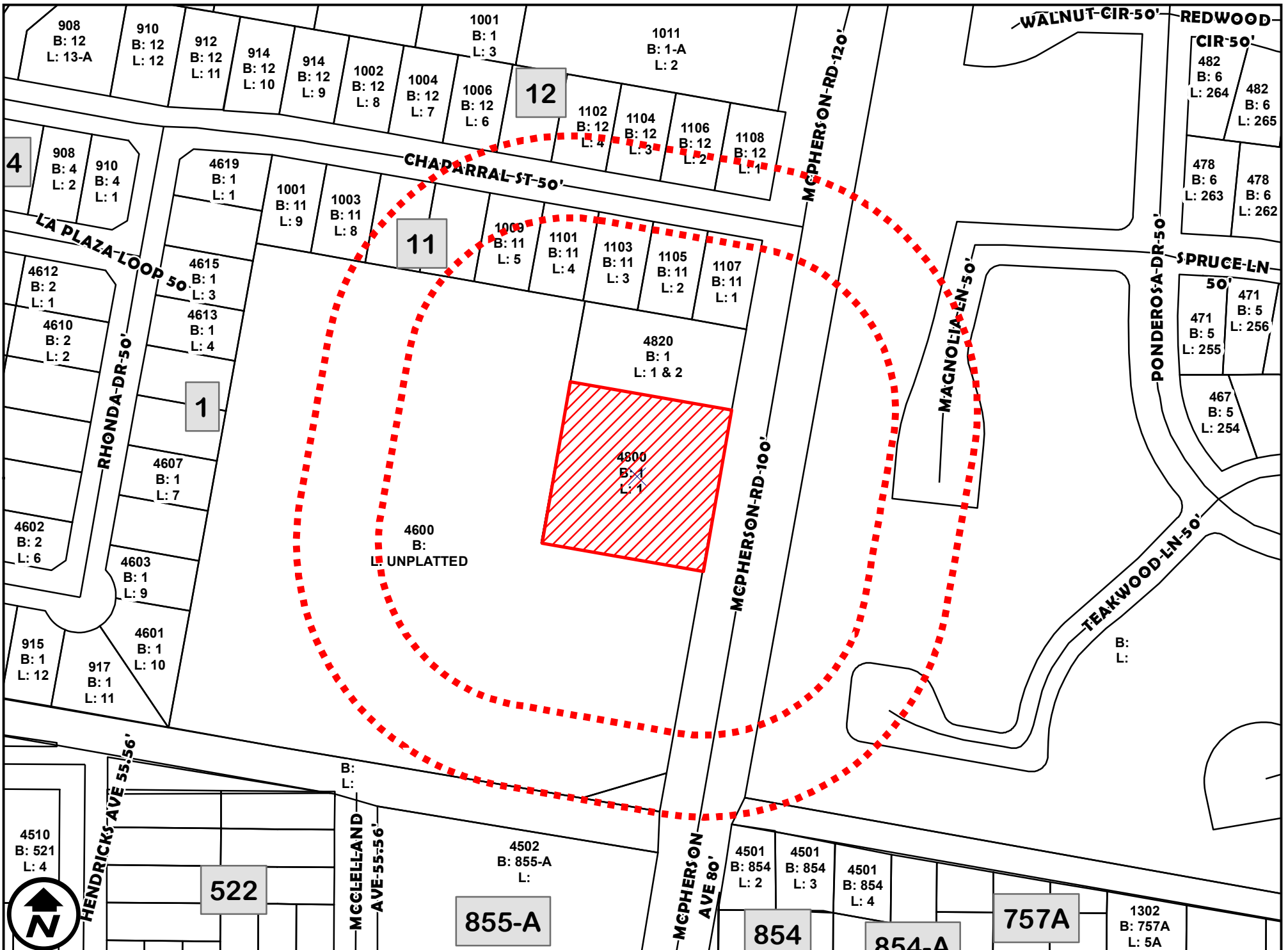


FUTURE LANDUSE

1 inch = 150 feet

ZC-036-2026
 COUNCIL DISTRICT 4
 4800 MCPHERSON ROAD

APPLICATION F 344
 B-3 (COMMUNITY BUSINESS DISTRICT)
 B-4 (HIGHWAY COMMERCIAL DISTRICT)



200' AND 300' NOTIFICATION

1 inch = 150 feet

ZC-036-2026
 COUNCIL DISTRICT 4
 4800 MCPHERSON ROAD

APPLICATION F 345
 B-3 (COMMUNITY BUSINESS DISTRICT)
 B-4 (HIGHWAY COMMERCIAL DISTRICT)



1. Level of Alignment

- Strong
 Moderate
 Weak/None – Lacks identifiable alignment or conflicts with existing verbatim goals or policies.
-

2. Supporting Goal(s)/Policy(ies)

Goal 1.3

“Ensure the Future Land Use Map and zoning ordinance are aligned and consistently applied.”

Page 60

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The Future Land Use Map designates the subject site as **Neighborhood Mixed-Use**, which explicitly excludes B-4 zoning districts. The proposed rezoning to B-4 directly conflicts with this designation and undermines the Plan’s directive for consistency between zoning and adopted land use policies.

Policy 6.1.2

“Promote compatibility between land uses and ensure appropriate transitions between differing land use intensities.”

Page 285

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

The proposed B-4 zoning allows for higher-intensity, regional-scale commercial uses. The site is surrounded by residential uses (single-family and multi-family), and the introduction of more intensive highway commercial uses would not provide an appropriate transition, thereby conflicting with this policy.

Policy 6.1.3

“Encourage mixed-use development in appropriate locations to reduce the need for driving, improve walkability, and increase neighborhood vibrancy.”

Page 285

Source: *Viva Laredo City of Laredo Comprehensive Plan*

Relevance:

Neighborhood Mixed-Use areas are intended to support walkable, neighborhood-serving uses. The proposed B-4 zoning promotes auto-oriented, regional commercial uses, which contradict the intent of creating pedestrian-friendly, integrated mixed-use environments.

3. Summary of Alignment

The proposed rezoning from B-3 to B-4 demonstrates **Weak/None** alignment with the *Viva Laredo Comprehensive Plan*. The Future Land Use Map designates the area as **Neighborhood Mixed-Use**, and **Goal 1.3** clearly requires that zoning decisions remain consistent with this designation. The introduction of B-4 zoning, which allows for more intensive, regional-scale commercial uses, directly conflicts with this framework.

Furthermore, the proposal does not satisfy **Policy 6.1.2**, as it fails to provide appropriate land use transitions between commercial and adjacent residential properties. The increase in intensity permitted under B-4 zoning raises concerns regarding **compatibility, traffic, noise, and neighborhood character**.

The proposal also contradicts **Policy 6.1.3**, which promotes walkable, mixed-use environments. B-4 zoning encourages auto-oriented development patterns that are inconsistent with the pedestrian-friendly and neighborhood-scale vision of the Comprehensive Plan.

Overall, the request introduces a higher-intensity zoning classification that is incompatible with both the Future Land Use Map and surrounding land uses, intersecting negatively with broader planning themes of **mobility, land use compatibility, and neighborhood livability**.

ORDINANCE NO.

AMENDING THE ZONING ORDINANCE (MAP) OF THE CITY OF LAREDO BY REZONING LOT 1, BLOCK 1, KIMBERLY PLAZA SUBDIVISION, LOCATED AT 4800 MCPHERSON ROAD, FROM B-3 (COMMUNITY BUSINESS DISTRICT) TO B-4 (HIGHWAY COMMERCIAL DISTRICT); PROVIDING FOR PUBLICATION AND EFFECTIVE DATE,

WHEREAS, a zone change has been requested by the owner on Lot 1, Block 1, Kimberly Plaza Subdivision, located at 4800 McPherson Road, from B-3 (Community Business District) to B-4 (Highway Commercial District); and,

WHEREAS, the required written notices were sent to surrounding property owners at least ten (10) days before the public hearing held before the Planning and Zoning Commission on March 19, 2026; and,

WHEREAS, the Planning and Zoning Commission, after a public hearing, has recommended **denial** of the proposed zone change; and,

WHEREAS, notice of the zone change request was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City of Laredo City Council on this matter; and,

WHEREAS, the City Council has held a public hearing on June 15, 2026 on the request and finds the zone change appropriate and consistent with the General Plan of the City of Laredo; and,

WHEREAS, the City Council does not consider the impact, if any, of private covenants and deed restrictions on the subject property with the adoption of this ordinance.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The Zoning Map of the City of Laredo is hereby amended on Lot 1, Block 1, Kimberly Plaza Subdivision, located at 4800 McPherson Road, from B-3 (Community Business District) to B-4 (Highway Commercial District).

Section 2: This ordinance shall be published in a manner provided by Section 2.09 (D) of the Charter of the City of Laredo.

Section 3: This ordinance shall become effective as and from the date of publication specified in Section 2.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Public Hearing & Introductory Ordinance 30.

SUBJECT

Public Hearing and Introductory Ordinance authorizing the City Manager to amend the City of Laredo's FY 2025-2026 budget by appropriating expenditures from a drawdown of \$11,250,000 from fund balance from the Sports and Community Venue Sales Tax Fund. The funds will be used to cover the cost of the Leyendecker Construction contract for the Phase 1B.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong Alignment

Supporting goal(s)/policy(ies):

- **Parks, Recreation, and Open Space Goals** - Expansion of recreational facilities and community gathering spaces.
- **Quality of Life Goals** - Enhancing amenities that improve resident health, wellness, and community engagement.
- **Community Development Goals** - Providing accessible public facilities that serve residents of all ages.
- **Youth and Family Services Objectives** - Increasing opportunities for youth sports, recreation, and community programming.

Summary of alignment: The Phase 1B improvements at Buena Vista Park directly advance the Viva Laredo Comprehensive Plan's goals of enhancing quality of life through expanded recreational opportunities and community amenities. The construction of multipurpose athletic fields, community playgrounds, concession and restroom facilities, administrative offices, parking infrastructure, and maintenance facilities will increase access to recreational services, support organized sports and community events, and provide gathering spaces for residents of all ages. These improvements contribute to the Plan's vision of developing high-quality parks and public spaces that promote healthy lifestyles, strengthen community connections, and improve overall livability throughout the City.

PREVIOUS COUNCIL ACTION

On June 15, 2026, City Council Adopted the fiscal year 2025-2026 annual budget.

On October 6, 2025, the Laredo City Council accepted completion of Phase 1 of the Buena Vista Sports Complex and directed city staff to proceed with evaluating and funding the deferred Phase 1 improvements (Phase 1B), including the playground, additional fields, maintenance yard, parking, and support facilities.

On August 5, 2024, Ratification of Guaranteed Maximum Price Amendment for FY21-ENG-015 Construction Manager-at-Risk (cost of the work plus a fee with a guaranteed maximum price) for the

City of Laredo Sports Complex Venue to Leyendecker Construction of Texas, Inc., in the amount not to exceed \$10,289,756.00 for the completion of full development of 10 synthetic turf infields and outfields. The construction contract amount including Change Order No.1 is \$45,000,000.00. Funding is available in the Sports & Community Venue Fund and 2021 Sports Venue Bond.

On June 5, 2023, City Council authorized City management to move forward with the 45 million dollars as discussed and amended.

On December 6, 2021, City Council awarded contract RFQ/RFP FY21-ENG-015 Construction Manager-at-Risk (cost of the work plus a fee with a guaranteed maximum price) for the City of Laredo Sports Complex Venue to Leyendecker Construction of Texas, Inc., in the amount not to exceed \$32,000,000.00, which includes \$2,406,244.00 for pre-construction phase services, and as a component of CMAR's Guaranteed Maximum Price (GMP) construction overhead, profit, and general conditions charges based on the 12-month project; and authorizing the City Manager to negotiate and execute all related contract documents contingent upon receipt and approval of insurance and bond documents. The CMAR will work with the architect and the City during the design process to ensure the feasibility and constructability of the Sports Complex Venue within the project budget. The CMAR will submit a proposed Guaranteed Maximum Price (GMP) for the construction of the project, which is within the City's construction budget. Funding is available in the 2021 Sports Venue Tax. City Secretary Valdez stated the following changes to the item for city council consideration: from \$32,000,000.00 to \$34,710,244.00 and from \$2,406,244.00 to \$2,710,244.00.

BACKGROUND

N/A

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council Approve the Public Hearing and Introductory Ordinance.

Fiscal Impact

Fiscal Year: 2026
Budgeted Y/N?: N
Source of Funds: Fund Balance
Account #: 256-7914-554-9919
Change Order: Exceeds 25% Y/N: Click or tap here to enter text.

FINANCIAL IMPACT:

	Amended budget	Revised budget	Variance
Opening balance	36,129,481	36,129,481	0
Revenues	15,616,109	15,616,109	0
Available	51,745,590	51,745,590	0
Expenses	23,576,133	34,826,133	11,250,000
Closing balance	28,169,457	16,919,457	(11,250,000)

PUBLIC HEARING AND INTRODUCTORY ORDINANCE

PUBLIC HEARING AND INTRODUCTORY ORDINANCE AUTHORIZING THE CITY MANAGER TO AMEND THE CITY OF LAREDO'S FY 2025-2026 BUDGET BY APPROPRIATING EXPENDITURES FROM A DRAWDOWN OF \$11,250,000 FROM FUND BALANCE FROM THE SPORTS AND COMMUNITY VENUE SALES TAX FUND. THE FUNDS WILL BE USED TO COVER THE COST OF THE LEYENDECKER CONSTRUCTION CONTRACT FOR THE PHASE 1B.

WHEREAS, on June 15, 2026, City Council Adopted the fiscal year 2025-2026 annual budget; and

WHEREAS, On October 6, 2025, the Laredo City Council accepted completion of Phase 1 of the Buena Vista Sports Complex and directed city staff to proceed with evaluating and funding the deferred Phase 1 improvements (Phase 1B), including the playground, additional fields, maintenance yard, parking, and support facilities;

WHEREAS, On August 5, 2024, Ratification of Guaranteed Maximum Price Amendment for FY21-ENG-015 Construction Manager-at-Risk (cost of the work plus a fee with a guaranteed maximum price) for the City of Laredo Sports Complex Venue to Leyendecker Construction of Texas, Inc., in the amount not to exceed \$10,289,756.00 for the completion of full development of 10 synthetic turf infields and outfields. The construction contract amount including Change Order No.1 is \$45,000,000.00. Funding is available in the Sports & Community Venue Fund and 2021 Sports Venue Bond.

WHEREAS, On June 5, 2023, City Council authorized City management to move forward with the 45 million dollars as discussed and amended.

WHEREAS, On December 6, 2021, City Council awarded contract RFQ/RFP FY21-ENG-015 Construction Manager-at-Risk (cost of the work plus a fee with a guaranteed maximum price) for the City of Laredo Sports Complex Venue to Leyendecker Construction of Texas, Inc., in the amount not to exceed \$32,000,000.00, which includes \$2,406,244.00 for pre-construction phase services, and as a component of CMAR's Guaranteed Maximum Price (GMP) construction overhead, profit, and general conditions charges based on the 12-month project; and authorizing the City Manager to negotiate and execute all related contract documents contingent upon receipt and approval of insurance and bond documents. The CMAR will work with the architect and the City during the design process to ensure the feasibility and constructability of the Sports Complex Venue within the project budget. The CMAR will submit a proposed Guaranteed Maximum Price (GMP) for the construction of the project, which is within the City's construction budget. Funding is available in the 2021 Sports Venue Tax. City Secretary Valdez stated the following changes to the item for city council consideration: from \$32,000,000.00 to \$34,710,244.00 and from \$2,406,244.00 to \$2,710,244.00.

WHEREAS, the total amount being drawn down from the Sports and Community Venue Sales Tax Fund is \$11,250,000.00;

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Public Hearing and Introductory Ordinance authorizing the City Manager to Amend the City of Laredo's FY 2025-2026 budget by appropriating expenditures from a drawdown of \$11,250,000 from Fund Balance from the Sports and Community Venue Sales Tax Fund. The funds will be used to cover the cost of the Leyendecker Construction contract for the Phase 1B.

Section 2: This Ordinance shall become effective upon passage thereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE 15 DAY OF JUNE, 2026.

Dr. Victor D. Treviño
Mayor

ATTEST:

Mario Maldonado, Jr.
City Secretary

APPROVED AS TO FORM:

Doanh T. Nguyen
City Attorney

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 31.

SUBJECT

Authorizing the City Manager to execute a Parcel Development master ground lease agreement between the City of Laredo and Freeman Holdings of Laredo, LLC, for a total of 95,688.2 square feet , made up of multiple tracts of land owned and operated by the airport, including: (1) a 1.37-acre ground lease tract for the construction and development of FBO improvements; (2) the existing Fuel Pad facility; and (3) Hangar 1309. The combined annual rent for all leased premises shall be \$213,040.84, consisting of: (i) annual ground rent of \$40,000.00 for the 1.37-acre tract; (ii) annual rent of \$13,322.40 for the Fuel Pad; and (iii) annual rent of \$159,718.44 for Hangar 1309. Rental amounts shall be adjusted in accordance with changes in the Consumer Price Index (CPI), in addition to periodic fair market rental value adjustments as provided in the applicable lease agreements. Lessee shall also be responsible to comply with fuel flowage fees and landing fees approved by the Laredo City Council; providing for severability; and providing for an effective date.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

The Laredo International Airport is proposing to enter into a parcel development ground lease agreement with Freeman Holdings of Laredo LLC, a limited liability corporation, for the purposes of constructing and developing a Fixed Based Operator (FBO) Facility at the Laredo International Airport. The Laredo International Airport currently has two FBO's that provide service to General Aviation aircrafts. In order to better service customer's landing at LRD, the airport is interested in developing a new FBO facility.

Freeman Holdings Group is assuming multiple leases from Barker Aeromotive, one of the FBO's at the Laredo International Airport. Barker Aeromotive, is a long term tenant of the Laredo International Airport who has remained in good standing. Freeman Holdings Group, LLC is proposing to develop an FBO facility on a 1.37 acre tract of land in an effort to expand the services Barker Aeromotive currently provides. Approving this lease will allow for the development of the new facility, as well as provide increased services at the Airport.

The break down of the tracts of property and the monthly/annual rents are as follows:

- (1) 1.37 acre tract of land - Monthly Rent: \$3,333.33; Annual Rent: \$40,000
- (2) Fuel Pad - Monthly Rent: \$1,110.20; Annual Rent: \$13,322.40
- (3) Hangar 1309 - Monthly Rent: \$13,309.87; Annual Rent:\$159,718.44

Combined Total Monthly Rent: \$17,753.40
Combined Total Annual Rent: \$213,040.84
Combined Total Square Feet: 95,688.2 sqft +/-

The Laredo International Airport is in support of the development of said project. If approved, this project will attract more aircrafts to the Laredo International Airport and will also create new jobs, leading to the stimulation of our economy.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

Policy 1.5.1: Encourage the development of new industrial areas and the redevelopment of existing older or marginal industrial areas.

Policy 9.2.5: Seek partnerships with cities in the broader region to cooperate on economic development initiatives.

Goal 9.3: Provide the necessary environment for local, regional, and international entrepreneurs to find success in Laredo.

Policy 9.3.10: Encourage the development of higher bandwidth networks throughout the city, especially those servicing the target industries identified herein.

Summary of alignment:

This lease agreement strongly supports Viva Laredo’s focus by advancing its core focus on industrial growth and economic diversification. It reinforces the plan’s emphasis on regional collaboration and entrepreneurship by attracting aviation, logistics, and international business activity while creating opportunities for both local and global operators. Additionally, the project supports the plan’s forward-looking focus on infrastructure and innovation by driving investment in modern, high-bandwidth systems essential for competitive, globally connected industries.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends the approval of this motion.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	N
Source of Funds:	Aeronautical Land Rent - Revenue
Account #:	242-000-361-2070
Change Order: Exceeds 25% Y/N:	N

FINANCIAL IMPACT:

Revenue collected will be allocated in the Laredo International Airport Fund revenue account: 242-0000-361-2070.

- (1) 1.37 acre tract of land - Monthly Rent: \$3,333.33; Annual Rent: \$40,000
- (2) Fuel Pad - Monthly Rent: \$1,110.20; Annual Rent: \$13,322.40

(3) Hangar 1309 - Monthly Rent: \$13,309.87; Annual Rent:\$159,718.44

Combined Total Monthly Rent: \$17,753.40

Combined Total Annual Rent: \$213,040.84

Combined Total Square Feet: 95,688.2 sqft +/-

LEASE BETWEEN
CITY OF LAREDO (“LESSOR”)
AND
FREEMAN HOLDINGS OF LAREDO, LLC (“LESSEE”)

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EXHIBIT A	Legal Descriptions
EXHIBIT A-1	1.37 Acre Tract
EXHIBIT A-2	Hangar 1309
EXHIBIT A-3	Fuel Pad
EXHIBIT B	FBO Insurance Requirements
EXHIBIT C	Airport Reporting Requirements

PARCEL DEVELOPMENT GROUND LEASE (FBO TRACT)

NOTE: This lease is subject to City Council approval and also constitutes a public document under the Texas Open Records Act, being subject to public inspection at any time hereafter.

STATE OF TEXAS §

COUNTY OF WEBB §

This PARCEL DEVELOPMENT GROUND LEASE (“Lease”) is made and entered into as of _____ (the “Effective Date”) by and between the City of Laredo, Texas, a home rule city, hereinafter referred to as “LESSOR” and FREEMAN HOLDINGS OF LAREDO, LLC, with registered address at 6021 Silver King Blvd, Unit 1201, Cape Coral, FL 33914 referred to herein as “LESSEE.”

BACKGROUND:

A. LESSOR currently owns and operates those premises known as the Laredo International Airport, sometimes referred to as “Airport” lying and situated within the incorporated limits of the City of Laredo, Webb County, Texas, and;

B. LESSOR has determined that it is advantageous to itself, its citizenry, and the operation of its airport to lease that certain parcel of land as further set forth as Exhibit “A” hereto (the “Parcel” or the “Premises”) to LESSEE, who then, pursuant to that certain Master Development Agreement dated effective as of even date herewith by and between LESSOR and LESSEE (the “Development Agreement”), will use commercially reasonable efforts to construct certain improvements for a Fixed-Base Operator.

C. LESSOR agrees to make available to LESSEE under separate instrument land at Airport’s south fuel farm location necessary to support the LESSEE’s fuel dispensing operations.

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, LESSOR and LESSEE agree as set forth below.

ARTICLE I: AGREEMENT

1.01 DEFINITIONS:

“Additional Rent”: shall have the meaning set forth in Section 1.09.

“Airport”: That certain area administered by LESSOR pursuant to Indenture from the United States of America to the City of Laredo, dated February 21, 1975, and consisting of all the area bounded by Saunders Avenue to the South, McPherson Avenue to the West, Lake Casa Blanca to the East and undeveloped land to the North, and being more particularly described in that certain Deed of Indenture filed in Volume 478 at page 471 of the Deed of Records of Webb County, Texas.

“Airport Laws”: shall have the meaning set forth in Section 2.02.

“Airport Parcel”: shall have the meaning set forth in Section 2.02.

“Base Annual Rent”: shall have the meaning set forth in Section 1.06 (A).

“Breach”: shall have the meaning set forth in Section 12.08 (A).

“Casualty”: shall have the meaning set forth in Section 6.05.

“Commencement Breach Notice”: shall have the meaning set forth in Section 3.02.

“Declaration”: shall have the meaning set forth in Section 2.01.

“Development Agreement”: shall have the meaning set forth in the recitals hereto.

“Effective Date”: shall have the meaning set forth in the recitals hereto.

“Extension Term”: shall have the meaning set forth in Section 1.05 (C).

“Full Insurable Value”: shall have the meaning set forth in Section 6.02 (A).

“Improvements”: shall have the meaning set forth in Section 1.04.

“Initial Term”: shall have the meaning set forth in Section 1.05.

“Lease Year”: shall have the meaning set forth in Section 1.06 (B).

“LESSEE Parties”: shall have the meaning set forth in Section 6.01(ii).

“LESSOR Parties”: shall have the meaning set forth in Section 6.01 (ii).

“Monetary Default”: shall have the meaning set forth in Section 7.01(A)(i).

“Mortgage”: shall have the meaning set forth in Section 8.01.

“Mortgagee”: shall have the meaning set forth in Section 8.01.

“Non-Monetary Default”: shall have the meaning set forth in Section 7.01(A)(ii).

“Occupancy Term”: shall have the meaning set forth in Section 1.05.

“Occupancy Term Effective Date”: shall have the meaning set forth in Section 1.06 (A).

“Parcel” or “Premises”: shall have the meaning set forth in the recitals hereto.

“Rent”: shall have the meaning set forth in Section 1.09.

“Security Plan”: shall have the meaning set forth in Section 10.08.

“Sublessee” shall mean any party to whom Lessee grants the right to possess all or any portion of the Premises according to a Sublease.

“Systems”: shall have the meaning set forth in Section 12.08 (A).

“Term”: shall have the meaning set forth in Section 1.05.

“TSA”: shall have the meaning set forth in Section 10.08.

1.02 APPLICABILITY OF TERMS OF CONTRACT:

Terms of this Lease are binding upon the heirs, executors, administrators, trustees, and assigns of LESSEE and LESSOR.

1.03 DESCRIPTION OF PREMISES:

LESSOR, in consideration of the covenants and agreements embodied herein and in ancillary documentation attached hereto or referenced herein, does hereby lease and demise the Premises specified in Exhibit “A” and more accurately depicted in Exhibits “A-1”, “A-2”, and “A-3” hereto to LESSEE.

LESSEE hereby affirms that, except for LESSOR’S representations and warranties set forth in this Lease, LESSEE agrees to accept the Premises in its “AS IS, WHERE IS, WITH ALL FAULTS” condition at its current grade, free of all debris, but otherwise in its present condition and without any representation or warranty, express or implied by or from LESSOR as to the condition of the Premises or the fitness of the Premises for LESSEE’s use or for the use of any sublessee. Further, LESSOR hereby covenants and agrees to provide LESSEE with any and all documentation and information requested or reasonably required by LESSEE in connection with the construction of the Improvements.

1.04 CONSTRUCTION OF IMPROVEMENTS:

LESSEE, at its own cost and expense, shall use all commercially reasonable efforts to obtain all permits and approvals necessary (collectively, the “Permits”) to construct certain improvements upon the Premises in accordance with the Development Agreement therefor (the “Improvements”), submitted to and approved by LESSOR pursuant to the Development Agreement, and shall construct the Improvements so that the Improvements shall be substantially completed in accordance with the schedule set forth in the Development Agreement, subject to reasonable amendments thereto in accordance with construction and other applicable delays.

1.05 TERM OF LEASEHOLD:

The term of this Lease shall consist of an “Initial Term” an “Occupancy Term” and one “Extension Term,” all of which collectively shall be referred to as the “Term.”

A. (i) The Initial Term for the property depicted in Exhibit "A-1" shall commence on the Effective Date hereof and continue up and until the earlier of the date LESSEE obtains a certificate of occupancy ("CO") for any of the Improvements or eighteen (18) months after the Effective Date. Neither Base Annual Rent nor Additional Rent shall be due and payable by LESSEE, nor shall Base Annual Rent or Additional Rent accrue, during the Initial Term with the following exception. Base Annual Rent and Additional Rent shall be payable on any Improvements for which a CO is issued during the Initial Term. Annual Rent and Additional Rent shall be pro-rated accordingly. Notwithstanding the provisions of Paragraph 1.06 below, prior to the first (1st) anniversary of the Effective Date LESSEE shall only pay Base Annual Rent, on a pro rated basis by square footage, for any of the Improvements on which LESSEE has received a CO from and after the date of receiving such CO for any particular Improvement.

(ii) During the Initial Term, LESSEE shall use commercially reasonable efforts to initiate construction of the Improvements consistent with the time frame agreed to by LESSOR and LESSEE.

B. The Occupancy Term for the property located on "Exhibit A-1" shall commence on the expiration date of the Initial Term and shall continue for a period of forty (40) years, unless sooner terminated in accordance with the terms and conditions set forth herein. LESSEE shall have the option to extend the Occupancy Term for one (1) additional period of nine (9) years, upon written notice to LESSOR provided not less than ninety (90) days prior to the expiration of the Occupancy Term, and subject to LESSEE not being in default under this Agreement at the time of exercise.

C. The Occupancy term for the properties depicted on "Exhibit A-2" and "Exhibit "A-3" shall commence upon the effective date here of, and shall continue for a period that runs concurrently with the property depicted on "Exhibit A-1". LESSEE shall have the option to extend the Occupancy Term for one (1) additional period of nine (9) years, upon written notice to LESSOR provided not less than ninety (90) days prior to the expiration of the Occupancy Term, and subject to LESSEE not being in default under this Agreement at the time of exercise.

D. Provided that LESSEE is not in any Event of Default as provided hereunder, LESSEE shall have deemed to exercise the right to extend the Occupancy Term for one (1) additional period of nine (9) years (the "Extension Term"), unless it gives LESSOR no less than six (6) months' notice as provided herein prior to the expiration of the then current term to extend the Occupancy Term for one (1) additional period of nine (9) years (the "Extension Term").

1.06 RENTAL OBLIGATION AND MODE OF PAYMENT:

A. Notwithstanding anything contained herein to the contrary, during the Initial Term applicable to the property depicted in "Exhibit A-1," LESSEE shall not be obligated to pay any Base Annual Rent or monthly rental installments to LESSOR. The parties expressly acknowledge and agree that no rental payments shall accrue or become due with respect to the property depicted

in “Exhibit A-1” until the commencement of the applicable Occupancy Term, at which time the rental obligations set forth herein shall become effective in accordance with the terms of this Agreement.

B. Because the Occupancy Term for the properties depicted in “Exhibit A-2” and “Exhibit A-3” shall commence immediately upon the Effective Date of this Agreement, LESSEE agrees to pay to LESSOR an annual basic rental of ONE HUNDRED AND SEVENTY-THREE THOUSAND AND FORTY DOLLARS AND EIGHTY-FOUR CENTS (\$173,040.84) (“Base Annual Rent”), payable in legal money of the United States of America. Such Base Annual Rent shall be paid in twelve (12) equal and consecutive monthly installments of FOURTEEN THOUSAND FOUR HUNDRED AND 20 DOLLARS AND SEVEN CENTS (\$14,420.07) each, with each monthly installment due and payable on the first day of each calendar month occurring during the applicable Occupancy Term and any Extension Term, as applicable.

C. Commencing on the date on which the Occupancy Term begins (the “Occupancy Term Effective Date”), LESSEE agrees to pay to LESSOR, an annual basic rental of TWO HUNDRED THIRTEEN THOUSAND FOURTY DOLLARS AND EIGHTY FOUR CENTS (\$213,040.84) (“Base Annual Rent”) in legal money of the United States of America with said Base Annual Rent to be paid exclusively during the Occupancy Term and any applicable Extension Term set forth herein. Base Annual Rent shall be paid by LESSEE to LESSOR, in twelve (12) equal and consecutive monthly installments of Seventeen Thousand Seven Hundred Fifty Three Dollars and Forty Cents (17,753.40) with each such monthly installment to be due and payable on the first day of each calendar month occurring during the Occupancy Term and any Extension Term, as applicable.

D. For each annual twelve-month period during the Occupancy Term and each Extension Term (a “Lease Year”), Base Annual Rent shall be adjusted on each successive anniversary of the Occupancy Term Effective Date (except during each tenth anniversary of the Effective Date when the rental will be adjusted according to paragraph C of this Section 1.06) by the percentage change in the CPI (as defined below) as of such anniversary date compared to the CPI on the previous anniversary date. For this purpose, CPI shall mean, the Consumer Price Index, U. S. Average, All Urban Consumers, All Items, 1984 = 100 (Dallas-Fort Worth-Arlington), as compiled by the Bureau of Labor Statistics. In no event shall the CPI increase for any Lease Year exceed seven (7%) percent. This means that at the third anniversary date of the Occupancy Effective Date, and every three years thereafter, the rent will be adjusted on the percentage change in the CPI of the preceding twelve-month period. Should the percentage change in the CPI be less than zero, then in such event the rental rate shall not be adjusted, and the previous annual rental shall continue for the next Lease Year. If publication of the CPI is discontinued, the parties agree to accept comparable statistics; provided, however, that such comparable statistics shall not be applied in any manner which results in a year-over-year increase in the Base Annual Rent in excess of seven (7%) percent.

E. (i) The Base Annual Rent shall be adjusted upward but not downward as of each tenth anniversary of the Effective Date to the then appraised fair market rental value of the Premises excluding any and all Improvements thereon, provided that no increase under the

foregoing will exceed ten percent (10%) of the Base Annual Rent then in effect prior to such adjustment. Such adjusted Base Annual Rent will in the year subsequent to such adjustment until this provision next applies as provided in paragraph (B) of this Section 1.06. Upon the thirtieth anniversary of the Effective Date, the Base Annual Rent shall be adjusted in accordance with this section and shall not be subject to the CPI adjustment set forth in Section 1.06 (B) hereof.

(ii) Should LESSOR and LESSEE be unable to agree on such value by the date of each tenth anniversary, then each shall appoint one qualified, experienced in aviation appraisals, and licensed, as applicable, real estate appraiser and the two appointed appraisers shall determine the value of the Premises (less the Improvements) and the fair market value shall be the average of the two appraisals provided such appraisals are within five percent (5%) of each other (the "Acceptable Margin"). In the event the two appointed appraisers do not find the Premises (less the Improvements) to be of a value within the Acceptable Margin with respect to the other appraiser's valuation, the appraisers shall mutually select a third qualified and licensed, as applicable, appraiser with commercially reasonable rates to value the Premises and the fair market value shall then be the average of the three appraisals.

(iii) All appraisals shall comply with the Uniform Standards of Professional Appraisal Practice. As used herein "qualified licensed aviation real estate appraiser" shall mean an appraiser licensed in the State of Texas with experience with appraising aviation real estate with an Appraisal Institute Member designation of MAI. Each party will bear the cost of their own appraisals. In the event a third appraiser is selected, then each party will share the cost of said appraiser equally.

1.07 LATE CHARGE:

A. Each installment of Base Annual Rent shall be payable no later than the third (3rd) day of each calendar month of the Occupancy Term and Extension Term, as applicable, without regard to notice, demand, setoff, deduction, defense, or counterclaim.

B. Except as otherwise provided in this Lease, the rental obligation of LESSEE shall be due and payable as provided in this Section and shall not be affected by circumstances or occurrences, but not limited to damages to or destruction of the Premises or any part of them, including improvements; use restrictions or interference with any use of the Premises or the like; claims of LESSEE against LESSOR; and notice of termination by either LESSOR or LESSEE.

C. Should LESSEE fail to pay when due any installment of rental, or any other sum payable to LESSOR under the terms of this Lease, then interest at the maximum legal rate then payable by LESSEE in the State of Texas, but not more than one and a half percent (1.5%) per annum, shall accrue from and after the date on which any such shall be due and payable, and such Interest shall be paid by LESSEE to LESSOR at the time of payment of the sum upon which such interest shall have accrued.

1.08 FUEL FLOWAGE FEE

A. Any change to the Fuel Flowage Fee for all fuel sold pursuant to the Defense Logistics Agency Energy Into-Plane Refueling Contract ("DLA Contract") shall

not take effect until the effective date of any new DLA Contract entered into by the LESSEE. If LESSEE does not enter into a new DLA Contract subsequent to receiving notification of the Fuel Flowage increase, the new Fuel Flowage Fee will take effect at the end of the then DLA Contact.

1.09 LEASEHOLD AD VALOREM TAXES AND UTILITIES:

A. LESSEE agrees to pay and discharge promptly, before delinquency, any applicable leasehold ad valorem taxes which may arise in connection with the leasehold estate established hereunder, including penalties and interest, or other impositions and government charges of any kind whatsoever that may be lawfully assessed against LESSEE or LESSOR, with respect to the Premises or any improvement.

This section does not preclude LESSEE from the assertion of any remedies available to it under the Texas Property Tax Code Annotated 41.41-42.28.

B. LESSEE will be responsible for developmental costs to improve the Premises including utility easement relocation, extensions, and upgrades required to service the Premises, including, but not limited to water, sewer, gas, electricity, and all other utilities to be used on the Premises.

C. This Section does not preclude LESSEE from the assertion of any remedies available to it under the laws of the State of Texas relating to the assessment and payment of leasehold ad valorem taxes with respect to the Premises.

1.10 TRIPLE NET LEASE:

This Lease is a “triple net” Lease during the Occupancy Term and any applicable Extension Term. The parties acknowledge and agree that LESSOR would not enter into this Lease if the Rent described in this Lease were not, from and after the commencement of the Occupancy Term, net to LESSOR or if LESSOR were to incur any liability whatsoever, foreseen or unforeseen, with respect to the Premises or any portion thereof, including the Premises and Improvements, or LESSEE’S exercise of any other of its rights under this Lease, with the exception of any liability that is directly and solely caused by the negligence or willful misconduct of LESSOR. Accordingly, as between LESSEE and LESSOR, except as specifically stated in this Lease, from and after the commencement of the Occupancy Term, LESSEE, shall pay all expenses, costs, taxes, fees, and charges of any nature whatsoever arising in connection with or attributable to the Premises, including without limitation, the Premises and the Improvements. All such taxes and assessments for any partial year during the Occupancy Term and the Extension Term, as applicable, shall be prorated between the LESSOR and LESSEE on the basis of the applicable tax fiscal year. LESSEE shall have the right to contest the amount or validity of any such imposition by appropriate legal proceedings, but this right shall not be deemed or construed in any way as relieving or modifying or extending LESSEE’S covenant to pay any such imposition at the time and in the manner as provided herein. LESSOR shall, upon request, join in any such proceedings if LESSEE determines that it shall be necessary or convenient for LESSOR to do so in order for LESSEE to prosecute properly such proceedings, but LESSOR shall not be subject to any costs or

expenses in connection with any such proceeding brought by LESSEE. LESSEE hereby covenants to indemnify and save LESSOR harmless from any such costs and expenses, including reasonable attorneys' fees and costs incurred in connection therewith. The term "Rent" as used herein shall mean collectively the Base Annual Rent set forth above and any other amounts payable to LESSOR under this Lease, including all sums set forth in Sections 1.08 and 1.09 hereof (collectively, the "Additional Rent").

1.11 PERMITTED USE AND LICENSES:

A. The Premises shall be used and occupied solely for Fixed Base Operator related functions and otherwise in connection with the plans and specifications of the Improvements, as may be altered following the Effective Date hereof.

B. LESSEE shall obtain and maintain in effect all Federal Aviation Administration required certificates and licenses, as applicable to the parcel or portion thereof leased by such sublessee, necessary to comply with the requirements of this Lease and provide and maintain all facilities, equipment and qualified personnel required by such licenses and certificates to provide the services and perform the functions authorized or required herein.

1.12 TAXES ON LEASE:

In addition to the rent paid above, and exclusively during the Occupancy Term and any applicable Extension Term, LESSEE shall pay to LESSOR all taxes and assessments to the extent attributable to this Lease or the Premises and due from and paid by LESSOR. LESSOR shall then pay those taxes to the respective taxation entity.

1.13 PEACEFUL POSSESSION AND QUIET ENJOYMENT:

Except for those cases in which the public health and safety demand otherwise, including, without limitation, those obligations set forth by the Airport Laws, LESSEE and sublessee shall have full and unrestricted access to and egress from the Premises. This privilege extends to LESSEE and its employees, customers, guests, invitees, suppliers of materials and service and its and their equipment, vehicles, machinery, and other property.

ARTICLE II: DEVELOPMENT OF PREMISES - REQUIRED IMPROVEMENTS

2.01 DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND ARCHITECTURAL DESIGN GUIDELINES:

All improvements constructed on the Premises which are situated on a tract on which aeronautical travel or maintenance operations are conducted (an "Airport Parcel"), including the Improvements, shall be done in conformity with the Declaration of Covenants, Conditions and Restrictions approved by Resolution No. 2006-R-014 dated February 21, 2006, as may be amended from time to time (the "Declaration").

2.02 AIRPORT LAWS:

All improvements constructed on the property, including the Improvements, shall be subject to all applicable Airport Laws and regulations and to all federal, state, and local laws, rules and regulations pertaining to the Airport and to federally-obligated airports in general (collectively, "Airport Laws").

2.03 TYPE OF CONSTRUCTION:

A. All buildings as part of improvements constructed on the property, including the Improvements, shall be constructed in accordance with the specifications set forth in the Development Agreement, subject to reasonable amendments thereto which may be required in connection with certain construction requirements.

B. All buildings as part of improvements constructed on the property, including the Improvements, shall conform to all local building codes, ordinances, and to the Declaration.

ARTICLE III: PREPARATION AND SUBMISSION OF PLANS FOR IMPROVEMENTS

3.01 GENERAL:

A. LESSEE has represented to LESSOR during the negotiations of this Lease and hereby represents to LESSOR that LESSEE shall erect and otherwise construct certain building(s) of the size specified in the Development Agreement upon the Premises. The parties hereto understand and acknowledge that the representation set forth herein is a part of the total consideration of this Lease.

B. If, during the Initial Term or at any time prior to the completion of the Improvements, LESSEE is unable to obtain or otherwise procure any one or more of the Permits needed to construct the Improvements, LESSEE may, in its sole and absolute discretion, terminate this Lease and shall not be obligated to pay any Base Annual Rent or Additional Rent contemplated hereunder, as applicable.

3.02 TIME PERIOD FOR COMMENCEMENT OF CONSTRUCTION:

A. LESSEE shall be provided twelve (12) months of receiving a fully executed lease for planning and designing of the Improvements ("Planning Period) for the property depicted as "Exhibit A-1". Upon expiration of the Planning Period, LESSEE shall seek full permitting of the project from applicable permitting entities. If LESSEE has not commenced the construction of any of the Improvements within 3-months of receiving permitting to allow for the initiation of construction, LESSOR may terminate this Lease upon the delivery of notice within ninety (90) days' immediately thereafter to LESSEE (the "Commencement Breach Notice"); provided, however, that if LESSEE uses commercially reasonable efforts to commence the construction following the delivery of the Commencement Breach Notice, said notice will be deemed withdrawn if construction is commenced within thirty (30) days thereafter.

3.03 ALTERATIONS, CONSTRUCTION OF ADDITIONAL IMPROVEMENTS:

A. Building or landscape alterations and the erection of additional structures on the Premises shall be subject to LESSOR'S approval, which shall not be unreasonably conditioned, withheld, or delayed. Plan submissions, approval, and time for completion of alterations and improvements shall be governed by the provisions of this Lease. LESSOR'S approval shall not be withheld in an arbitrary or otherwise unreasonable manner.

B. Any material alterations to structures, landscaping, or other improvements, without LESSOR'S written approval shall constitute a breach of this Lease that, if not remedied or timely cured in accordance herewith, shall constitute grounds for termination of this Lease by LESSOR insofar as LESSOR exercises the option to terminate set forth in this section within thirty (30) calendar days of the date on which LESSOR knew of any given alteration.

3.04 MAINTENANCE OF PREMISES AND IMPROVEMENTS:

A. LESSEE covenants that it shall commit no waste, nor shall it allow the commission of waste upon or to the Premises during the Term.

B. LESSEE agrees to maintain in a safe, clean, well-kept, and orderly condition the Premises surrounding said Improvements, which shall include all landscaping and outside appearances to the street curb and the Right-of-Way.

C. LESSEE shall maintain the Improvements in a good state of repair and condition and in a presentable condition. The exterior finish on the Improvements shall be repainted and refinished as necessary to maintain the appearance of the Improvements in "as new" condition and appearance as commercially reasonable.

D. LESSEE shall keep at all times during the Term the Premises, including the Improvements, in a clean and orderly condition.

E. LESSEE shall provide and maintain in good operable condition at all times during the Term all fire protection and safety equipment and all other equipment, as applicable, of every kind and nature required by any law, rule, order, ordinance, resolution, or regulation of any authority, including the City of Laredo and the LESSOR.

F. LESSEE shall observe all regulations and requirements of insurers on the Premises concerning the use and condition thereof for the purpose of reducing fire hazards and insurance rates on the Airport during the Term.

G. LESSEE shall repair at its sole cost and expense any damage caused thereby to paving or other surface of the Premises caused by any oil, gasoline, grease, lubricants or other flammable liquids and substances having a corrosive or detrimental effect thereon during the Term.

H. LESSOR confirms to LESSEE that LESSEE is authorized to sublease the Premises pursuant to the terms of this Lease and that LESSEE further is authorized to place primary responsibility for performing the obligations of this Section 3.04 to such sublessee. However, any failure by LESSEE or its respective sublessee to perform any of the obligations under this Section

3.04 shall constitute a default by LESSEE hereunder, subject to the applicable cure periods set forth in Article 7 hereof.

3.05 RIGHT OF ENTRY:

A. LESSOR may, during regular business hours and after providing reasonable notice to LESSEE, except in the case of an emergency as reasonably coordinated with LESSEE, enter the Premises for the purpose of ensuring LESSEE's compliance with plans and timetables for the construction of the Improvements upon the Premises as well as for ensuring compliance with certain restrictions and requirements embodied in this Lease.

B. LESSOR, as reasonably coordinated with LESSEE (except in the case of an emergency), reserves the right to inspect during regular business hours the Premises and Improvements and all equipment and vehicles of LESSEE used in its operations on the Airport for the purpose of determining whether or not fire and safety measures and regulations are being observed and to determine whether or not the improvements are being properly maintained in accordance with the requirements of this Lease. LESSOR reserves the right to prohibit the operation of any vehicle or equipment on the Airport that LESSOR reasonably determines to be in an unsafe condition. LESSOR reserves the right to require each vehicle operated on the Airport to be inspected and to obtain a permit or license authorizing such vehicle to operate on the Airport.

3.06 LESSOR COOPERATION:

From time to time and at any time during the Term of this Lease, LESSEE may request that LESSOR assist, cooperate, provide information, and otherwise be actively involved in efforts in furtherance of the construction of the Improvements, including, but not limited to, efforts in connection with the Texas Department of Transportation's road expansion efforts, which may from time to time affect and otherwise encumber the Premises. LESSOR shall not be under any affirmative obligation to provide such assistance but shall act in good faith with regard to any such request in order to timely facilitate the construction of the Improvements.

ARTICLE IV: USE RESTRICTIONS

4.01 GENERAL:

A. No land, alteration, or structure erected by LESSEE shall be used or occupied in any manner which would violate any Airport Laws, or could create the following conditions from prohibited uses:

1. Adversely affecting the health, comfort, or safety of members of the general public or other lessees of LESSOR; or
2. Adversely affecting the beneficial enjoyment and use of properties let to LESSOR's other lessees.

B. Prohibited uses include, but are not limited, those which create any of the following outside of the ordinary operation of the applicable facilities:

1. Fire hazards;
2. Explosive hazards;
3. Excessive noise, except that associated with normal aircraft activities;
4. Excessive vibration, except that associated with normal aircraft activities;
5. Excessive shock, except that associated with normal aircraft activities;
6. Smoke, dust, pungent odors, noxious emissions constituting air pollution;
7. Electrical disturbances; and
8. Excessive liquid or solid refuse, waste, or emissions.

4.02 ULTRA-HAZARDOUS ACTIVITIES INCLUDING FIRE AND EXPLOSIVE HAZARDS:

No ultra-hazardous activities including those creating fire or explosive hazards endangering life or property upon the Premises, shall be conducted upon the Premises by (or permitted by) LESSEE.

4.03 DUST CONTROL:

All ground areas not covered by structures shall be landscaped or surfaced with concrete, asphaltic concrete, asphalt oil or other dust-free surfacing. These areas shall be maintained in good condition by LESSEE and shall be at all times kept free of weeds, trash, dust, and other debris. They shall be drained and graded properly and in accordance with state and local building codes, as applicable. This dust control shall be accomplished before the issuance of a certificate of occupancy.

4.04 GLARE:

Any operation producing intense glare shall be performed within an enclosed or screened area in such a manner which prevents the glare so emitted from being discernible from any point on the property line of the Premises.

4.05 REFUSE AND TRASH:

No refuse or trash shall be kept, stored, or allowed to accumulate on the Premises for a concurrent period in excess of seven (7) calendar days.

4.06 SEWAGE DISPOSAL SYSTEMS:

No cesspool, septic tank or other sewage disposal system or device shall, at any time, be installed, maintained, or used upon the Premises.

**ARTICLE V: OBLIGATIONS IN CONNECTION WITH THE CONDUCT OF
CERTAIN BUSINESS**

5.01 LESSEE'S OBLIGATIONS:

LESSEE shall:

(a) Not divert or cause to be diverted any viable and qualified potential lessee of a portion of the property which comprises of the Airport in a manner in which causes such viable and qualified lessee to instead lease property not located at the Airport and located within fifty (50) miles of the Airport which otherwise results in a commercial gain or benefit realized by LESSEE during the Term hereof, unless there is not sufficient space at the Airport to reasonably lease needed space to a potential lessee.

(b) Maintain all books and records pertaining to this Lease in accordance with accepted accounting practice during the Term hereof and for such further period if LESSEE is required to maintain such records for a longer period by law, ordinance, administrative rule or judicial proceeding;

(c) Comply with all Airport Rules and Regulations and Airport Law, including but not limited to all rules and regulations of the FAA, the Texas Department of Transportation and other federal, state, and local laws, rules, regulations, ordinances and obligations, including without limitation all existing and future ordinances adopted by the City of Laredo (or any subsequent sponsor of the Airport); and

(d) Provide LESSOR with a copy of any notice, warning, summons, or other legal process for the enforcement of any laws, ordinances, rules, regulations, decisions, or orders materially affecting the Improvements during the Term within ten (10) business days of receipt thereof.

5.02 LESSOR'S OBLIGATIONS:

LESSOR shall:

(a) Within ten (10) business days after written request from LESSEE, or as soon as approved by the City of Laredo, LESSOR shall execute and deliver any document reasonably required by any supplier, lessor, or lender in connection with the granting, creating, or perfecting by LESSEE of a security interest in and to the Leasehold Improvements, LESSEE's leasehold interest under this Lease and/or LESSEE's personal property, and/or any trade fixtures, furniture, fixtures and equipment, inventory, signs or other personal property installed by LESSEE, Sublessee or transferee, and any proceeds therefrom, pursuant to which LESSOR shall waive, or subordinate, as the case may be, any rights it may have or acquire with respect to such items, and any proceeds therefrom.

(b) Provide LESSEE with a copy of any notice, warning, summons, or other legal process for the enforcement of any laws, ordinances, rules, regulations, decisions, or orders materially affecting LESSOR's operations at the Premises during the Term within five (5) business days of receipt.

(c) Provide LESSEE, and their clients, as applicable, with access to certain portions of the Airport tract and applicable facilities in furtherance and support of LESSEE's provision of one or more of the following services, including, but not limited to, LESSORS grant of ingress and egress, access to certain portions of the Airport, and inclusion in certain Airport programs:

- i. Aircraft Maintenance: Specialized and normal aircraft installation or repair services (avionics, propellers, instruments, accessories, engines, modifications, etc.).
- ii. Flight Services: aircraft charter, air taxi operations, aerial sight-seeing, aerial advertising, aerial photography, pipeline patrol, air ambulance, and other services normally provided by fixed based operators.
- iii. Aircraft Rentals: Provision of aircraft for lease/rental by FAA-certified pilots.
- iv. Aircraft Sales: The sale of new or used aircraft.
- v. Flight Instruction: Flight training and rental aircraft for FAA pilot ratings.
- vi. Ramp Service: Ramp service at the main terminal or other Airport locations, including into-plane delivery of aircraft fuel, lubricants, and other related aviation products; and providing of ramp equipment, aircraft cleaning and other services for persons or firms.
- vii. Catering: Provision of food and beverages for aircraft and concierge services.
- viii. Heating & De-icing: Airframe de-icing service and may make available engine preheat service.
- ix. Oxygen and other Gases: Provision of Oxygen (suitable for human use) and nitrogen service.
- x. Engine Starting: Provision of aircraft engine starting services with external ground power equipment suitable for use with 12- and 28-Volt aircraft systems.
- xi. Fueling: Fuel storage and dispensing.

Notwithstanding the foregoing, the Fuel Storage Facility (defined herein) is to be occupied solely for the purpose of storage and dispensing of aviation fuels for fueling aircraft, fueling of GSE, and no other use of the leased premises is permitted.

ARTICLE VI: INDEMNITY AND INSURANCE

6.01 INDEMNIFICATION:

LESSEE agrees to protect, defend, indemnify and hold LESSOR harmless from and against any and all loss, damage and liability arising from (i) LESSEE's failure to perform and observe its covenants hereunder, or (ii) any act or omission of LESSEE or its officers, agents, employees, independent contractors, licensees, sublessees and the sublessees' employees, concessionaires or assignees (collectively, "LESSEE Parties") causing loss or damage to the Premises or a claim or cause of action against LESSOR arising out of the obligations of LESSEE set forth in this Lease; provided that the terms of the foregoing indemnity shall not apply to the gross negligence or willful misconduct of LESSOR or its officers, agents, employees, independent contractors, licensees, concessionaires or assignees (collectively, "LESSOR Parties").

6.02 PROPERTY AND OTHER INSURANCE:

A. LESSEE, at its sole cost and expense shall, throughout Term of this Lease, keep or cause to be kept on all Improvements now or hereafter located upon the Premises, upon their construction, respectively, insurance for the benefit of LESSEE against loss or damage, including Property Insurance Coverage with a limit of 100% of the insurable replacement costs of the property on a special cause loss form with a \$500,000 extra expense limit for demolition and debris removal. LESSEE shall be the named insured with the LESSOR being named as an additional named insured to protect by fire and against loss or damage by other risks embraced by "extended coverage" and against civil commotions, riots, vandalism and malicious mischief and all risk of direct physical loss, including flood and earthquake in an amount equal to the actual replacement cost of such improvements, including costs of replacing excavations and foundations, but without deduction for depreciation (hereinafter called "Full Insurable Value"). In the event a dispute arises as to the Full Insurable Value which cannot be resolved by agreements, an appraisal of the Premises and improvements thereon shall be made by an appraiser selected by the LESSEE to determine the Full Insurable Value as defined in this provision. The resulting determination shall be conclusive between the parties for the purpose of this Section. The expense of this appraisal shall be borne by LESSEE.

B. LESSEE shall, at its sole cost and expense, obtain insurance compliant with the requirements set forth in Section 6.06.

6.03 OBLIGATION OF LESSEE IN CONNECTION WITH CONSTRUCTION:

During the term of this Lease, should the Improvements be damaged or destroyed in whole or in part by fire or other casualty, LESSEE shall give prompt notice to LESSOR. LESSEE, at its own cost and expense, shall promptly repair and rebuild the same to the extent as the prior value of, and as near as is practicable to the character of the buildings and improvements existing immediately prior to such damage. Such repairs, replacements or rebuilding shall be made by LESSEE and in accordance with the following terms and conditions.

A. Where applicable and prior to commencing related repairs LESSEE shall prepare or cause to be prepared, final working plans and specifications and shall submit the same to appropriate governmental agencies for approval. Upon approval by such agency and the issuance of permits for the commencement of construction, LESSEE shall deliver to LESSOR one complete

set of the final working plans and specifications as approved by the appropriate governmental agencies

B. LESSOR may require LESSEE's subcontractor, to furnish a performance and payment bond.

C. Upon compliance with the foregoing, and after settlement shall have been made with the insurance company or companies, and said proceeds of such insurance policy or policies shall have been paid to LESSEE. LESSEE shall commence such repair, replacement or rebuilding within a reasonable time and shall continue such work with reasonable diligence until completion.

6.04 INSURANCE PROCEEDS:

A. Upon receipt by LESSEE of the proceeds of the insurance policy or policies, LESSEE shall deposit same in an escrow account to pay for the cost of such repair, replacement, or rebuilding. Such proceeds shall be disbursed by LESSEE during construction to pay the cost of such work. Notwithstanding the foregoing, if the terms of financing on the Improvements require different handling of such insurance proceeds, such terms will apply.

B. If the amount of such insurance proceeds is insufficient to pay the costs of the necessary repair, replacement or rebuilding of such damaged improvements, LESSEE shall pay any additional sums required, and if the amount of such insurance proceeds is in excess of the costs thereof, the amount of such excess shall be retained by LESSEE.

6.05 DAMAGE TO OR DESTRUCTION OF PREMISES:

Should the Improvements be damaged by fire or other casualty (any of such causes being referred to herein as a "Casualty"), but the Premises shall not be thereby rendered untenable (i.e. untenable meaning LESSEE is not able to conduct its regular business in the whole of the Premises without interruption or interference), LESSEE shall promptly remove any resulting debris and repair/rebuild the Improvements to the condition existing immediately prior to the Casualty, and there shall be no abatement of Rent specifically in connection therewith and without reference to any other applicable abatement period set forth hereunder. If, as a result of a Casualty, the Premises or any part thereof, shall be rendered untenable (i.e. LESSEE shall not be able to conduct its regular business in the whole of the Premises without interruption or interference), then, LESSEE shall, at LESSEE's sole cost and expense, with due diligence, remove any resulting debris and repair/rebuild same to the condition existing immediately prior to the Casualty. All prepaid Rent and other charges, if any, paid by LESSEE for periods after the date of such damage or destruction shall be refunded and/or prorated based on the portion of the Premises rendered untenable during the period of untenability. If LESSOR does not commence the repair and restoration work required pursuant to this Section 6.05 within sixty (60) days after the date upon receiving any and all permits or thereafter does not diligently pursue such work to completion, then LESSOR shall have the right, at LESSOR's option, to either: (i) upon ten (10) days prior notice to LESSEE, perform such repair/restoration work at the sole cost of LESSEE, which cost LESSEE shall pay to LESSOR during the course of such repairs within ten (10) days of invoice by LESSOR; (ii) seek to obtain specific performance of LESSEE's repair and restoration

obligations pursuant to the laws of the State of Texas; or (iii) terminate this Lease by thirty (30) days written notice to LESSEE, without waiving LESSOR's rights to damages for LESSEE's failure to perform its covenants and obligations hereunder.

6.06 CONTENTS

LESSEE shall cause Insurance to remain on the contents of the building improvements and on the Premises for the entire term of the Lease.

6.07 LIABILITY INSURANCE:

A. In addition to the insurance required under Exhibit "B", at the time specified for each below, LESSEE, at its sole expense, shall obtain, or cause Sublessee to obtain and keep in force at all times during the term of this Lease, liability insurance issued by a company or companies of sound and adequate financial responsibility, authorized to do business in the State of Texas, by policies meeting the requirements of the laws of the State of Texas, of the following types and minimum amounts:

1. As of the Effective Date, Aviation General Liability insurance at minimum combined single limits of \$1,000,00.00 per occurrence and \$2,000,000.00 general aggregate for bodily injury and property damage, which coverage shall include products/completed operations (\$2,000,000.00 products/completed operations aggregate), and XCU (Explosion, Collapse, Underground) hazards. Coverage must be written on an occurrence form. Contractual Liability must be maintained covering LESSEE'S obligations contained in the contract. The general aggregate limit must be at least two (2) times the each-occurrence limit. LESSEE shall cause its sublessee to comply Airport Minimum Insurance requirements specified in Exhibit "B" (FBO Insurance).
2. As of the Effective Date, Workers Compensation insurance at statutory limits, including Employers Liability coverage at minimum limits of \$1,000,000 each-occurrence each accident/\$1,000,000 by disease each-occurrence/\$1,000,000 by disease aggregate.
3. As of the Effective Date, Commercial Automobile Liability insurance at minimum combined single limits of \$1,000,000 per-occurrence for bodily injury and property damage, non-owned, and hired car coverage.
4. Should LESSEE regularly have one or more of its aircraft on the Premises, for those facilities in which aircraft are stored or maintained, Hangarkeepers Legal Liability, at minimum limits of \$2,000,000 per-aircraft/\$2,000,000 per-occurrence.
5. As of the Effective Date Umbrella Liability levels of \$5,000,000 each occurrence and aggregate with respect to the Primary Commercial General Liability Insurance.
6. Prior to the commencement of construction of the Improvements, Pollution Insurance in a minimum amount of \$1,000,000.

7. In the event that LESSEE acquires aircraft during the term of this Lease, LESSEE shall provide LESSOR with related adequate insurance coverage as per LESSOR'S requirements.

B. Each of the above policies, with the exception of the workers' compensation policy, shall include LESSOR as a named additional insured and provide under contractual liability coverage for the covenants and indemnification of LESSOR under the terms of this Lease. In addition, each policy shall be endorsed to be primary and non-contributory regardless of the application of other insurance. The naming of LESSOR as an additional insured in such policies of liability insurance shall not thereby cause LESSOR to be deemed a partner or joint venture with LESSEE in its business conducted on the Airport.

C. Each of the above insurance policies shall contain a waiver of subrogation in favor of LESSOR.

D. General Comprehensive Public Liability Insurance Policy shall protect LESSOR against any and all liability created by reason of LESSEE'S conduct incident to use of the Airport, or resulting from any accident occurring on or about the roads, driveways or other public areas of the Airport, including the runways, taxiways and ramps used by LESSEE at the Airport to the extent of the coverage amounts set forth in such policy as required hereunder.

E. Said policies of insurance shall be performable in Webb County, Texas, and shall be construed in accordance with the laws of the State of Texas.

F. Certificates, in duplicate, of all insurance coverage required of LESSEE or Sublessee shall be promptly filed with LESSOR. Such certificates shall provide therein that the policies of insurance referred to in such certificates shall not be subject to cancellation by insured except after delivery of written notice by certified mail to LESSOR at least thirty (30) days prior to the effective date of cancellation or material change. In such event LESSEE shall procure the insurance required by this Lease prior to the cancellation of the existing insurance policy(s). LESSEE shall provide LESSOR with all certificates of insurance complying with this Lease required upon execution hereof within ten (10) days of the execution of this Lease and annually thereafter prior to the renewal of such insurance upon request by LESSOR. LESSEE shall provide LESSOR with a certified copy of each policy of insurance requested of LESSEE.

G. Should LESSEE fail or refuse to obtain and keep in full force and effect the insurance required by this section, LESSOR may either terminate this Lease or suspend LESSEE'S rights hereunder after providing LESSEE fifteen (15) days notice to cure.

H. LESSOR reserves the right to increase the amounts of insurance coverage described here-in-above, and to require any additional riders or provisions in said policies or certificates as shall be considered reasonably necessary by LESSOR and consistent with the terms and conditions of this Lease, provided, however, that the LESSOR may only exercise its right under the foregoing upon six (6) months' notice to LESSEE and any such change must be in line with requirements at comparable facilities at comparable airports and, in any event, not more burdensome than applicable to comparable tenants at the Airport.

I. LESSEE agrees that any subcontractor(s) hired by LESSEE in connection with the construction of the Improvements who is performing construction duties within the fence inside of the air operations area (AOA) shall be required to maintain insurance coverages as are required of LESSEE hereunder and which are applicable to such subcontractor in connection with the specific services rendered by such subcontractor. Subcontractor(s) hired by LESSEE in connection with the construction of the Improvements who are performing construction duties outside of the (AOA) shall be required to maintain Commercial General Liability insurance coverages as required of LESSEE hereunder and which are applicable to such subcontractor in connection with the specific services rendered by such subcontractor.

6.08 INSURANCE POLICIES AND MODIFICATIONS:

A. LESSEE will cause certificates evidencing the insurance required under Section 6.02 (B) to be deposited no later than five (5) days prior to the commencement of construction of the Improvements.

B. LESSEE will cause certificates of all insurance policies required under Section 6.02 (A) and Section 6.07 to be deposited with LESSOR no later than thirty (30) days following the completion of the construction of the Improvements.

ARTICLE VII: DEFAULT

7.01 DEFAULTS OF LESSEE:

(A) The following shall constitute “Events of Default” by LESSEE under this Lease.

(i) LESSEE shall not have paid Rent or any other amount payable by LESSEE pursuant to this Lease when due (a “Monetary Default”), provided however, that not more than two (2) times during any Lease Year LESSOR shall provide LESSEE with written notice of such failure to pay Rent or any other amount and LESSEE shall have ten (10) business days following the date of such notice until the failure to pay shall constitute a “Default” hereunder; or

(ii) LESSEE shall not have performed any of the other material covenants, terms, conditions or provisions of this Lease within ten (10) days after LESSEE’S receipt of written notice specifying such failure; provided, however, that with respect to those failures that cannot with due diligence be cured within such ten (10) day period, LESSEE shall not be deemed to be in default hereunder if LESSEE commences to cure such default within such ten (10) day period and thereafter continues the curing of such default with all due diligence (a “Non-Monetary Default”), but in no event longer than sixty (60) days, unless approved by LESSOR in writing, which will not be unreasonably withheld; or

(iii) LESSEE files, or there is filed against LESSEE, a petition (which is not dismissed, or dispositive motions are not filed in connection therewith, within ninety (90) days in bankruptcy or a petition or answer seeking reorganization under the Federal Bankruptcy Code or any other applicable statute; or

(iv) an order is entered adjudicating LESSEE bankrupt or approving an involuntary petition seeking a reorganization of LESSEE under the Federal Bankruptcy Code or any other applicable statute or appointing a receiver, trustee or conservator for all or any substantial part of the property of LESSEE, and the order is not vacated or stayed within ninety (90) days of entry; or

(v) LESSEE makes a general assignment for the benefit of creditors; or

(vi) this Lease or the Premises or any part of the Premises is taken upon execution or by other process of law directed against LESSEE, or is taken upon or subjected to any attachments by any creditor of LESSEE or claimant against LESSEE, and the attachment is not discharged within sixty (60) days after its levy. Upon the occurrence of a Default (provided LESSOR has not thereafter accepted a cure for such Default), then LESSOR shall have the remedies set forth below; or

(vii) LESSEE permits the Premises or any part thereof to be used for any unauthorized or any unlawful business purpose following five (5) days' notice of such unauthorized or unlawful use by LESSOR.

(B) Should LESSEE commit an Event of Default, LESSOR shall provide notice of any Default hereunder to LESSEE and grant LESSEE the right to remedy and cure any such Default within the same time frames as are permitted to LESSEE. Thereafter, should any Default remain uncured, LESSOR shall have the right to pursue any one or more of the following remedies:

(i) Terminate this Lease.

(ii) Terminate LESSEE'S right to possess the Premises by re-entering the Premises after due legal process and court order, without terminating this Lease and recover actual (but not consequential or special) damages.

(iii) Perform any of LESSEE'S obligations under this Lease, and LESSEE shall reimburse LESSOR within ten (10) days after written demand for all out of pocket, documented costs incurred by LESSOR in doing so. *Notwithstanding the aforesaid, should LESSOR determine in its sole reasonable judgment that LESSEE is not in compliance with any aspect of the Security Plan, LESSOR shall have the right immediately to perform any of the obligations there under and receive reimbursement as provided herein.*

(iv) Obtain injunctive or other equitable relief, or exercise any other remedy provided herein (provided LESSOR shall in no event be entitled to consequential, special, or punitive damages).

(C) No notice from LESSOR under this Lease will constitute an election by LESSOR to terminate this Lease unless the notice specifically says so. Upon the delivery of a valid and timely termination notice as set forth herein, LESSOR may elect to terminate this Lease, reenter the Premises, and take possession thereof, without prejudice to any other remedy which LESSOR may have under this Lease. In such event, LESSEE shall surrender and deliver up the Premises to

LESSOR and upon any default by LESSEE in so doing, LESSOR shall have the right to recover possession by summary proceedings, and to apply for the appointment of a receiver or for other ancillary relief in such action.

(D) In the event of any termination of this Lease in accordance with the provisions of this Section, LESSEE shall pay to LESSOR all Rent due and payable at that point in time and not thereafter, and other sums required to be paid by LESSEE to and including the date of such termination. In addition, if LESSOR terminates this Lease, LESSEE shall be liable to LESSOR for, and shall pay to LESSOR, as damages, an amount equal to the Rent required herein during the period from the date of such expiration, termination, reentry or repossession to and including the end of what would have been the Term of this Lease in the absence of such termination, discounted at the then-current Prime Rate. "Prime Rate" shall mean the rate (or the average of rates, if more than one rate appears) inserted in the blank of the "Money Rate" section of the Wall Street Journal (Eastern Edition), or any successor publication or index.

(E) LESSOR may elect to not terminate this Lease, but rather reenter the Premises and take possession thereof and relet the Premises, or any part thereof. In such event, LESSOR shall have no legal obligation to mitigate its damages resulting from the occurrence of such Default. LESSOR shall have no rights to any and all business personal property of LESSEE including proprietary and trademarked assets. Additionally, LESSOR shall not use LESSEE branding nor shall LESSOR represent Premises, or any part thereof, to be affiliated with LESSEE in name or any visual image.

(F) In recovering its damages hereunder, LESSOR need not commence separate actions to enforce LESSEE'S obligations under this section or wait until the days on which Rent would be payable under this Lease but may recover its damages in one legal action, provided that any lump sum payment shall be discounted at the current Prime Rate, as set forth above.

(G) No right or remedy conferred upon or reserved to LESSOR in this Lease is intended to be exclusive of any other right or remedy. Each and every right and remedy shall be cumulative and in addition to any other right or remedy given under this Lease or existing at law or in equity. No waiver or assent, express or implied, to any breach of LESSEE'S covenants hereunder shall be deemed a waiver of any breach of any other covenants under this Lease or a waiver of any succeeding breach of the same covenants. No waiver shall be deemed to have been given by LESSOR'S failure to enforce the terms of this Lease strictly, including, without limitation, LESSOR'S failure to collect any Base Annual Rent or other sums due under this Lease, unless such waiver shall be in writing and shall state the specific act or failure which LESSOR has agreed not to treat as a Default.

7.02 RIGHTS TO CURE.

LESSOR shall have the right, but shall not be required, to pay such sums or do any act which requires the expenditure of monies which may be necessary or appropriate by reason of the default of LESSEE, to perform any of the provisions of this Lease. In the event of the exercise of any such right by LESSOR, LESSEE agrees to pay to LESSOR forthwith upon demand all such sums, as additional rent. If LESSOR exercises its cure rights, LESSEE agrees to pay to LESSOR upon demand all such sums, as additional rent, as well as interest on such sums at the Interest Rate

from the date incurred by LESSOR until the date paid by LESSEE. If LESSOR exercises its cure rights, LESSEE agrees to pay to LESSOR upon demand all such sums, as well as interest on such sums at the Interest Rate from the date incurred by LESSOR in connection with actions taken by LESSOR for which it is expressly entitled to initiate hereunder.

ARTICLE VIII: ENCUMBRANCES

8.01 ENCUMBRANCES:

A. LESSEE may encumber its rights hereunder by the execution and delivery of a mortgage. As used herein the term “Mortgage” includes a deed of trust, indenture, secured loan or the like, and the term “Mortgagee” includes the beneficiary thereunder. The Mortgagee of such Mortgage may deliver to LESSOR a written notice specifying:

1. The amount of the obligation secured by the Mortgage and the date of the maturity or maturities thereof, and

2. The name and address of the Mortgagee.

B. Simultaneously with the sending of any notice to LESSEE, LESSOR shall deliver to the Mortgagee pursuant to the terms of Section 12.18 a copy of every notice or demand served by LESSOR upon LESSEE under the terms and provisions of this Lease so long as such mortgage is in effect.

C. LESSOR agrees to execute and deliver with reasonable promptness such consents, estoppels and certifications as LESSEE may reasonably require in connection with obtaining and maintaining a Mortgage.

D. LESSOR agrees to execute and deliver with reasonable promptness such memoranda of this Lease as LESSEE may reasonably require, including in connection with obtaining a Mortgage.

8.02 LEASEHOLD LIENHOLDER’S RIGHTS:

LESSEE will not create or permit to be created or to remain, and will promptly discharge, at its sole cost and expense, any lien, encumbrance or charge upon the Improvements (or to the Premises, to the extent that the LESSEE is responsible), any part thereof, which arises out of the use or occupancy of the Improvements (or to the Premises, to the extent that the LESSEE is responsible) by LESSEE or by reason of any labor or materials furnished or claimed to have been furnished to LESSEE or by reason of any construction, addition, alteration or repair of any part of the Improvements (or to the Premises, to the extent that the LESSEE is responsible) by LESSEE. LESSEE shall be permitted, upon prior written approval of LESSOR, to create a security interest in LESSEE’s leasehold estate, which at all times shall be subordinate to and subject to all rules and regulations that pertain to LESSOR in its capacity as a commercial airport. If any such lien is filed against the Improvements other than an approved leasehold deed of trust (or to the Premises, to the extent that the LESSEE is responsible), within thirty (30) days after LESSEE’s notice of the filing thereof, LESSEE shall cause such lien or claim to be released or discharged with respect to

the Improvements (or to the Premises, to the extent that the LESSEE is responsible) by payment or bonding. Notwithstanding anything to the contrary set forth in this Lease, in no event shall the interest of LESSOR in all or any part of the Improvements (or to the Premises, to the extent that the LESSEE is responsible) be subject to any construction, mechanics', materialmen's, laborers' or other statutory or common law lien for Improvements or work made or done by or at the instance of LESSEE, whether or not the same shall be made or done with the consent of LESSOR, which shall not be unreasonably withheld or delayed, or by agreement between LESSEE and LESSOR.

ARTICLE IX: TERMINATION, CANCELLATION, ASSIGNMENT, AND TRANSFER

9.01 TERMINATION:

This Lease shall terminate automatically, without any notice or other action, at the end of the Term, subject to the renewal options set forth herein.

9.02 NO ASSIGNMENT OR TRANSFER:

LESSEE shall not have the right or privilege to assign or transfer this Lease to any party without the prior written approval of LESSOR, which shall not be unreasonably withheld or delayed; provided, however, that LESSEE may assign portions of its leasehold estate evidenced by this Lease pursuant to certain subleases as between LESSEE and certain sublessors, which may otherwise contain language which serves to grant the sublessee thereunder a right to assume a pro-rata portion of LESSEE's obligations pursuant to this Lease, which pro-rata allocation shall be in LESSEE's sole and absolute discretion. Should any approval for any assignment or transfer of this Lease be given by LESSOR, such assignment or transfer shall be subject to the same conditions, obligations and terms as set forth herein, including Section 1.10 titled "Permitted Use and Licenses."

9.03 SUBLEASING:

Any such sublease shall be subject to the same applicable conditions, obligations and terms as set forth herein and LESSEE shall be responsible for the observance by sublessees of the terms and covenants contained in this Lease.

9.04 EMINENT DOMAIN:

(a) The term "Total Taking" as used in this section means the taking of the entire Premises (or of so much thereof as to substantially prevent or impair the conduct of LESSEE's business thereon) through the power or threat of eminent domain by any public or private authority lawfully possessed of that power. The term "Partial Taking" means the taking (other than a Total Taking) of a portion of the Premises, through the power or threat of eminent domain by any public or private authority lawfully possessed of that power.

(b) Total Taking - Termination. If during the Term there shall be a Total Taking, then this Lease shall cease and terminate as of the date of the taking of the Premises.

(c) Partial Taking - Partial Termination. If during the Term of this Lease there shall be a Partial Taking, this Lease shall terminate as to the portion of the Premises taken upon the date upon which the portion of the Premises is taken pursuant to eminent domain proceedings, but the Lease shall continue in force and effect as to the remainder of the Premises. The rent payable by LESSEE for the balance of the Term shall be abated in proportion to the amount of the Premises which was taken or is otherwise unusable by LESSEE.

(d) Effect of Termination. If this Lease is terminated, pursuant to this section, all rents and other charges payable by LESSEE to LESSOR hereunder, shall be paid up to the date upon which actual physical possession shall be taken by the condemning authority, and the Parties shall thereupon be released from all further liability in connection with this Lease.

ARTICLE X: OPERATING STANDARDS

10.01 MINIMUM OPERATING STANDARDS:

LESSEE shall comply with the minimum operating standards or requirements in accordance with the Airport Laws and regulations applicable to LESSEE's activities on the Premises.

10.02 NON-DISCRIMINATION:

LESSEE shall furnish services on a fair, reasonable, and nondiscriminatory basis. Such services shall be deemed fair, reasonable and nondiscriminatory if furnished consistent with the current Airport Laws, and any subsequent amendments thereto or future ordinances promulgated by the LESSOR, FAA Grant Assurances and other rules and regulations required to be followed by the Airport.

10.03 MATCHING INVESTMENT:

A. Notwithstanding anything contained herein that may be or appear to the contrary, it is expressly understood and agreed that the rights granted under this agreement are non-exclusive and the LESSOR reserves the right to grant similar privileges to another operator or operators on other parts of the airport. It is not the intent of the Agreement to grant to LESSEE the exclusive right to provide any or all of the services LESSEE may engage in at any time during the Term of Agreement.
Accordingly:

1. LESSOR reserves the right, to grant others certain rights and privileges upon the Airport which may be similar in part or in whole to those granted to LESSEE, in accordance which any applicable minimum standards and procedures adopted by the LESSOR and amended from time to time for the Airport.
2. Nothing shall prevent the LESSOR from entering into leases or subleases with other tenants who may be in competition with the rights and

privileges granted to LESSEE hereunder. However, the LESSOR shall not unreasonably discriminate against LESSEE in favor of other similarly situated operators conducting comparable activities at the Airport, taking into account relevant factors including, but not limited to, differences in the scope of operations, timing of entry, and market conditions. In the event LESSOR proposes to grant materially more favorable economic terms or operational rights to a similarly situated operator, LESSOR shall provide LESSEE with written notice thereof and a reasonable opportunity to request good faith negotiations for comparable consideration.

3. LESSOR shall require any operator seeking to provide services at the Airport to comply with the Airport's Minimum Standards and to make such capital investments as LESSOR determines are reasonably necessary and appropriate based on the nature, scope, and timing of the proposed operations. Such requirements shall be applied in a reasonable and non-discriminatory manner.

10.04 GENERAL MANAGER:

A. LESSEE shall select and appoint a full-time general manager of its operations at the Premises. The general manager shall be qualified, experienced, and vested with full power and authority to act in the name of LESSEE with respect to the method, manner, and conduct of LESSEE's operations.

B. The general manager shall be available at the Premises during regular business hours, and during the manager's absence during regular business hours a duly authorized subordinate who shall be in charge and available at the Premises. Normal and emergency telephone numbers shall be provided to the LESSOR's office and kept current.

10.05 SUFFICIENT EMPLOYEES:

LESSEE shall provide, at its sole expense, a sufficient number of employees necessary to provide the services required to adequately operate the Improvements.

10.06 CONDUCT AND DEMEANOR:

LESSEE shall control the conduct, demeanor, and appearance of its employees which provide services in connection with LESSEE's operations.

10.07 NON-DISPARAGEMENT:

During the Term, LESSEE shall not demean, disparage or in other way speak or refer negatively to LESSOR or the Premises in any public forum or other way that becomes public. Nothing in this Section shall be construed to prohibit LESSEE from making truthful statements or disclosures as required by law, court order, or in connection with any litigation or administrative proceeding between the Parties, provided such statements are made in good faith and are limited to those reasonably necessary to prosecute or defend such action. If LESSOR reasonably believes

that this section has been violated, such violation shall not be considered a Default under this Lease unless LESSOR has provided LESSEE with notice thereof and LESSEE fails to take reasonable action to correct such violation.

10.08 NO HAZARDOUS MATERIALS:

LESSEE shall not store fuels or hazardous material in any hangar except as approved in any applicable Federal, State, or local regulations and/or permits.

"Hazardous Materials" shall mean any material, substance or waste that is or has the characteristic of being hazardous, toxic, ignitable, reactive or corrosive, including, without limitation, petroleum, PCBs, asbestos, materials known to cause cancer or reproductive problems and those materials, substances and/or wastes, including infectious waste, medical waste, and potentially infectious biomedical waste, which are or later become regulated by any local governmental authority, the State of Texas or the United States Government, including, but not limited to, substances defined as "hazardous substances," "hazardous materials," "toxic substances" or "hazardous wastes" in the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended, 42 U.S.C. §9601, et seq.; the Hazardous Materials Transportation Act, as amended, 49 U.S.C. §1801, et seq.; the Resource Conservation and Recovery Act, as amended, 42 U.S.C. §6901, et seq.; all corresponding and related State of Texas and local statutes, ordinances and regulations, including, without limitation, any dealing with underground storage tanks; and any other environmental law, regulation or ordinance now existing or hereinafter enacted (collectively, "Hazardous Materials Laws"). Notwithstanding anything herein to the contrary, the term "Hazardous Materials" shall also expressly include any product, material, or substance capable of release or discharge to the environment, including but not limited to firefighting foams and other fire suppressants, which contains in any measurable quantity any compound within that category of chemicals known collectively as Per- and polyfluoroalkyl substances (also known as PFAS), including but not limited to Perfluorooctanoic acid (also known as PFOA); Perfluorooctanesulfonic acid (also known as PFOS); Perfluorononanoic acid (also known as PFNA); Hexafluoropropylene Oxide Dimer Acid and its Ammonium Salt (also known as GenX Chemicals); Perfluorobutane Sulfonic acid (also known as PFBS, and including its related compound Potassium Perfluorobutane Sulfonate); and any other PFAS compounds presently or in the future under study by the United States Government, the State of Texas, or any other State government for inclusion on a list of substances subject to the setting of any Maximum Contaminant Level for purposes of human drinking water consumption under authority of the Safe Drinking Water Act, as amended, 42 U.S.C. §300f, et seq., or any Texas or other State analogues to that statute.

The Premises were part of a larger tract of land that was used by the former Air Force Base named Laredo Air Force Base which is now part of the Airport. The installation was used for flexible gunnery school and pilot training in support of military operations during World War II.

The military deactivated the airfield in 1946 and reconvened the Premises to the City of Laredo. In 1952, the city of Laredo leased the Premises back to the military and Laredo Air Force Base was activated and operated by the Air Force for pilot training until declared surplus and deactivated in 1974. Furthermore, railroad spurs were also located on the southern and western portion that were removed eventually. Additionally, on the southern portion, there was a former fuel tank area that had multiple underground storage tanks that were removed as per the TRRP procedures. The fuel former tank area had events of multiple leaks historically. Multiple rounds of soil and groundwater assessments inferred that the area of the groundwater contamination is not adequately delineated and additional monitoring wells offsite are required to delineate the dissolved phase plume. It is impossible to conclude that the Premises are free of contamination. Based on the fact that the Premises are in close proximity to the former fuel tank area, there is a possibility that the soil, soil vapor and groundwater contaminations at the Premises might be compromised because of the unknown extent of the contaminated groundwater plume. Additionally, due to the age of the buildings located on the Premises, it is likely that asbestos-containing materials and lead containing materials are present.

At present it does not appear that any of the materials need to be remediated or abated to ensure safe use of the Premises; however, LESSOR agrees to protect, defend, indemnify and hold LESSEE harmless from and against any and all loss, damage and liability arising from any act or omission of LESSOR or its officers, agents, employees, independent contractors, licensees, sublessees and the sublessees' employees, concessionaires or assignees (collectively, "LESSOR Parties") causing loss or damage to the Premises or a claim or cause of action against LESSEE arising out of the presence of, the remediation or abatement of any and all ground contamination, asbestos-containing materials and/or lead containing materials that is not present due to the negligence or willful misconduct of LESSEE or its officers, agents, employees, independent contractors, licensees, concessionaires or assignees (collectively, "LESSEE Parties"). If it arises that any of the materials need to be remediated or abated to ensure safe use of the Premises, unless such condition was caused by the negligence or willful misconduct of LESSEE Parties, LESSOR shall be responsible for the remediation and/or abatement cost to the Premises.

10.09 SECURITY PLAN:

LESSEE shall maintain full security at the Premises pursuant to the security plan for the Airport (the "Security Plan"). LESSOR may require reasonable amendments to the Security Plan as circumstances arise provided that such amendments are being required uniformly and in a non-discriminatory manner from all similarly situated parties or LESSOR is directed to require such amendment from LESSEE by the Transportation Security Administration (the "TSA"). LESSOR shall enforce the Security Plan uniformly and in a non-discriminatory manner from all similarly situated parties. In addition, LESSEE shall cooperate fully with LESSOR with regard to any information requested by LESSOR pertaining to any safety management system initiated by LESSOR, all of such cooperation will be requested on a non-discriminatory basis.

ARTICLE XI: REPRESENTATIONS AND WARRANTIES

11.01 REPRESENTATIONS AND WARRANTIES OF LESSOR:

LESSOR hereby represents and warrants to LESSEE, which representations and warranties shall survive the delivery of this Lease by LESSOR to LESSEE, as follows:

(a) LESSOR is the owner in fee of the Premises and will not transfer its interest in the Premises without first giving one hundred and eighty (180) days prior notice to LESSEE.

(b) LESSOR has the full power, right and authority to enter into and execute this Lease without the consent of any third parties.

(c) Those persons whose signatures are hereinafter evidenced on this Lease on behalf of LESSOR are duly authorized signatories of LESSOR, fully empowered to commit and bind LESSOR to those certain terms, covenants and conditions set forth herein for the Term of this Lease.

(d) To LESSOR's actual knowledge, there are no suits, proceedings, litigation (including zoning or other land use regulation proceedings), condemnation or investigations pending or threatened against or affecting LESSOR or the Premises which would prevent LESSOR from meeting any of its obligations under this Lease or materially adversely affect LESSEE's use or occupancy of the Premises or prohibit LESSEE from developing or operating the Premises.

(f) To LESSOR's actual knowledge there are no liens, encumbrances, or any other defects in title pertaining to the Premises that would materially adversely affect LESSEE's use or occupancy of the Premises or prohibit LESSEE from developing or operating the Premises, and that documents delivered by LESSOR to LESSEE are true and correct copies of the originals thereof.

11.02 REPRESENTATIONS AND WARRANTIES OF LESSEE:

LESSEE hereby represents and warrants to LESSOR, which representations and warranties shall survive the delivery of this Lease by LESSEE to LESSOR, as follows:

(a) LESSEE has full and exclusive power, right and authority, without obtaining the consent of any third party, to enter into this Lease and perform its obligations hereunder.

(b) LESSEE is not subject to any agreement or restriction which prevents it from entering into this Lease and performing its obligations hereunder.

(c) To LESSEE's actual knowledge, there are no suits, proceedings, litigation (including zoning or other land use regulation proceedings), condemnation or investigations pending or threatened against or affecting LESSEE which would prevent LESSEE from meeting any of its obligations under this Lease or materially adversely affect LESSEE's use or occupancy of the Premises or prohibit LESSEE from developing or operating the Premises.

ARTICLE XII: MISCELLANEOUS

12.01 ATTORNEY'S FEES:

In the event that either party defaults in the performance of any of the terms, covenants, agreements or conditions contained in this Lease and the other party retains an attorney in connection with the enforcement hereof in connection therewith, that party agrees to reimburse other party for reasonable attorney's fees and payment of same shall be secured in a like manner as herein provided as to lien for rent due.

12.02 INTEGRATION OF TERMS:

Any representations by LESSOR regarding LESSEE's leasehold interest must be embodied in this writing. The waiver by LESSOR or LESSEE of performance of any provisions of this Lease shall not amount to a future waiver of strict performance of such provision or any other provision of this Lease.

12.03 FEDERAL AIRPORT AID:

LESSOR has applied for and received a grant or grants of money from the Administrator of the FAA pursuant to the Airport and Airways Development Act of 1970, as the same has been amended and supplemented, and under prior federal statutes which said Act superseded and LESSOR may in the future apply for and receive such grants. In connection therewith, LESSOR has undertaken and may in the future undertake certain obligations respecting its operation of the Airport and the activities of its contractors, LESSEEs, and permittees thereon. The performance by LESSEE of the promises and obligations contained in this Lease is, therefore, a special consideration and inducement to the execution of this Lease by LESSOR, and LESSEE further agrees that if the Administrator of the FAA or any other governmental officer or body having jurisdiction over the enforcement of the obligations of LESSOR in connection with the Federal Airport Aid, shall make any orders, recommendations, or suggestions respecting the performance by LESSEE's of its obligations under this Lease, LESSEE will promptly comply therewith at the time or times, when and to the extent that LESSOR reasonably may direct.

12.04 ANTI-DISCRIMINATION CLAUSES MANDATED BY FEDERAL GOVERNMENT:

A. AIRPORT AND AIRWAY DEVELOPMENT ACT OF 1970: LESSEE assures that it will undertake an affirmative action program as required by 14 Code of Federal Regulations Part 152, Subpart E, to ensure that no person shall on the grounds of race, color, creed, national origin, or sex be excluded from participating in any employment activities covered by 14 Code of Federal Regulations Part 152, Subpart E. LESSEE assures that no person shall be excluded on these grounds from participating in or receiving the services or benefits of any program or activity covered by this subpart. LESSEE assures that it will require that its covered suborganizations provide assurances to LESSEE that they similarly undertake affirmative action programs and that they will require assurance from their suborganizations, as required by 14 Code of Federal Regulations Part 152, Subpart E, to the same effect.

B. LESSEE for itself, its successors in interest, and assigns, as a part of the consideration hereof, does hereby covenant and agrees as a covenant running with the land that: (1) no person on the grounds of race, color, or national origin shall be excluded from participating in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities,

(2) that in the construction of any improvements on, over, or under such land and the furnishing of services thereon, no person on the grounds of race, color, or national origin shall be excluded from participating in, denied the benefits of, or otherwise be subjected to discrimination, (3) that LESSEE shall use the Premises in compliance with all other requirements imposed by or pursuant to 49 CFR Part 21, Nondiscrimination in Federally Assisted Programs of the Department of Transportation, and as said Regulations may be amended.

C. That in the event of breach of any of the proceeding nondiscrimination covenants, City of Laredo shall have the right to terminate the license, lease, permit, etc., and to reenter and repossess said land and the facilities thereon and hold the same as if said Lease had never been made or issued.

12.05 LAWS AND REGULATIONS:

LESSEE will keep and maintain the Premises in a clean and healthful condition and comply with the laws, ordinances orders, rules, and regulations whether State, Federal, Municipal or Airport.

12.06 HOUSEKEEPING:

A. LESSEE shall remove from the Premises or otherwise dispose of all garbage, debris, LESSEE owned non-airworthy or wrecked aircraft, and other waste material (whether solid or liquid) arising out of its occupancy of the Premises or out of its operations. LESSEE shall provide and use suitable covered metal or other rigidly and sturdily constructed receptacles for all garbage, trash, and other refuse on or in connection with the Premises which would normally fit into a receptacle. Piling of boxes, cartons, barrels, or other similar items, in an unsightly or unsafe manner, on or about the Premises is forbidden. The manner of handling and disposing of trash, garbage and other refuse shall at all times be subject to City ordinances. LESSEE shall use extreme care when effecting removal of all such waste to prevent littering the Premises.

B. If LESSEE allows the accumulation of weeds, used tires, rubbish or items of equipment or supplies to remain on the Premises and right-of-way areas more than five (5) days after a request in writing from LESSOR to have them removed, LESSOR or authorized agent may enter upon the Premises for the purpose of removing same by whatever means it deems necessary but shall not have any affirmative duty to do so. Such entry shall not be deemed a trespass and LESSOR shall not be subject to any liability. The cost of such work shall be borne by LESSEE, and LESSEE agrees to use commercially reasonable efforts to immediately reimburse LESSOR or LESSOR's agent for said cost.

C. LESSEE shall commit no nuisance, waste, or injury on the Premises and shall not do or permit to be done anything which may result in the creation or commission or maintenance of a nuisance, waste, or injury on the Premises.

D. Taking into consideration the business to be conducted on the Premises, LESSEE shall not create nor permit to be caused or created upon the Premises any obnoxious odor, smoke, noxious gas, or vapor.

E. LESSEE shall not do or permit to be done anything which may interfere with the effectiveness or accessibility of the drainage and sewage system, fire protection system, sprinkler system, alarm system, fire hydrants and hoses, if any, installed or located on the Premises.

12.07 LANDSCAPING MAINTENANCE:

If landscaping areas are not maintained in accordance with the standards reasonably prescribed by LESSOR or the conditions not corrected within five (5) days after written notice from LESSOR, LESSOR or its authorized agent shall have the right to enter on the Premises and plant or replant such areas, without being deemed guilty of trespass. The reasonable costs thereof, as determined by LESSOR, shall be paid by LESSEE

12.08 COMPUTER NON-CORRUPTION AND INFORMATION TECHNOLOGY BREACH PROVISIONS:

A. Should LESSEE have access at any time to the computer and other information technology systems of LESSOR (collectively, the “Systems”) for any reason, LESSEE shall ensure that such access does not compromise, adversely affect, or permit unauthorized access, either directly or indirectly to, the Systems(a “Breach”) in any way and for any reason. If LESSOR, in its sole good faith judgment, determines that such access either is adversely affecting the Systems or has the potential to adversely affect the Systems, then notwithstanding any other provision of this Lease to the contrary, LESSOR shall have the right to suspend and/or terminate immediately such access of LESSEE. LESSOR shall endeavor to give LESSEE notice of such suspension and/or termination as expeditiously as possible, consistent with LESSOR’s obligations regarding the safeguarding of such information.

B. LESSEE confirms that, with regard to any Breach, money damages shall not be a sufficient remedy, therefore LESSOR, in addition to suspending or terminating LESSEE’s access thereto, also shall have the right to seek an injunction against any further attempted access by LESSEE to the Systems.

C. LESSEE shall not permit any third party to obtain any access to the Computer System without LESSOR’s prior, written consent.

D. Should any Breach occur, LESSEE immediately shall notify LESSOR of such Breach and shall provide LESSOR with any and all information of LESSEE pertaining to the Breach and LESSEE’s access to the Systems. In such event, LESSEE shall follow and shall assist LESSOR in LESSOR’s flowing, of all notification obligations and other protocols required under any Federal, State, or local rules or regulations, all at LESSEE’s sole cost and expense. LESSEE shall reimburse LESSOR for all costs and expenses incurred by LESSOR in connection with the Breach, including the costs of following all such protocols, so long as the breach is not solely or predominately caused by LESSOR.

E. Should LESSOR request, LESSEE, at its own cost and expense, shall prepare and deliver to LESSOR as expeditiously as possible a “SOC-2” or similar audit for itself and for any party that is permitted through LESSEE to access any of the Systems.

12.09 CUMULATIVE RIGHTS AND REMEDIES:

All rights and remedies of LESSOR enumerated in this Lease shall be in addition to other rights or remedies allowed by law. Likewise, the exercise or failure to exercise by LESSOR or any remedy provided for herein or allowed by law shall not preclude its exercise of other remedies.

12.10 INTERPRETATION:

Words of gender used in this Lease shall be held and construed to include any other gender, and words in the singular shall be held to include the plural and vice versa unless the context otherwise requires.

12.11 INVALIDITY OR ILLEGALITY OF PROVISIONS:

If, for any reason, any portion of this Lease will be determined by a competent authority, *i.e.*, court or arbitrator, to be void or unenforceable, then (a) that portion will be of no effect, (b) the balance of this Lease will remain in full force and effect, and (c) this Lease will be performed as though the stricken portion was replaced with a valid and enforceable provision that comes as close as possible to expressing the intention of the stricken provision.

12.12 SUCCESSORS AND ASSIGNS:

All of the terms, provisions, covenants, and conditions of this Lease shall inure to the benefit of and be binding upon LESSOR and LESSEE and their successors, assigns, legal representatives, heirs, executors, and administrators.

12.13 TRAILERS, ABANDONED VEHICLES EXPRESSLY PROHIBITED:

Towed vehicles or any motor vehicles not currently licensed, except for operable fuel trucks and other GSE, are not permitted on the Premises. Under this provision, and unless otherwise used in connection with the construction of the Improvements, vehicles, RV trailers, travel homes and mobile homes, wrecked or abandoned vehicles must be removed from the Premises at LESSEE's sole expense, and failure to do so shall constitute a default under this Lease. This provision excludes vehicles used in accordance with fixed base operator operational activities.

12.14 CAPTIONS:

Articles and headings are inserted only as a matter of convenience and for reference and in no way define, limit, or describe the intent of any provision hereof, nor are they meant to bind LESSOR or LESSEE to the meaning of such heading.

12.15 RIGHT OF FLIGHT:

LESSOR, for itself, its lessees, permittees, successors and assigns, reserves the right of flight for the passage of all types of aircraft now in existence or hereafter created above the Premises. LESSOR, its consignees, lessees, permittees, licensees, successors, and assigns shall likewise be entitled to cause such noise, smoke, vapors, sound effects and other distractions as may be inherent in the operation and flight of such aircraft.

12.16 GOVERNING LAW/VENUE:

This Lease shall be construed under and in accordance with the laws of the State of Texas. Venue of any action arising under this agreement shall lie in Webb County, Texas, or the Laredo Division of the Southern District of Texas, each without regard to conflict of laws principles.

12.17 NOTICES:

Any notices which are required hereunder, or which either LESSOR or LESSEE may desire to serve upon the other shall be in writing and shall be deemed served when deposited in the United States mail, postage paid, return receipt requested, addressed as follows to:

LESSEE: Freeman Holdings of Laredo, LLC
16221 Foster St
Overland Park, Kansas 66085

With a copy to: Reese Hays,
General Counsel
Freeman Holdings Group
16221 Foster Street
Overland Park, KS 66085

LESSOR: Office of the Airport Director
Laredo International Airport
5210 Bob Bullock Loop
Laredo, TX 78041

With a copy to: Office of the City Attorney
1110 Houston Street
Laredo, TX 78040

Either Party may change its address for notice by providing written notice to the other.

12.18 SUBORDINATION OF LEASE:

A. This Lease shall be subordinated to the provisions of any existing or future agreement between LESSOR and the United States, relative to the operation or maintenance of the Airport, the execution of which has been or may be required as a condition precedent to the expenditure of Federal Funds for the development of the Airport.

B. It is expressly understood and agreed that this Lease is subject to and subordinate to and contained in those certain contracts, agreements, resolutions and actions of the City of Laredo, Texas, constituting agreements between the City and the United States of America and its agent including but not limited to, the Federal Aviation Administration (FAA) and all regulations now and hereafter imposed upon the City and that LESSOR shall not be liable to LESSEE on account of any of the foregoing matters and all of such contracts, agreements, resolutions and

regulations are incorporated herein by reference, and if any provision of this Lease is determined to be a variance with same, such provision is unilaterally reformable to LESSOR'S option.

12.19 NATIONAL EMERGENCY:

During the time of war or national emergency, LESSOR shall have the right to lease the landing area or any part thereof of the United States Government for military or naval use, and if such lease is executed, the provisions of this Lease insofar as they are inconsistent with the provisions of the lease to the Government, shall be suspended.

12.20 APPROVAL:

This Lease is subject to City Council approval and also constitutes a public document under the Texas Open Meetings Act, being subject to public inspection at any time hereafter.

12.21 AIRPORT HAZARD:

LESSEE, and each of their respective successors and assigns will not make or permit any use of the Premises which would interfere with landing or taking off of aircraft at the airport, or otherwise constitute an airport hazard. This includes such items as electrical and electronic interference with communications, electrical or electronic equipment, creation of dust or glaring or misleading lights.

12.22 AERIAL APPROACHES:

LESSOR reserves the right to take any action it considers necessary to protect the aerial approaches of the Airport against obstruction, together with the right to prevent LESSEE from erecting, or permitting to be erected, any building or other structure on or adjacent to the Airport which, in the opinion of LESSOR, would limit the usefulness of the Airport or constitute a hazard to aircraft.

12.23 NON-LIABILITY OF LESSOR TO THIRD PARTIES:

LESSOR shall not in any event be liable to LESSEE for any acts or omissions of, or for any condition resulting from, the operations or activities of any third person, firm, or corporation, or the agents, servants, employees or independent contractors of any such person, firm, or corporation, that results in injury, loss or damage to LESSEE or to any other person, or loss of or damage to any personal property installed or stored on the Premises unless such loss or damage was incurred by LESSOR'S negligence.

12.24 OCCUPANCY AND USE OF THE AIRPORT:

A. From time to time LESSOR may adopt and enforce rules and regulations with respect to the occupancy and use of the Airport, its services and facilities, by persons, vehicles, aircraft and equipment that in LESSOR'S opinion will reasonably insure the safe, efficient and economically practicable operation thereof and provide for the safety and convenience of those using the Airport, and to protect the Airport and its facilities and the public from damage or injury resulting from operations on, into and from the Airport.

B. LESSEE agrees to observe and obey any and all rules and regulations and all other Federal, State, and municipal rules and regulations and laws and to require its officers, agents, employees, contractors, and suppliers to observe and obey the same. LESSOR reserves the right to deny access to the Airport and its facilities to any person, firm, or corporation that fails or refuses to obey and comply with such rules, regulations, or laws. Such rules, regulations or municipal laws of LESSOR will not be inconsistent with the terms of this Lease nor with the valid rules, regulations, orders and procedures of the Federal Aviation Administration or any other superior governmental agency duly authorized to make or enforce rules and regulations for the operation the Airport and the operation of aircraft using the Airport.

C. LESSEE at all times shall be furnished a current copy of any such rules and regulations and any amendments thereto.

D. LESSOR reserves the right to prohibit the operation of any vehicle or equipment on the Premises that LESSOR reasonably determines to be in an unsafe condition. LESSOR reserves the right to require each vehicle operated on the Premises to be inspected and to obtain a permit or license authorizing such vehicle to operate on the Premises and for which a nominal fee may be charged.

12.25 IMPROVEMENTS VESTED IN LESSOR:

The parties agree that the obligation and promises of LESSEE, as expressed herein, to make improvements and maintain building is a part of the total consideration for this Lease. Therefore, all right, title, and interest in and to the Improvements shall be vested in LESSOR at the early termination or expiration of the Terms of this Lease. LESSEE shall have the right to the use and possession of the Improvements during this Lease plus any extensions hereof as provided herein so long as LESSEE is not in default of any of the terms of this Lease. It shall be the obligation of LESSEE to maintain and repair the Improvements during the terms of this Lease or any extension thereof. Upon termination, interest in and to the Improvements shall remain vested in LESSOR, and LESSEE shall not have any further rights therein nor be entitled to any reimbursement by reason of LESSEE'S maintenance, improvements, repair, or use of said building.

12.26 AIRPORT SECURITY:

A. LESSEE covenants and agrees that it will at all times maintain the integrity of the Airport Security Plan and TSR Part 1542, as each may be amended from time to time.

B. LESSEE shall provide for the security of the air operations area to prevent ground entry or movement of unauthorized persons from or through the Premises in accordance with any regulations imposed upon LESSOR by the Transportation Security Administration or others. Furthermore, LESSEE shall ensure that its employees, customers, guests, invitees, vendors, contractors, sublessees, and anyone granted access by LESSEE to the air operations area comply with the Airport Security Plan and TSR Part 1542, as amended. LESSEE shall indemnify and hold harmless LESSOR, its officers, and employees, from any charges, fines, or penalties that may be levied by any agency of the United States or the State of Texas by reason of such failure to comply with this requirement.

C. LESSEE shall, at its own cost and expense, provide reasonable security in accordance with Transportation Security Administration guidelines and requirements for the leased remises including buildings and other improvements now existing or hereafter erected or installed on the Premises. LESSEE shall be entitled to the same degree of LESSOR provided security as is available to all others of the Airport.

12.27 LESSEE-INDEPENDENT CONTRACTORS:

LESSEE in its operations hereunder shall act in the capacity of an independent contractor and LESSOR shall not have or be construed to have any responsibility or liability for any work, acts, or omissions of LESSEE, its agents, employees, tenants, sublessee, contractors, guests, invitees, or customers.

12.28 OPERATIONAL REPORTING REQUIREMENTS:

A. If LESSEE operates as a Fixed Base Operator or Air Cargo Operator, then within fifteen (15) days after the close of each calendar month, LESSEE shall submit to LESSOR, in a form and with detail satisfactory to LESSOR, a true and accurate written monthly report of operations (each, a "Operations Report"), for activity conducted by LESSEE during the preceding month. Such report shall detail the number of aircraft serviced by LESSEE during the preceding month to include aircraft owner, operating carrier, aircraft type, aircraft number, weight of the aircraft, net weight of cargo, and any other information which LESSOR may require.

B. LESSEE'S failure to submit the Operations Report within the required timeframe and in similar format as shown in Exhibit C which defines the reporting requirements of airline and ground handling companies in accordance with Ordinance No. 99-0-242, as ordinance may be amended from time to time, will result in a material breach of this Lease, subject to the applicable cure periods set forth in Article 7 hereof.

12.29 FORCE MAJEURE:

In the event that LESSOR or LESSEE, shall be delayed, hindered in or prevented from the performance of any act required hereunder by reason of strikes, lock-outs, labor troubles, pandemics, epidemics, severe weather, inability to procure materials, failure of power, restrictive governmental laws or regulations, riots, insurrection, the act, failure to act or default of the other party, war, or other reason beyond their control (an event of "Force Majeure"), then performance of such act shall be excused for the period of the delay and the period for the performance of any such act shall be extended for a period equivalent to the period of such delay. In order to claim a delay for an event of Force Majeure, the party claiming a delay for Force Majeure shall notify the other party in writing of the same within fifteen (15) business days of the date such party becomes aware or should have become aware of the occurrence of the event and provide a description of the event constituting Force Majeure.

12.30 ENTIRE AGREEMENT:

This Lease and the Exhibits attached hereto constitute the entire agreement between the parties on the subject matter hereof and may not be changed, modified, discharged, or extended

except by written instrument duly executed by LESSOR and LESSEE. LESSEE agrees that no representations or grant of rights or privileges shall be binding upon LESSOR unless expressed in writing in this Lease.

12.31 COUNTERPARTS:

This Lease may be executed in counterparts, by either an original signature or signature transmitted by facsimile transmission, by email in portable document format (PDF) or other similar process and each copy so executed will be deemed to be an original and all copies so executed will constitute the same agreement. It is further agreed that the foregoing processes may be used for the execution of further documents among the parties hereto.

12.32 CONDITIONS AND COVENANTS:

All of the provisions of this Lease shall be deemed as running with the land and construed to be “conditions” as well as “covenants” as though the words specifically expressing or imparting covenants and conditions were used in each separate provision.

12.33 CONSTRUCTION:

In the interpretation and construction of this Lease, the Parties acknowledge that the terms hereof reflect extensive negotiations between the parties and that this Lease shall not be deemed, for the purpose of construction and interpretation, that either Party drafted this Lease. As used herein, the following terms shall have the following meanings:(i) “hereof,” “hereby,” “hereto,” “hereunder,” “herewith” and similar terms mean of, by, to, under and with respect to this Lease or to the other documents or matters being referenced; (ii) “heretofore” means before, “hereafter” means after, and “herewith” means concurrently with the date of this Lease; (iii) all pronouns, whether in masculine, feminine or neuter form, shall be deemed to refer to the object of such pronoun whether same is masculine, feminine or neuter in gender, as the context may suggest or require; (iv) “including” means including, without limitation; and (v) all terms used herein, whether or not defined herein, and whether used in singular or plural form, shall be deemed to refer to the object of such term whether such is singular or plural in nature, as the context may suggest or require. The titles, captions and table of contents contained herein are inserted herein only as a matter of convenience and for reference and in no way define, limit, extend or describe the scope of this Lease or the intent of any provision hereof.

12.34 DISCLAIMER OF RELIANCE:

EACH PARTY ACKNOWLEDGES THAT NONE OF THE PARTIES HERETO, NOR ANY AGENTS OR COUNSEL OF ANY OTHER PARTY, HAVE MADE ANY PROMISES, REPRESENTATIONS, OR WARRANTIES, EXPRESS OR IMPLIED, NOT CONTAINED HEREIN, TO INDUCE THE PARTIES’ EXECUTION OF THIS LEASE. THE PARTIES ACKNOWLEDGE AND WARRANT THAT EACH PARTY IS NOT EXECUTING THIS LEASE IN RELIANCE ON ANY PROMISE, REPRESENTATION, OR WARRANTY NOT CONTAINED HEREIN.THE PARTIES REPRESENT AND WARRANT THAT EACH PARTY HAS CONDUCTED AN INDEPENDENT INVESTIGATION AND THAT EACH PARTY HAS HAD THE OPPORTUNITY TO

CONSULT WITH THE COUNSEL OF EACH PARTY'S CHOICE AND SO HAS CONSULTED.EACH PARTY SPECIFICALLY DISCLAIMS RELIANCE ON ANY REPRESENTATIONS MADE BY THE OTHER PARTY, EXCEPT FOR THOSE REPRESENTATIONS THAT ARE SPECIFICALLY REDUCED TO WRITING IN THIS LEASE.

[SIGNATURES ON NEXT PAGE]

EXECUTED on this _____ day of _____, 2026.

LESSOR:

CITY OF LAREDO

A MUNICIPAL CORPORATION

BY: _____

JOSEPH NEEB

CITY MANAGER

ATTEST:

BY: _____

MARIO MALDONADO, JR.

CITY SECRETARY

APPROVED AS TO FORM:

BY: _____

DOANH "ZONE" T. NGUYEN

CITY ATTORNEY

[SIGNATURES CONTINUED ON NEXT PAGE]

LESSEE:

FREEMAN HOLDINGS OF LAREDO, LLC

SCOTT FREEMAN
CEO

EXHIBIT "A"
LEGAL DESCRIPTIONS

EXHIBIT "B"
LAREDO INSURANCE REQUIREMENTS



Fixed Based Operators
FBO Ordinance No. 2006-0-202 / Amended by 2012-O-040
Insurance Requirements

Description	Type	Limits
Aircraft repair, fueling, refueling	Umbrella Liability	\$10,000,000.00
All Others at the City's discretion	Umbrella Liability	Not required
Repair, taxiing or towing of aircraft, or in any way having care, custody or control of third-party aircraft	Hangarkeepers	\$2,000,000.00
Fueling operations, responsible for maintaining underground storage tanks	Underground Storage Tank Liability	\$2,000,000.00
1. Commercial General Liability insurance		
	minimum combined single limits (per occurrence)	\$1,000,000.00
	general aggregate for bodily injury and property damage	\$5,000,000.00
	operations \$1,000,000 products/ completed operations aggregate), and XCU (Explosion, Collapse, Underground) hazards. Coverage for products/completed operations must be maintained for at least two (2) years after the FBO agreement expires.	\$1,000,000.00
2. Workers Compensation insurance at statutory limits, including Employers Liability coverage		
	minimum limits of each-occurrence each accident by disease each-occurrence by disease aggregate.	\$1,000,000.00
3. Commercial Automobile Liability insurance at minimum combined single limits per occurrence for bodily injury and property damage, including owned, non-owned, and hired car coverage.		
		\$1,000,000.00
4. Hangar keepers Legal Liability insurance at minimum limits of per-aircraft/ per-occurrence.		
		\$2,000,000.00
5. Underground Storage Tank Pollution Liability to include coverage for third-party bodily injury and property damage (on and off-site). The UST insurance shall also include clean-up, remediation, restoration costs, and other related costs and expenses. If this coverage is claims-made, the policy retro date shall be set and maintained not later than the inception date of this Agreement. This insurance shall be continuously in place during the full term of this Agreement, including any extensions or renewals thereof, and for a period of at least one year after the final termination of this Agreement. UST coverage limits shall be \$2,000,000 per-claim.		
		\$2,000,000.00



**Fixed Based Operators
FBO Ordinance No. 2006-0-202 / Amended by 2012-O-040
Insurance Requirements**

Description	Type	Limits
6. Umbrella Liability insurance with respect to Primary Commercial General Liability, Automobile Liability, and Employers Liability.		
at minimum limits each-occurrence		\$1,000,000.00
aggregate		\$2,000,000.00
7. Pollution Liability insurance at minimum limits of each-occurrence.		\$1,000,000.00
Any Subcontractor(s) hired by the fixed base operator shall maintain insurance coverage equal to that required of the fixed base operator. It is the responsibility of the fixed base operators to assure compliance with this provision. The City of Laredo accepts no responsibility arising from the conduct, or lack of conduct, of the Subcontractor.		
A Comprehensive General Liability insurance form may be used in lieu of a Commercial General Liability insurance form. In this event, coverage must be written on an occurrence basis, at limits of \$1,000,000 each-occurrence, combined single limit, and coverage must include a broad form Comprehensive General Liability Endorsement, products/completed operations, XCU hazards, and contractual liability.		\$1,000,000.00
1. The City of Laredo shall be named as an additional insured with respect to General Liability and Automobile Liability.		
3. A waiver of subrogation in favor of The City of Laredo shall be contained in the Workers Compensation and all liability policies.		
4. All insurance policies shall be endorsed to require the insurer to immediately notify The City of Laredo of any material change in the insurance coverage.		

EXHIBIT "C"
REPORTING REQUIREMENTS

Company Name
 Address
 City, State Zip Code

MONTH

	DATE	BL/RECEIPT #	GROSS GALLONS	NET GALLONS
1				
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
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25				
26				
27				
28				
29				
30				
	MTH TOTALS		0	0

GROSS GALLONS 0
 RATE \$ 0.06
 AMOUNT DUE \$ -

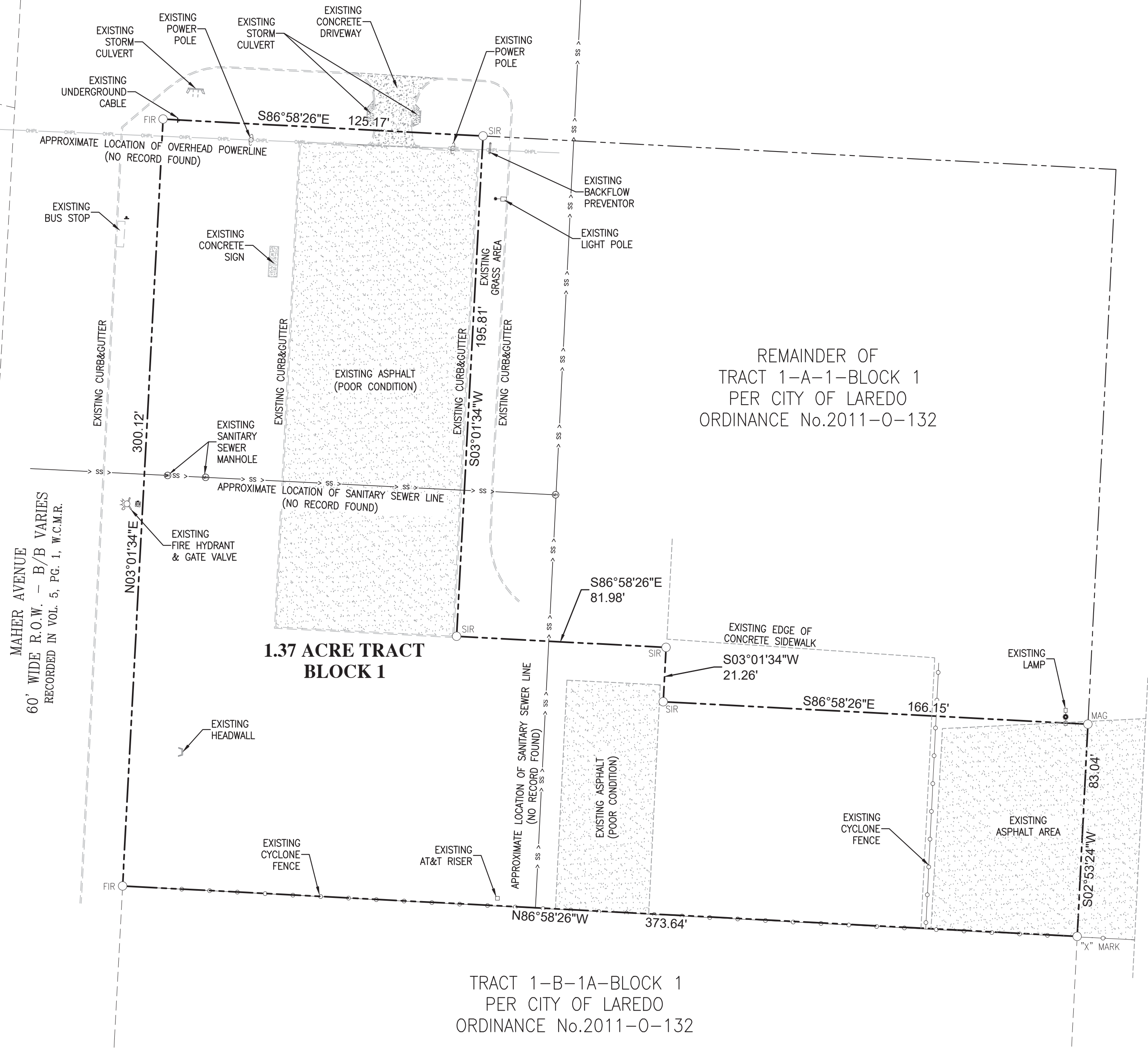
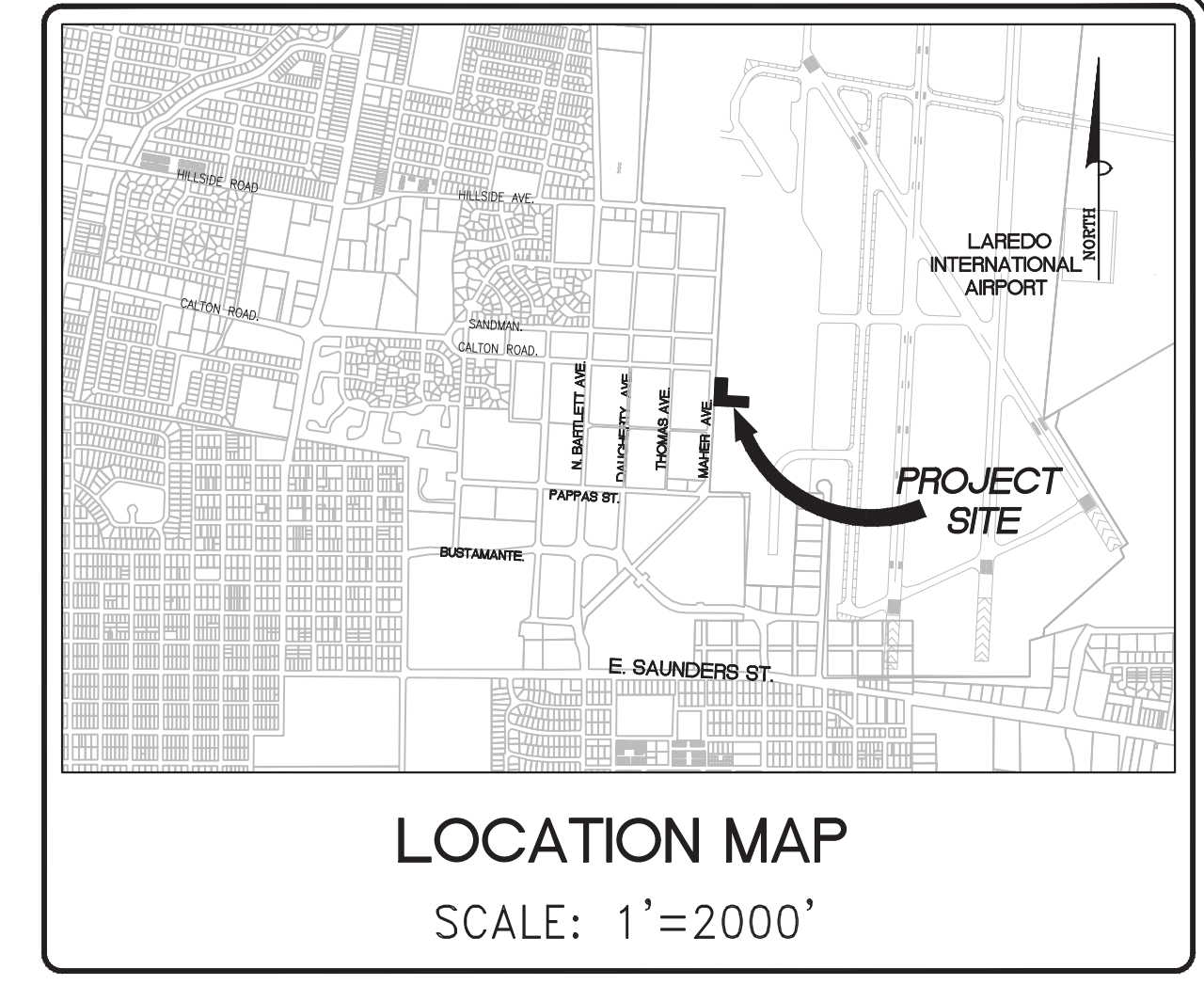
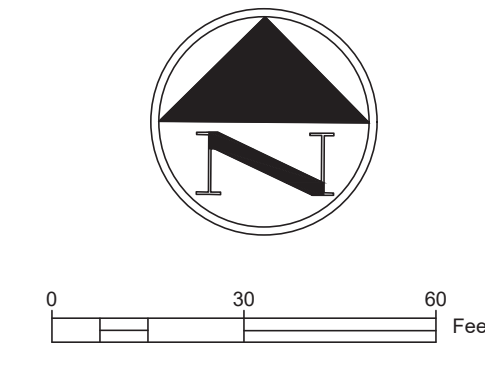
Exhibit A

Legal Description of Premises

1. A tract of land containing 1.37 acres of land, more or less, situated in Survey 1020, Abstract 780, Rafael Vidaurri, Original Grantee, same being out of Block 1, as recorded in the City of Laredo Airport Subdivision, Volume 05, Page, 01, Webb County Map Records.
2. A tract of land containing 2,529 square feet, more or less, situated in Webb County Texas, and being the surface only of existing tank and new tank areas, out of Block 1, Subdivision Plat of Laredo Airport, a subdivision situated in the City of Laredo, Webb County, Texas, as per plat recorded in Volume 5, Page 1, Webb County Plat Records.
3. A tract of land containing 35,647.05 square feet, more or less, out of Block 1, Subdivision Plat of Laredo Airport, a subdivision situated in the City of Laredo, Webb County, Texas, as per plat recorded in Volume 5, Page 1, Webb County Plat Records.

S. SANDMAN STREET
60' WIDE R.O.W. - B/B VARIES
RECORDED IN VOL. 5, PG. 1, W.C.M.R.

BLOCK 1
SUBDIVISION PLAT OF LAREDO, TEXAS
RECORDED IN VOL. 5, PG. 1, P.R.W.C.R.



BLOCK 5
SUBDIVISION PLAT OF LAREDO, TEXAS
RECORDED IN VOL. 5, PG. 1, P.R.W.C.R.

MAHER AVENUE
60' WIDE R.O.W. - B/B VARIES
RECORDED IN VOL. 5, PG. 1, W.C.M.R.

LEGEND
 ○ SIR= SET 1/2" IRON ROD
 ○ FIR= FOUND 1/2" IRON ROD
 ○ MAG= SET MAG NAIL
 ○ "X" MARK= SET "X" MARK IN CONCRETE

FLOOD NOTE:
 BY GRAPHIC PLOTTING ONLY (AREAS OF MINIMAL FLOODING) OF THE FLOOD INSURANCE RATE MAP. SUBJECT IS NOT LOCATED IN FLOOD PLAIN "ZONE A" ACCORDING TO FIRM MAP, COMMUNITY-PANEL NUMBER 48479C.1215C - EFFECTIVE DATE OF APRIL 02, 2008

BASIS OF BEARINGS:
 TEXAS COORDINATE SYSTEM, SOUTH ZONE, NAD 83, GRID BASED OPUS SOLUTION.

LEGEND

—○—	CYCLONE FENCE	.	DEGREES
—○HL—	EXISTING OVERHEAD POWERLINE	.	FEET OR MINUTES
⊕	FIRE HYDRANT	.	INCHES OR SECONDS
W.V.	WATER VALVE	B/B	BACK TO BACK
N	NORTH	EOA/EOA	EDGE OF ASPHALT
S	SOUTH	R.O.W.	RIGHT-OF-WAY
E	EAST	VOL.	VOLUME
W	WEST	PG.	PAGE
⊙	SANITARY SEWER MANHOLE		
⊙	SEWER CLEAN-OUT		
⊙	POWER POLE		

TRACT 1-B-1A-BLOCK 1
PER CITY OF LAREDO
ORDINANCE No.2011-0-132

Designed By:	F.E.
Drawn By:	R.X.L.
Checked By:	F.E.
Approved By:	F.E.
File:	

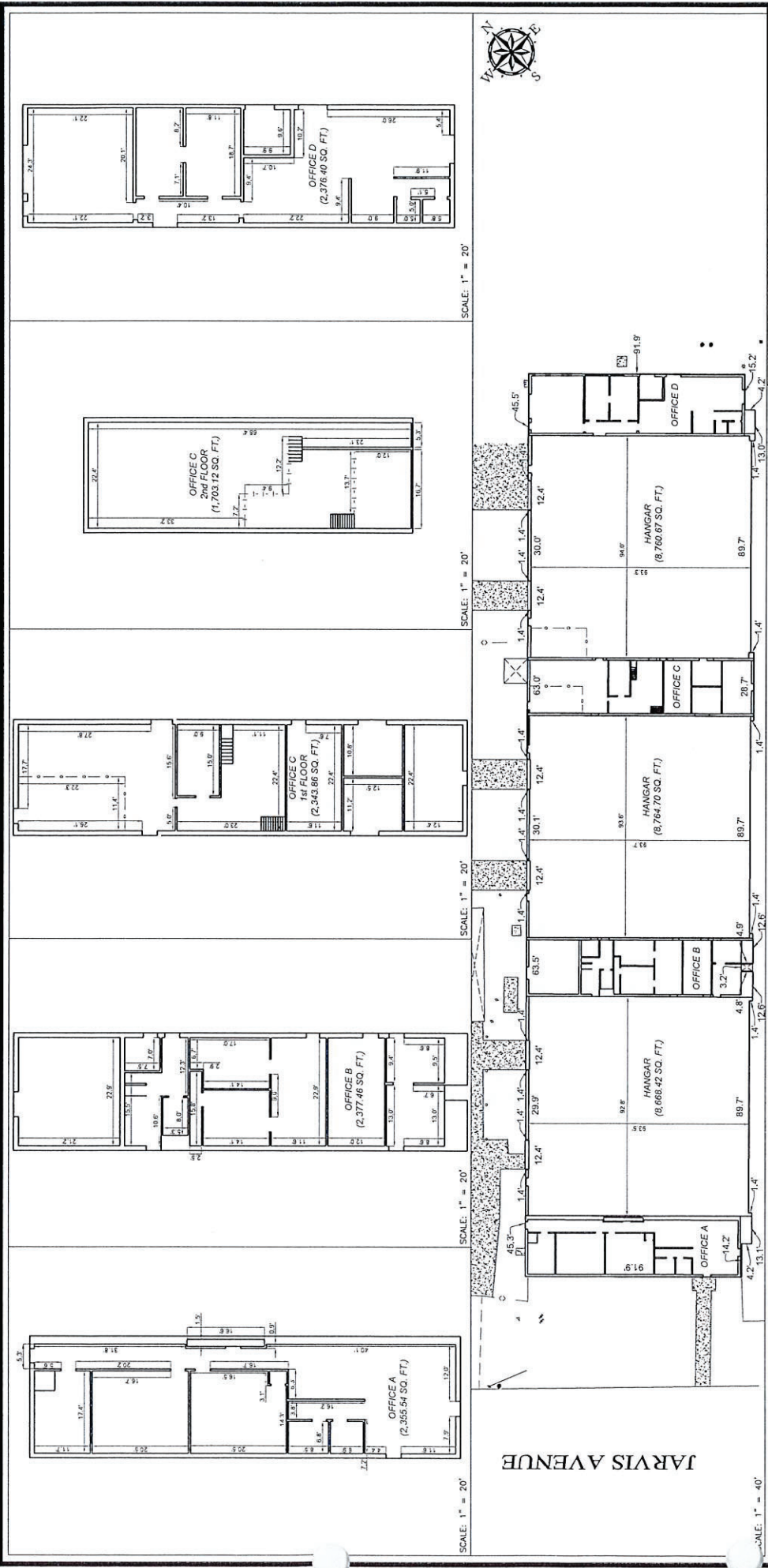
Sherfey Engineering Company, L.L.C.
 TBPE FIRM REGISTRATION No: F-3132
 104 Del Court Suite 400 Laredo, Texas 78041
 (956) 791-3511 (956) 791-3144

CERTIFICATE OF SURVEYOR
 I, THE UNDERSIGNED A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION, ON THE GROUND, THAT THE CORNER MONUMENTS SHOWN WERE PROPERLY PLACED OR LOCATED UNDER MY SUPERVISION.
 FRANCISCO ESTRADA, IV, TEXAS R.P.L.S. No. 5862
 03/12/2026 DATE



BOUNDARY SURVEY
 A tract of land containing 1.37 acres of land, more or less, situated in Survey 1020, Abstract 780, Rafael Vidaurri, Original Grantee, same being out Block 1, as recorded in the City of Laredo Airport Subdivision, Volume 05, Page 01, Webb County Map Records.
 Scale: 1"=30' Date: 03/12/2026 Rev: 0

PROJ. NO.8345.00
 1
 SHEET 1 OF 1



DRAWN BY:	J.L.H.	SCALE:	AS SHOWN
CHECKED BY:	A.X.C./E.J.C.	JOB #:	18592-23
APPROVED BY:	E.J.C.	FILE NAME:	Hongor.dwg
FIELD DATE:	VARIOUS DATES J.R.	SHEET:	1 OF 1

PREMIER
ENGINEERING & SURVEYING

1302 CALLE DEL NORTE, SUITE 2
LAREDO, TEXAS 78041
PH: (956) 717-1199 FAX: (956) 717-1196
premier-ce.com

LAND DEVELOPMENT • PLANNING • WATER • WASTEWATER • TRANSPORTATION • SURVEYING
ENGINEERING REGISTRATION NO. F-8019

LEGEND

○ SHI	SET IRON ROD*
○ FIR	FOUND IRON ROD
○ PC	FENCE CORNER
○ MC	POST
○ MAG	MAG NAIL FOUND
○ IR	IRN SPIKE FOUND
---	PROPERTY LINE
---	PD CENTERLINE
---	BASELINE
---	BACKSIGHT
---	BLDG. STRUCT.
---	LOT LINE
---	WOOD FENCE
---	BLOCK WALL
---	CHAINLINK FENCE
---	1/2" IRON ROD WITH BLUE PLASTIC CAP LABELED "ICE 100077-00"

S U R V E Y O F

4207 JARVIS AVENUE

TOTAL: 35,947.05 SQ. FT.

SITUATED IN
LAREDO INTERNATIONAL AIRPORT
CITY OF LAREDO
WEBB COUNTY, TEXAS

NOTES

- PROPERTY DOES NOT APPEAR TO BE LOCATED IN A FLOOD ZONE AS PER FEMA MAP 48470C15SC, EFFECTIVE DATE APRIL 02, 2008
- DATUM BASED ON TEXAS STATE PLANE COORDINATE SYSTEM NAD83, TEXAS SOUTH ZONE. ELEVATIONS MEAN SEA LEVEL (MSL) DERIVED FROM GPS KINEMATIC OBSERVATIONS.

BUILDING // 1338

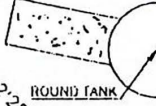
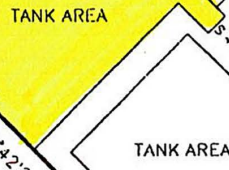
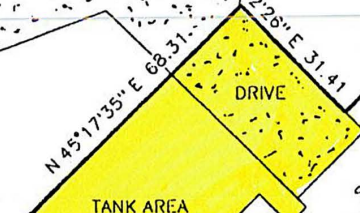
FENCE LINE

FOUND IRON PIN IN CRACK OF IRON WAY

S. 80-56-57 E. FROM EAST MOST CORNER BLOCK 30,
PER SURVEY OF HOWLAND & MEDINA SURVEY (MARCH 12, 1991)

"P.O.II." OF MARCH 1991 SURVEY

GATE



55' X 50' CONCRETE PAD

EXISTING TANK AREA
4500 SQ. FT.

FIRE PLUG

COMMON AREA
4588.5 SQ. FT.

PROPOSED TANK AREA
4500 SQ. FT.

POWER LINE



EXHIBIT A-3



City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 32.

SUBJECT

An ordinance amending the City of Laredo Subdivision Ordinance, Chapter III, Section 3.2 Entitled "Streets and Alleys," by adding definitions for block length and block width; providing that this ordinance shall be cumulative; providing for severability clause; and providing for publication and effective date.

PREVIOUS COUNCIL ACTION

This item was introduced at the regular council meeting of May 18, 2026.

BACKGROUND

The current Subdivision Ordinance establishes minimum and maximum block length requirements for subdivisions. However, it does not define how block length is to be distinguished from block width. As a result, the absence of clear measurement standards for block length and block width has created ambiguity in the interpretation and application of the ordinance.

Therefore, the City finds it necessary to amend the Subdivision Ordinance to define block length and block width and establish a consistent methodology for their measurement. This amendment is intended to improve clarity and ensure uniform administration of the ordinance without altering the existing block length standards.

COMMITTEE RECOMMENDATION

The proposed amendment was considered by the Planning and Zoning Commission on April 16, 2026. The Commission, by a 7 to 0 vote, recommended approval of the proposed amendment to the Subdivision Ordinance.

STAFF RECOMMENDATION

Staff recommends approval of the proposed amendment to the Subdivision Ordinance to define block length and block width and establish a consistent methodology for their measurement. This amendment will improve clarity and ensure uniform administration of the ordinance without altering the existing block length standards.

Fiscal Impact

Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.

ORDINANCE NO. 2026-O-103

AMENDING THE CITY OF LAREDO SUBDIVISION ORDINANCE, CHAPTER III, SECTION 3.2 ENTITLED “STREETS AND ALLEYS,” BY ADDING DEFINITIONS FOR BLOCK LENGTH AND BLOCK WIDTH; PROVIDING THAT THIS ORDINANCE SHALL BE CUMULATIVE; PROVIDING FOR SEVERABILITY CLAUSE; AND PROVIDING FOR PUBLICATION AND EFFECTIVE DATE.

WHEREAS, the City of Laredo Subdivision Ordinance regulates the subdivision of land with the corporate limits and extra territorial jurisdiction (ETJ) of the City of Laredo;

WHEREAS, Section 3.2 N. 1. of the Subdivision Ordinance establishes minimum and maximum block length requirements for subdivision; and

WHEREAS, the Subdivision Ordinance, however, does not currently define how block length is to be distinguished from block width;

WHEREAS, the City finds it necessary to amend the Subdivision Ordinance to clarify the definitions of block length and block width in order to provide consistent interpretation and administration of the subdivision regulations; and

WHEREAS, notice of the ordinance amendment was advertised in the newspaper at least three (3) days prior to the public hearing held before the Planning and Zoning Commission on this matter;

WHEREAS, on April 2, 2026 the Planning and Zoning Commission held a public hearing which was subsequently recessed and reconvened on April 16, 2026, at which time the Planning and Zoning Commission recommended approval of the ordinance amendment;

WHEREAS, notice of the ordinance amendment was advertised in the newspaper at least fifteen (15) days prior to the public hearing held before the City Council on this matter; and

WHEREAS, the City Council held a public hearing on May 18, 2026, and found the proposed ordinance amendment appropriate, necessary and consistent with the Laredo Comprehensive Plan, and in the best interest of the public health, safety and welfare.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Chapter III, Section 3.2 N. 1. of the Laredo Subdivision Ordinance is hereby amended to read as follows:

N. Blocks and Street Lengths.

1. Block Lengths shall be measured from property corner to property corner along the block face having the greatest dimension or along the block face on which the greatest number of lots face, whichever is greater (See Figure 1). In the case of a dead-end street, the block length shall be measured from the point at which the centerlines at the nearest intersecting street converges then along the centerline of the dead-end street to the center point of the cul-de-sac (See figure 2).

Block widths shall be measured from property corner to property corner along the block face having the least dimension or along the block face on which the fewest number of lots face, whichever is less (See Figure 1).

- a. Block lengths shall not exceed one thousand two hundred feet (1,200) or be less than three hundred (300) feet, except as may be required by the Commission in the proper projection of existing major thoroughfares, and on existing platted blocks.
- ~~a.~~ b. Block lengths and street lengths may be waived by the Planning and Zoning Commission provided that the waiver is requested in writing, incorporates traffic impact mitigation measures into a site plan, which is then submitted in conjunction with a preliminary plat/replat application.
- ~~b.~~ c. No block length waiver may be granted by the Planning and Zoning Commission unless traffic impact mitigation measures comply with standards (herein adopted as minimum standards) of the Institute of Transportation Engineers (Latest Edition) and as set out in the "Transportation and Land Development Manual (Latest Edition)".
- ~~c.~~ d. No block length waiver may be granted which modifies the City of Laredo Comprehensive Plan or the Thoroughfare Plan of the Comprehensive Plan addressing thoroughfares, highways, arterials, and collectors, or of the proper extension of any street.
- ~~d.~~ e. A block length waiver shall not compromise safety.

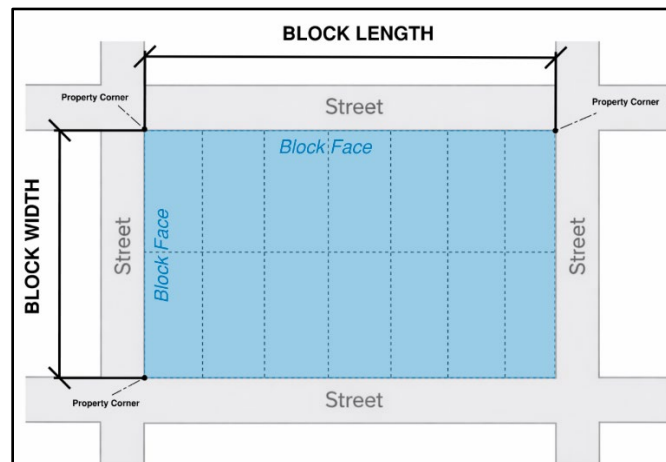


Figure 1

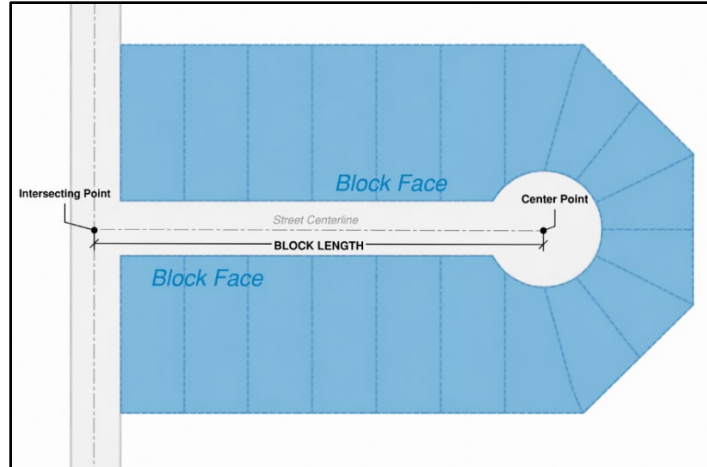


Figure 2

Section 2. The City Secretary of the City of Laredo is hereby directed to publish the proposed Ordinance as required by Section 2.09 of the Charter of the City of Laredo.

Section 3. The publishers of the City Code of Laredo, Texas are authorized to amend said code to reflect the changes adopted herein and to correct typographical errors and to index, format and number paragraphs to conform to the existing code.

Section 4. This Ordinance shall become effective from and after its adoption and publication in accordance with the provisions of the Charter of the City of Laredo.

Section 5. Cumulative - This ordinance shall be cumulative of all provisions of ordinances of the City of Laredo Texas, except where the provisions of this ordinance are in direct conflict with the provisions of such ordinances, in which event the conflicting provisions of such ordinances are hereby repealed.

Section 6. Severability - It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this ordinance, since the same would have been enacted by the City Council without the incorporation in this ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 7. Open Meeting – The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the City Hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during the which this ordinance and the subject matter was

considered and approves confirms such written notice and the contents and posting hereof.

**PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.**

**DR. VICTOR D. TREVIÑO
MAYOR**

ATTEST:

**MARIO MALDONADO, JR.
CITY SECRETARY**

APPROVED AS TO FORM:

**DOANH “ZONE” T. NGUYEN
CITY ATTORNEY**

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 33.

SUBJECT

Final Reading of Ordinance amending section 1 of Ordinance 2017-O-110 of the City of Laredo and authorizing an increase of toll rates through a phased implementation schedule beginning FY2026 and continuing through January 2031; establishing revised toll rates for commercial vehicles, non-commercial vehicles, and pedestrian crossings; authorizing an initial adjustment upon adoption of the ordinance followed by annual phased adjustments each January thereafter; providing for operational, maintenance, debt service, technology modernization, and bridge infrastructure needs, including improvements to the World Trade Bridge and Colombia Solidarity Bridge, and authorizing the city manager to implement administrative procedures necessary for the implementation. Toll increases are described in Exhibit "A" and hereby repeal all conflicting sections in all ordinances currently in effect.

PREVIOUS COUNCIL ACTION

On September 05, 2017, the City Council approved Ordinance 2017-O-110, authorizing an increase of \$0.25 per person to southbound pedestrian traffic and an increase of \$0.50 per axle for southbound commercial traffic.

BACKGROUND

The current toll rate of \$1.00 per person for southbound pedestrian traffic and \$4.75 per axle for southbound commercial traffic was approved by City Council on September 5, 2017, and there has been no increase since; in addition, non-commercial rates are at \$1.75 per axle and have not increased since October 18, 2013.

The revenue distribution of funds will remain as follows: 50% to cover Bridge operational expenses and Debt Service, and 15% to meet the fund balance requirement; any surplus will be transferred to the Capital Improvement Fund, and 50% of tolls will be transferred to the General Fund.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Staff recommends increasing toll rates through a phased implementation schedule beginning in FY2026 upon the approval of the ordinance.

Fiscal Impact

Fiscal Year:

2026

Budgeted Y/N?: N
Source of Funds: Toll Revenues
Account #: Various Accounts
Change Order: Exceeds 25% Y/N: N/A

FINANCIAL IMPACT:

Please see Exhibit "A" for the new rate schedule.

FINAL READING OF ORDINANCE# 2026-O-114

FINAL READING OF ORDINANCE AMENDING SECTION 1 OF ORDINANCE 2017-O-110 OF THE CITY OF LAREDO AND AUTHORIZING AN INCREASE OF TOLL RATES THROUGH A PHASED IMPLEMENTATION SCHEDULE BEGINNING FY2026 AND CONTINUING THROUGH JANUARY 2031; ESTABLISHING REVISED TOLL RATES FOR COMMERCIAL VEHICLES, NON-COMMERCIAL VEHICLES, AND PEDESTRIAN CROSSINGS; AUTHORIZING AN INITIAL ADJUSTMENT UPON ADOPTION OF THE ORDINANCE FOLLOWED BY ANNUAL PHASED ADJUSTMENTS EACH JANUARY THEREAFTER; PROVIDING FOR OPERATIONAL, MAINTENANCE, DEBT SERVICE, TECHNOLOGY MODERNIZATION, AND BRIDGE INFRASTRUCTURE NEEDS, INCLUDING IMPROVEMENTS TO THE WORLD TRADE BRIDGE AND COLOMBIA SOLIDARITY BRIDGE, AND AUTHORIZING THE CITY MANAGER TO IMPLEMENT ADMINISTRATIVE PROCEDURES NECESSARY FOR THE IMPLEMENTATION. INCREASES ARE DESCRIBED IN EXHIBIT “A” AND HEREBY REPEAL ALL CONFLICTING SECTIONS IN ALL ORDINANCES CURRENTLY IN EFFECT.

WHEREAS, the current toll rate of \$1.00 per person for southbound pedestrian traffic and \$4.75 per axle for southbound commercial traffic was approved by City Council on September 5, 2017, and there has been no increase since; in addition, non-commercial rates have not increased since October 18, 2013, which are currently at \$1.75 per axle;

WHEREAS, the revenue distribution of funds will remain as follows: 50% to cover Bridge operational expenses, Debt Service, and 15% minimum fund balance requirement; any surplus will be transferred to the Capital Improvement Fund, and 50% of tolls to the General Fund;

WHEREAS, on March 11, 2026, staff presented the toll rate study and proposed toll rate implementation during a workshop with the Port of Entry Advisory Committee;

WHEREAS, on April 22, 2026, an update presentation was made to the Port of Entry Advisory Committee regarding the proposed bridge toll rate increase;

WHEREAS, on May 15, 16 & 17, 2026, a public notice was published in the Laredo Morning Times and El Mañana advising of the upcoming May 18, 2026, public hearing regarding the toll rate increase for southbound pedestrian, non-commercial, and commercial traffic;

WHEREAS, the City Council finds it necessary to apply such bridge tolls for southbound pedestrian, non-commercial, and commercial traffic; and

WHEREAS, a public hearing and introductory ordinance was held on May 18, 2026.

EXHIBIT “A”

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1:

That Section 1 of Ordinance 2017-O-110 of the City of Laredo shall be, and hereby is, amended to read as follows:

That the City Council hereby establishes the rates to be charged for southbound pedestrian traffic that cross the City of Laredo International Bridges to be as follows:

1. Pedestrian (including bicycle and rider) effective rates below:

Pedestrian Fee Schedule					
AUG. 2026	JAN. 2027	JAN. 2028	JAN. 2029	JAN. 2030	JAN. 2031
\$1.00	\$1.00	\$1.00	\$1.25	\$1.75	\$2.25

(Children under 6 years of age) Free

2. All non-commercial vehicles (with or without cargo) not utilizing the Automatic Vehicle Identification (A.V.I.) System:

Non-Commercial New Schedule Per Axle					
AUG. 2026	JAN. 2027	JAN. 2028	JAN. 2029	JAN. 2030	JAN. 2031
\$2.00	\$2.50	\$3.00	\$3.50	\$4.00	\$4.25

(Emergency vehicles: Fire engine, ambulance, police car, etc., answering or returning from an emergency call) Free

3. All non-commercial vehicles (with or without cargo) utilizing the Automatic Vehicle Identification (A.V.I.) System:

Non-Commercial New Schedule Per Axle					
AUG. 2026	JAN. 2027	JAN. 2028	JAN. 2029	JAN. 2030	JAN. 2031
\$1.90	\$2.40	\$2.90	\$3.40	\$3.90	\$4.15

(Emergency vehicles. Fire engine, ambulance, police car, etc. answering or returning from an emergency call) Free

4. All commercial vehicles effective rates:

Commercial New Schedule Per Axle					
AUG. 2026	JAN. 2027	JAN. 2028	JAN. 2029	JAN. 2030	JAN. 2031
\$5.00	\$5.50	\$6.00	\$6.50	\$7.00	\$7.50

5. Overweights (with permit)

- 80,001 lbs – 100,000 lbs \$50.00
- 100,001 lbs – 120,000 lbs \$75.00
- 120,001 lbs – 140,000 lbs \$100.00
- 140,001 lbs – 160,000 lbs \$125.00
- 160,001 lbs – 180,000 lbs \$150.00
- 180,001 lbs – Over \$175.00

EXHIBIT "A"

6. Overweights (without permit)

80,001 lbs – 100,000 lbs	\$50.00 + \$500.00 + \$500.00
100,001 lbs – 120,000 lbs	\$75.00 + \$500.00 + \$500.00
120,001 lbs – 140,000 lbs	\$100.00 + \$500.00 + \$500.00
140,001 lbs – 160,000 lbs	\$125.00 + \$500.00 + \$500.00
160,001 lbs – 180,000 lbs	\$150.00 + \$500.00 + \$500.00
180,001 lbs – Over	\$175.00 + \$500.00 + \$500.00

All commercial vehicles over 80,000 lbs. must obtain a permit from the Bridge Department of the City of Laredo prior to crossing any Bridge designated by the City of Laredo as a commercial International Bridge (Colombia Solidarity Bridge or World Trade Bridge). Failure to obtain this permit will result in an additional \$500.00 penalty fee at time of crossing. Failure to comply with the City of Laredo Bridge System U-Turn procedure at any International Bridge will result in an additional \$500.00 U-Turn violation fee. The entire bridge toll including the penalty fee and the violation fee must be paid prior to allowing any use of the City of Laredo International Bridges.

7. Swipe Card Administrative Fee

For Southbound Commercial Vehicles \$1.00 per Swipe Card

8. Sticker Tag Cost

For Southbound Vehicles utilizing the Automatic Vehicle Identification System (AVI) \$15.00 per Sticker Tag

Section 2:

All laws and parts of laws in conflict with the provisions of this ordinance shall be, and hereby are, repealed.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE 18TH DAY OF MAY, 2026.

DR. VICTOR D. TREVIÑO, **MAYOR**

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:
DOANH T. NGUYEN, **CITY ATTORNEY**

BY: JOAQUIN A. RODRIGUEZ
FIRST ASSISTANT CITY ATTORNEY

EXHIBIT "A"

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 34.

SUBJECT

An Ordinance of the City of Laredo, Texas, amending Section 1 of Ordinance 2024-O-110 to authorize and penalize repeat U-Turn offenders, allow them to cross and charge the following: to increase the insufficient fund fee to \$500.00 for the 1st U-Turn Offense plus the per axle toll fee, \$1,000.00 for the 2nd U-Turn Offense plus the per axle toll fee and \$2,000.00 for the 3rd U-Turn Offense plus the per axle crossing fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the automatic vehicle identification (A.V.I.) account and if an A.V.I. account has more than three (3) insufficient fund U-turns, the account will be suspended and charged a re-activation fee of \$200.00. The company must leave a credit card on file and schedule automatic replenishment of funds as further described in Exhibit "A" and hereby repealing all conflicting sections in all ordinances currently in effect.

PREVIOUS COUNCIL ACTION

On June 1, 2026, City Council approved the public hearing and introductory ordinance amending Ordinance 2024-O-110 of the City of Laredo to authorize and to increase the insufficient fund fee to \$500.00 for the 1st U-Turn Offense plus the per axle toll fee, \$1,000.00 for the 2nd U-Turn Offense plus the per axle toll fee and \$2,000.00 for the 3rd U-Turn Offense plus the per axle crossing fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the automatic vehicle identification (A.V.I.) account and if an A.V.I. account has more than three (3) insufficient fund U-turns, the account will be suspended and charged a re-activation fee of \$200.00. The company must leave a credit card on file and schedule automatic replenishment of funds as further described in Exhibit "A" and hereby repealing all conflicting sections in all ordinances currently in effect.

BACKGROUND

The need to increase the insufficient fund fee for southbound commercial vehicles utilizing the Automatic Vehicle Identification System (A.V.I.) is to continue to avoid a disruption to the flow of traffic.

Currently when a vehicle arrives at the toll booth and the A.V.I. account associated with that vehicle does not have enough funds to cover the toll fee, the vehicle is not allowed to continue into Mexico and is advised to turn around and exit the toll facilities.

The average insufficient fund U-turns per month at Colombia Solidarity Bridge is 15 and at the World Trade Bridge is 131.

COMMITTEE RECOMMENDATION

On April 22, 2026 the Port of Entry Advisory Committee was made aware of this process and

unanimously agreed to increase the insufficient fund fee to continue to decrease the U-turn occurrences. The committee proposed the following:

- 1st U-Turn Offense \$100.00 plus the per axle crossing fee
- 2nd U-Turn Offense \$200.00 plus the per axle crossing fee
- 3rd U-Turn Offense \$300.00 plus the per axle crossing fee
- 4th U-Turn Offense \$400.00 plus the per axle crossing fee
- 5th U-Turn Offense \$500.00 plus the per axle crossing fee

* Suspend account and charge a re-activation fee of \$200.00

STAFF RECOMMENDATION

Increase the insufficient fund fee to \$500.00 for the 1st U-Turn Offense plus the per axle toll fee, \$1,000.00 for the 2nd U-Turn Offense plus the per axle toll fee and \$2,000.00 for the 3rd U-Turn Offense plus the per axle fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the A.V.I. account and if and an A.V.I. account has more than three (3) insufficient fund U-turns, the account will be suspended and charged a re-activation fee of \$200.00.

Fiscal Impact

Fiscal Year: 2026
Budgeted Y/N?: Yes
Source of Funds: Fees
Account #: 553-4015-351-1059 & 553-4061-351-1059

Change Order: Exceeds 25% Y/N: N/A

FINANCIAL IMPACT:

The estimated monthly financial impact if the average U-turns per month continue will be approximately \$73,000.00 plus the per axle fee.

ORDINANCE 2026-O-117

AN ORDINANCE OF THE CITY OF LAREDO, TEXAS, AMENDING SECTION 1 OF ORDINANCE 2024-O-110 TO AUTHORIZE AND PENALIZE REPEAT U-TURNS OFFENDERS, ALLOW THEM TO CROSS AND CHARGE THE FOLLOWING: TO INCREASE THE INSUFFICIENT FUND FEE TO \$500.00 FOR THE 1ST U-TURN OFFENSE PLUS THE PER AXLE CROSSING FEE, \$1,000.00 FOR THE 2ND U-TURN OFFENSE PLUS THE PER AXLE CROSSING FEE AND \$2,000.00 FOR THE 3RD U-TURN PLUS THE PER AXLE CROSSING TOLL FEE FOR SOUTHBOUND COMMERCIAL VEHICLES THAT ARRIVE AT THE TOLL BOOTH WITH INSUFFICIENT FUNDS IN THE AUTOMATIC VEHICLE IDENTIFICATION (A.V.I.) SYSTEM AND IF AN AVI ACCOUNT HAS MORE THAN THREE (3) INSUFFICIENT FUND U-TURNS, THE ACCOUNT WILL BE SUSPENDED AND CHARGED A RE-ACTIVATION FEE OF \$200.00. COMPANY. MUST LEAVE A CREDIT CARD ON FILE AND SCHEDULE AUTOMATIC REPLENISHMENT OF FUNDS AS FURTHER DESCRIBED IN EXHIBIT "A" AND HEREBY REPEALING ALL CONFLICTING SECTIONS IN ALL ORDINANCES CURRENTLY IN EFFECT.

WHEREAS, On June 1, 2026, City Council approved the public hearing and introductory ordinance amending Ordinance 2024-O-110 of the City of Laredo and authorized to penalize repeat U-Turn offenders, allow them to cross and charge the following: authorizing to increase the insufficient fund fee to \$500.00 for the 1st U-Turn Offense plus the per axle toll fee, \$1,000.00 for the 2nd U-Turn Offense plus the per axle toll fee and \$2,000.00 for the 3rd U-Turn Offense plus the per axle crossing fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the automatic vehicle identification (A.V.I.) account and if an A.V.I. account has more than three (3) insufficient fund U-turns, the account will be suspended and charged a re-activation fee of \$200.00. The company must leave a credit card on file and schedule automatic replenishment of funds as further described in Exhibit "A" and hereby repealing all conflicting sections in all ordinances currently in effect;

WHEREAS, the need to increase the insufficient fund fee for southbound commercial vehicles utilizing the Automatic Vehicle Identification System (A.V.I.) is to continue to avoid a disruption to the flow of traffic;

WHEREAS, currently when a vehicle arrives at the toll booth and the A.V.I. account associated with that vehicle does not have enough funds to cover the toll fee, the vehicle is not allowed to continue into Mexico and is advised to turn around and exit the toll facilities;

WHEREAS, the average insufficient fund U-Turns per month at Colombia Solidarity Bridge is 15 and at the World Trade Bridge is 131;

WHEREAS, the Port of Entry Advisory Committee has been made aware of this process and unanimously agreed to increase the insufficient fund fee to continue to decrease the U-Turn occurrences;

WHEREAS, the estimated monthly financial impact if the average U-Turns per month continue will be \$73,000.00 plus the per axle fee; and

WHEREAS, the City Council finds it necessary to apply such insufficient fund fee for southbound commercial vehicles that arrive at the toll booth with insufficient funds in the A.V.I. account.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: That section 1 of ordinance 2024-O-110 of the City of Laredo shall be, and hereby is, amended to read as follows:

That the City Council hereby establishes the rates to be charged for southbound traffic that crosses into Mexico at the City of Laredo International Bridges to be as follows:

1. Pedestrians one dollar (1.00)
 (Children under 6 years of age)..... Free
 (Bicycle and rider)..... one dollar (1.00)

2. All non-commercial vehicles (with or without Cargo) not utilizing the Automatic Vehicle Identification (A.V.I.) System \$1.75 @ Axle
 (Emergency vehicles. Fire engine, ambulance, police car, etc. Answering or returning from an emergency call) Free

3. All non-commercial vehicles (with or without Cargo) utilizing the Automatic Vehicle Identification (A.V.I.) System \$1.65 @ Axle
 (Emergency vehicles. Fire engine, ambulance, police car, etc. Answering or returning from an emergency call) Free

4. Commercial Vehicles
 All commercial vehicles\$4.75 @ Axle

5. Overweights (with permit)

80,001 lbs – 100,000 lbs	\$50.00
100,001 lbs – 120,000 lbs	\$75.00
120,001 lbs – 140,000 lbs	\$100.00
140,001 lbs – 160,000 lbs	\$125.00
160,001 lbs – 180,000 lbs	\$150.00
180,001 lbs – Over	\$175.00

	<u>Fee</u>	<u>U-Turn Penalty Violation Fee</u>
6. Overweights (Without permit)		
80,001 lbs – 100,000 lbs	\$ 50.00	+ \$500.00 + \$500.00
100,001 lbs – 120,000 lbs	\$ 75.00	+ \$500.00 + \$500.00
120,001 lbs – 140,000 lbs	\$100.00	+ \$500.00 + \$500.00
140,001 lbs – 160,000 lbs	\$125.00	+ \$500.00 + \$500.00
160,001 lbs – 180,000 lbs	\$150.00	+ \$500.00 + \$500.00
180,001 lbs – Over	\$175.00	+ \$500.00 + \$500.00

All commercial vehicles over 80,000 lbs. must obtain a permit from the Bridge Department of the City of Laredo prior to crossing any Bridge designated by the City of Laredo as a commercial International Bridge (Colombia Solidarity Bridge or World Trade Bridge). Failure to obtain this permit will result in an additional \$500.00 penalty fee at time of crossing. Failure to comply with the City of Laredo Bridge System U-Turn procedure at its International Bridges will result in an additional \$500.00 U-Turn violation fee. The entire bridge toll including the penalty fee and the violation fee must be paid prior to allowing any use of the City of Laredo International Bridges.

7. Swipe Card Administrative Fee
For Southbound Commercial Vehicles\$1.00@ Swipe Card

8. Sticker Tag Cost
For Southbound Vehicles utilizing the Automatic Vehicle Identification System
(A.V.I.)\$15.00 @ Sticker Tag

~~9. Insufficient Fund Fee
For Southbound Commercial Vehicles.....\$100.00 + \$4.75 per axle~~

9. Insufficient Fund Fee
For Southbound Commercial Vehicles.....\$500.00 for the 1st Offense
+ the per axle crossing fee
\$1,000.00 for the 2nd Offense
+ the per axle crossing fee
\$2,000.00 for the 3rd Offense
+ the per axle fee crossing fee

*Suspend account and charge a re-activation fee of \$200.00

Section 2: All laws and parts of laws in conflict with the provisions of this ordinance shall be, and hereby are, repealed.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE
_____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

MARIO MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH T. NGUYEN
CITY ATTORNEY

LAREDO INTERNATIONAL TOLL BRIDGES
TOLL SCHEDULE SOUTHBOUND ONLY

1. Pedestrians one dollar (1.00)
(Children under 6 years of age)..... Free
(Bicycle and rider)..... one dollar (1.00)

2. All non-commercial vehicles (with or without Cargo) not utilizing the Automatic Vehicle Identification (A.V.I.) System \$1.75 @ Axle
(Emergency vehicles. Fire engine, ambulance, police car, etc.
Answering or returning from an emergency call) Free

3. All non-commercial vehicles (with or without Cargo) utilizing the Automatic Vehicle Identification (A.V.I.) System \$1.65 @ Axle
(Emergency vehicles. Fire engine, ambulance, police car, etc.
Answering or returning from an emergency call) Free

4. Commercial Vehicles
All commercial vehicles\$4.75 @ Axle

5. Overweights (with permit)
80,001 lbs – 100,000 lbs \$50.00
100,001 lbs – 120,000 lbs \$75.00
120,001 lbs – 140,000 lbs \$100.00
140,001 lbs – 160,000 lbs \$125.00
160,001 lbs – 180,000 lbs \$150.00
180,001 lbs – Over \$175.00

	U-Turn	
	<u>Penalty</u>	<u>Violation</u>
	<u>Fee</u>	<u>Fee</u>
6. Overweights (Without permit)		
80,001 lbs – 100,000 lbs	\$ 50.00 +	\$500.00 + \$500.00
100,001 lbs – 120,000 lbs	\$ 75.00 +	\$500.00 + \$500.00
120,001 lbs – 140,000 lbs	\$100.00 +	\$500.00 + \$500.00
140,001 lbs – 160,000 lbs	\$125.00 +	\$500.00 + \$500.00
160,001 lbs – 180,000 lbs	\$150.00 +	\$500.00 + \$500.00
180,001 lbs – Over	\$175.00 +	\$500.00 + \$500.00

All commercial vehicles over 80,000 lbs. must obtain a permit from the Bridge Department of the City of Laredo prior to crossing any Bridge designated by the City of Laredo as a commercial International Bridge (Colombia Solidarity Bridge or World Trade Bridge). Failure to obtain this permit will result in an additional \$500.00 penalty fee at time of crossing. Failure to comply with the City of Laredo Bridge System U-Turn procedure at its International Bridges will result in an additional \$500.00 U-Turn violation fee. The entire bridge toll including the penalty fee and the violation fee must be paid prior to allowing any use of the City of Laredo International Bridges.

7. Swipe Card Administrative Fee

For Southbound Commercial Vehicles\$1.00@ Swipe Card

8. Sticker Tag Cost

For Southbound Vehicles utilizing the Automatic Vehicle Identification System (A.V.I.)\$15.00 @ Sticker Tag

~~9. Insufficient Fund Fee~~

~~For Southbound Commercial Vehicles \$100.00 + \$4.75 per axle~~

9. Insufficient Fund Fee

For Southbound Commercial Vehicles \$500.00 1st U-Turn Offense
+ the per axle crossing fee
\$1,000.00 2nd U-Turn Offense
+ the per axle crossing fee
\$2,000.00 2nd U-Turn Offense
+ the per axle crossing fee

*Suspend account and charge a re-activation fee of \$200.00

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 35.

SUBJECT

An ordinance of the City Council of the City of Laredo, Texas, authorizing the closing, vacating, and abandoning of a 4,460 square foot section of cul-de-sac out of Arthur Miller Court right-of-way, as depicted in the attached survey; providing for the reversion of said property to the original owners, D & J Alexander Investments; reserving a perpetual utility easement to the City of Laredo; and providing for an effective date.

PREVIOUS COUNCIL ACTION

The item was introduced as a Public Hearing and Introductory ordinance on June 1, 2026 to the City Council.

BACKGROUND

The cul-de-sac was dedicated by plat in document #1487060 and it was required for the turnaround of emergency vehicles. The cul-de-sac will become obsolete upon the approval of D&J Alexander Commercial Phase 15 Garden Homes Plat. The new plat configures the extension of Arthur Miller Court and the cul-de-sac will not be utilized.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

Efficient Land Use and Orderly Growth

- Efficient use of land and infrastructure
- Coordination between subdivision development and public improvements
- Flexibility in roadway design to support evolving development patterns

Mobility and Transportation Connectivity

- The cul-de-sac was originally intended for emergency vehicle turnaround access
- The roadway extension proposed in the new plat will replace that function
- Traffic flow will not be adversely affected

Infrastructure and Utility Coordination

- Protects continued access to public utilities
- Ensures maintenance and operation of infrastructure
- Prevents disruption of utility services despite the abandonment of public right-of-way.

Support for Continued Development

- Allowing adaptive subdivision design
- Supporting private investment and development
- Encouraging coordinated expansion in developing areas of the city

Summary of alignment: Overall, the ordinance appears consistent with the Viva Laredo Comprehensive Plan because it supports orderly urban development, improved roadway configuration, infrastructure coordination, and efficient land use planning. The action removes obsolete public right-of-way while preserving utility access and accommodating future subdivision development without negatively impacting traffic circulation.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Staff recommends the approval of this ordinance

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	N/A
Source of Funds:	N/A
Account #:	N/A
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

None

ORDINANCE NO. 2026-O-121

PUBLIC HEARING AND INTRODUCTORY ORDINANCE OF THE CITY COUNCIL OF THE CITY OF LAREDO TEXAS, AUTHORIZING THE CLOSING, VACATING, AND ABANDONING OF A 4,460 SQUARE FOOT SECTION OF CUL-DE-SAC OUT OF ARTHUR MILLER COURT RIGHT-OF-WAY, AS DEPICTED IN THE ATTACHED SURVEY; PROVIDING FOR THE REVERSION OF SAID PROPERTY TO THE ORIGINAL OWNERS, D & J ALEXANDER INVESTMENTS; RESERVING A PERPETUAL UTILITY EASEMENT TO THE CITY OF LAREDO; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the cul-de-sac was dedicated by Plat to the public and recorded in document 1487060 in 2022; and

WHEREAS, said cul-de-sac was originally required to provide turnaround access for emergency vehicles; and

WHEREAS, the cul-de-sac will become obsolete upon the approval and recording of the Arthur Miller Extension Plat, which reconfigures and extends Arthur Miller Court right-of-way; and

WHEREAS, the City Manager recommends that the City Council close, vacate, and abandon as public cul-de-sac section of Arthur Miller Court right-of-way located within D & J Alexander Commercial Subdivision; and

WHEREAS, the traffic flow in the immediate area will not be adversely affected by such closing; and

WHEREAS, the 4,460 square foot section of Arthur Miller Court right-of-way will revert to D & J Alexander Investments in accordance with applicable laws; and

WHEREAS, the City of Laredo will retain a perpetual utility easement over the subject property for the installation, operation, maintenance, repair, replacement, relocation, and removal of public utilities; and

WHEREAS, the City Council of the City of Laredo finds that it is in the best interest of the City and its citizens to close, vacate, and abandon the subject cul-de-sac section of Arthur Miller Court right-of-way.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1. The 4,460 square foot section of cul-de-sac out of Arthur Miller Court right-of-way, City of Laredo, Webb County, Texas, as depicted in the attached survey, is hereby closed, vacated, and abandoned as public right-of-way.

Section 2. Fee title to the vacated portion of said right-of-way is hereby released and shall revert to the adjacent and underlying property owners, D & J Alexander Investments; provided, however, that there is reserved unto the City of Laredo, its successors and assigns, a perpetual utility easement for the purpose of placing, constructing, repairing, maintaining, rebuilding, replacing, relocating, operating, and removing utility mains, lines, poles, and appurtenances for any public utilities owned, permitted, or franchised by the City of Laredo.

Section 3. This ordinance shall become effective upon passage thereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE APPROVED on this the _____ day of _____, 2026.

Dr. Victor D. Treviño
MAYOR

ATTEST:

MARIO MALDONADO JR.
CITY SECRETARY

APPROVED AS TO FORM:

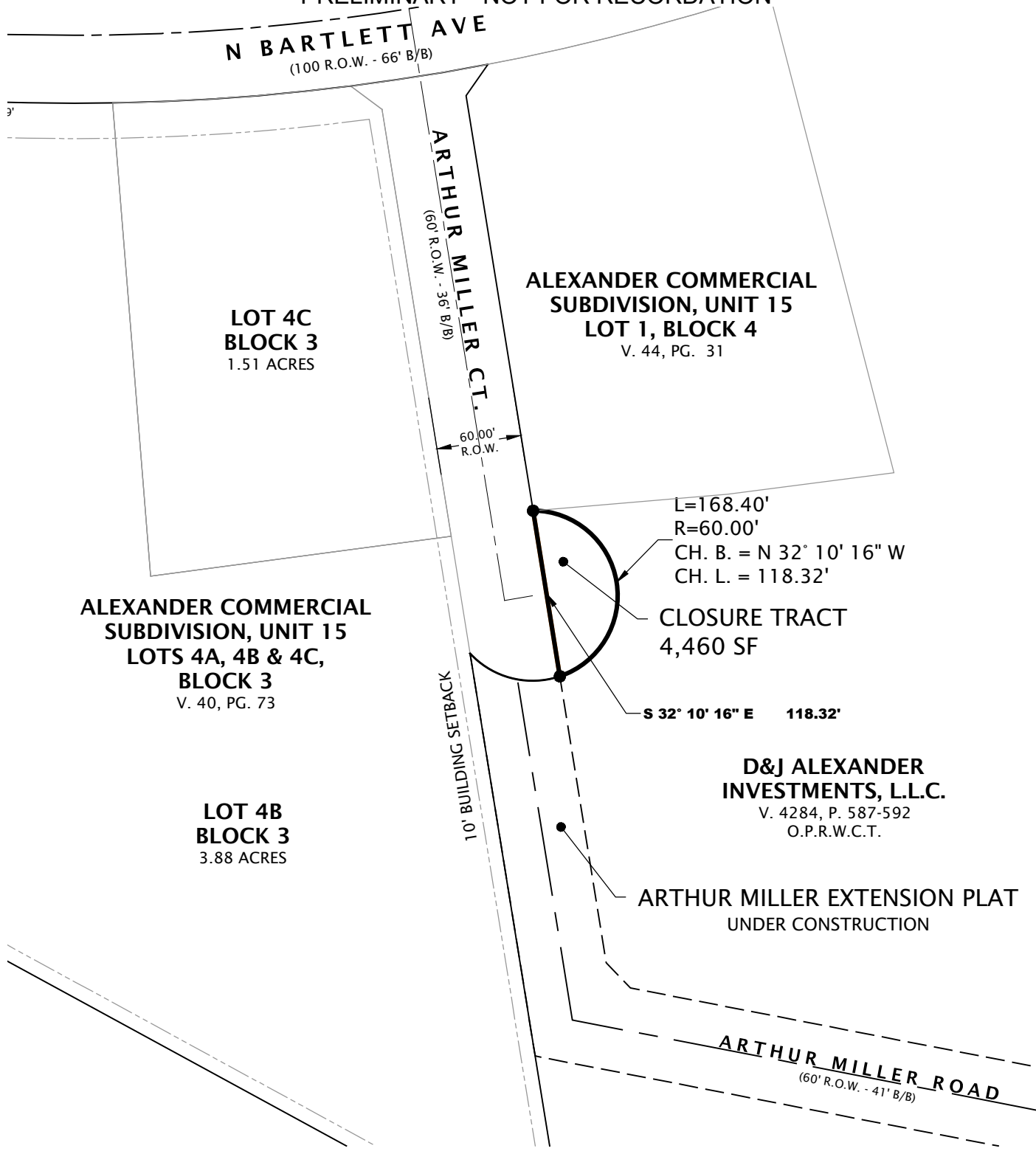
DOANH “ZONE” T. NGUYEN
CITY ATTORNEY

BY: _____
RODOLFO MORALES III
ASSISTANT CITY ATTORNEY



Arthur Miller Ct. Cul-de-sac

**ROAD CLOSURE EXHIBIT
PRELIMINARY - NOT FOR RECORDATION**



N BARTLETT AVE
(100 R.O.W. - 66' B/B)

ARTHUR MILLER CT.
(60' R.O.W. - 36' B/B)

**ALEXANDER COMMERCIAL
SUBDIVISION, UNIT 15
LOT 1, BLOCK 4**
V. 44, PG. 31

**LOT 4C
BLOCK 3**
1.51 ACRES

**ALEXANDER COMMERCIAL
SUBDIVISION, UNIT 15
LOTS 4A, 4B & 4C,
BLOCK 3**
V. 40, PG. 73

**LOT 4B
BLOCK 3**
3.88 ACRES

L=168.40'
R=60.00'
CH. B. = N 32° 10' 16" W
CH. L. = 118.32'

CLOSURE TRACT
4,460 SF

S 32° 10' 16" E 118.32'

**D&J ALEXANDER
INVESTMENTS, L.L.C.**
V. 4284, P. 587-592
O.P.R.W.C.T.

**ARTHUR MILLER EXTENSION PLAT
UNDER CONSTRUCTION**

ARTHUR MILLER ROAD
(60' R.O.W. - 41' B/B)

10' BUILDING SETBACK

A 4,460 SQUARE FEET
OUT OF THE ARTHUR MILLER ROW
D & J ALEXANDER COMMERCIAL SUBDIVISION
PHASE 15, VOL. 44, PG 73 P.R.W.C.T.
SITUATED IN PORCTION 26, AGUSTIN SANCHEZ ORIGINAL GRANTEE,
ABSTRACT 282, CITY OF LAREDO, WEBB COUNTY TEXAS

TOPSITE
Civil Group

10901 INTERNATIONAL BLVD., SUITE 300
LAREDO, TEXAS, 78045
TEL. 956.725.5057
WEB. WWW.TOPSITECIVIL.COM
TBPELS ENGINEERING FIRM REG. F-22574
TBPELS SURVEY REG. 10194686

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 36.

SUBJECT

Introductory Ordinance authorizing the City Manager to accept and enter into a contract from the Ardmore Institute of Health for the Lifestyle Medicine Consortium Program Grant, amending the FY2025-2026 budget by appropriating revenues and expenditures in the amount of \$100,000.00, with no match for the City of Laredo Public Health Department, for the term June 01, 2026 through May 31, 2027. Funds will be accounted for in the Laredo Public Health Department Fund - Lifestyle Medicine Consortium Grant.

PREVIOUS COUNCIL ACTION

On December 1, 2026, Council approved Resolution 2026-R-308.

BACKGROUND

The Ardmore Institute of Health contracts with the City of Laredo Public Health Department for the Lifestyle Medicine Consortium Program Grant. Through this award, Laredo Public Health will implement the Vida Plena (full Life): Laredo Lifestyle Medicine Consortium project, a community-based initiative focused on preventing and reducing chronic diseases through evidence-based Lifestyle Medicine interventions. The program will provide culturally tailored consultations, nutrition education, physical activity support, stress management resources, wellness programming, and community support services for underserved and uninsured populations of Laredo and Webb County. The initiative will also utilize biometric screenings and warble technology to monitor participant outcomes and support long term behavior change aimed at improving overall health and quality of life.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.1:** Expand access to preventive healthcare services in underserved communities.
- **Goal 7.3:** Prevent and reduce chronic disease through education and early intervention.
- **Policy 7.3.2:** Promote healthy lifestyles, nutrition, physical activity, and preventive wellness programs to improve long-term health outcomes.
- **Goal 7.4:** Foster a culture of health through education and community wellness initiatives.
- **Policy 7.4.1:** Support community-based wellness programs that improve quality of life and encourage healthy behaviors.
- **Goal 7.5:** Strengthen public health systems and partnerships.

Summary of alignment: This ordinance aligns with the Viva Laredo Comprehensive Plan by supporting evidence-based lifestyle medicine strategies that address chronic disease prevention and

improve long-term community health outcomes. Through culturally tailored wellness services, nutrition education, physical activity support, stress management resources, and biometric monitoring, the Vida Plena initiative promotes healthier lifestyles for underserved and uninsured populations in Laredo and Webb County. The program advances the Plan's goals of expanding preventive healthcare, reducing chronic disease disparities, and fostering a healthier and more resilient community through community-based wellness initiatives.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approves the Introductory Ordinance.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	N
Source of Funds:	Laredo Lifestyle Medicine Grant
Account #:	226-6519
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

The revenue account is 226-0000-327-9067 and the expenditure division is 226-6519 with Project Number HEAH01.

From: [Claudia G. Sierra](#)
To: [Nalleli G. Madrigales](#)
Subject: FW: Application Approved and Important Next Steps - AIH
Date: Monday, May 4, 2026 2:54:12 PM
Attachments: [image001.png](#)
[image002.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[image009.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
Importance: High



Claudia G. Sierra
MBA, CTCM, CHW
Budget & Grants Manager
City of Laredo Public Health Department
: 2600 Cedar Ave. Laredo, Texas 78040
: (956) 712-6009
: csierra@ci.laredo.tx.us
: www.laredopublichealth.com



From: Luis T. Cerda <lcerda@ci.laredo.tx.us>
Sent: Tuesday, April 28, 2026 2:54 PM
To: Laura Recio <lrecio1@ci.laredo.tx.us>; Claudia G. Sierra <csierra@ci.laredo.tx.us>
Cc: Richard A. Chamberlain <rchamberla@ci.laredo.tx.us>; Erika Martinez <emartinez8@ci.laredo.tx.us>
Subject: FW: Application Approved and Important Next Steps - AIH
Importance: High

Good Afternoon

There are a few pending steps for this grant related to payment information. I logged in and I can not modify the fields below.

< BACK

At the very bottom it says this

This record is locked. Checked out by another user (April 28 2026 1:58PM)

Did anyone went in and locked this? I am not sure if the information was submitted

Preferred Payment Method

1) Electronic funds transfer via Bill.com
If your organization is new to Bill.com, the primary contact you designate will receive an invitation to set up an account for your organization and securely provide banking details.
If your organization is already registered in Bill.com, the primary contact previously designated will receive the payment notification. AIH cannot modify your organization's primary contact information if already registered in Bill.com.

2) Mailed check

Electronic funds transfer via Bill.com Mailed check

Provide the full name of the authorized signatory for the Award Agreement.

Provide the email address of the authorized signatory for the Award Agreement.

Outlook
Ron Stout
Re: Thank you!
CAUTION: This email originated from o

From: grants@ardmoreinstituteofhealth.org <grants@ardmoreinstituteofhealth.org>
Sent: Tuesday, April 28, 2026 11:40 AM
To: Luis T. Cerda <lcerda@ci.laredo.tx.us>

Subject: Application Approved and Important Next Steps - AIH

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Luis,

I am pleased to inform you that Ardmore Institute of Health has approved a grant to your organization for the project titled, Vida Plena (Full Life): Laredo Lifestyle Medicine Consortium.

To prepare your official Award Agreement, we kindly request that you provide payment information through the AIH grants platform. [Please log in here](#) and follow the instructions below:

1. Click 'Open' next to your grant request under 'Action Items'.
2. Navigate to the last tab titled 'Payment Information'.
3. Complete the required fields and click 'Submit Payment Information'.

Once we receive this information, we will send the Award Agreement to your authorized signatory. Please ensure the Award Agreement is completed, signed, and returned within 10 business days of receipt, unless otherwise indicated in the agreement.

Sincerely,

Abbey Whatley
Grants and Communications Administrator
abbey.whatley@ardmoreinstituteofhealth.org
580-992-0179

ORDINANCE NO. 2026-O-119

INTRODUCTORY ORDINANCE AUTHORIZING THE CITY MANAGER TO ACCEPT AND ENTER INTO A CONTRACT FROM THE ARDMORE INSTITUTE OF HEALTH FOR THE LIFESTYLE MEDICINE CONSORTIUM PROGRAM GRANT, AMENDING THE FY2025-2026 BUDGET BY APPROPRIATING REVENUES AND EXPENDITURES IN THE AMOUNT OF \$100,000.00, WITH NO MATCH FOR THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT, FOR THE TERM JUNE 01, 2026 THROUGH MAY 31, 2027. FUNDS WILL BE ACCOUNTED FOR IN THE LAREDO PUBLIC HEALTH DEPARTMENT FUND - LIFESTYLE MEDICINE CONSORTIUM GRANT.

WHEREAS, The Ardmore Institute of Health contracts with the City of Laredo Public Health Department for the Lifestyle Medicine Consortium Program Grant. Through this award, Laredo Public Health will implement the Vida Plena (full Life): Laredo Lifestyle Medicine Consortium project, a community-based initiative focused on preventing and reducing chronic diseases through evidence-based Lifestyle Medicine interventions. The program will provide culturally tailored consultations, nutrition education, physical activity support, stress management resources, wellness programming, and community support services for underserved and uninsured populations of Laredo and Webb County. The initiative will also utilize biometric screenings and warble technology to monitor participant outcomes and support long term behavior change aimed at improving overall health and quality of life.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager is hereby authorized to accept and enter into a contract from the Ardmore Institute of Health for the Lifestyle Medicine Consortium Program Grant, amending the FY2025-2026 budget by appropriating revenues and expenditures in the amount of \$100,000.00, with no match for the City of Laredo Public Health Department, for the term June 01, 2026 through May 31, 2027. Funds will be accounted for in the Laredo Public Health Department Fund – Lifestyle Medicine Consortium Grant.

Section 2: The revenue account is 226-0000-327-9067 and the expenditure division is 226-6519 with Project Number HEAH01.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS _____ DAY OF _____, 2026.

DR. VICTOR D. TREVINO

MAYOR

ATTEST:

MARIO I. MALDONADO JR.
CITY SECRETARY

APPROVED AS TO FORM
DOANH T. NGUYEN, CITY ATTORNEY

AMBER R. HOLMES
ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Final Readings 37.

SUBJECT

Authorizing the City Manager to execute a lease agreement between the University of Texas Health Science Center at San Antonio and the City of Laredo Public Health Department for approximately 5,070 square feet at 2600 Cedar Avenue, Laredo, Texas 78040 situated within the Laredo Public Health Department Building. Lease term shall be for a total of three (3) years, commencing on October 1, 2025 and ending on September 31, 2028, with an annual base rent of \$97,344.00, payable in monthly installments, with prorated payments beginning April 1, 2026 for fiscal year 2026.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

The City of Laredo Public Health Department is entering into a lease agreement with The University of Texas Health Science Center at San Antonio (UT Health San Antonio) for the use of approximately 5,070 square feet of space within the Public Health Department building located at 2600 Cedar Avenue to operate a dental health clinic. The lease agreement establishes a three (3) year term beginning October 1, 2025 and ending September 30, 2028, with an annual base rent of \$97,344.00, payable in monthly installments. Payments for fiscal year 2026 will commence on April 1, 2026 and end on September 1, 2026 for a total rent payment for fiscal year 2026 of \$48,672.00. Full monthly rent payments of \$8,112.00 per month for the remaining two years of the agreement will be made from October 1, 2026 through September 1, 2028.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.1:** Expand access to preventive and primary healthcare services in underserved communities.
- **Policy 7.1.4:** Increase access to specialized care services such as dental and oral health.
- **Goal 7.5:** Strengthen public health systems and partnerships.
- **Policy 7.5.4:** Collaborate with academic and healthcare institutions to expand service capacity and improve health outcomes.

Summary of alignment: This ordinance aligns with the Viva Laredo Comprehensive Plan by expanding access to dental and oral health services through a strategic partnership with The University of Texas Health Science Center at San Antonio. By utilizing existing Public Health Department facilities to house a dental clinic, the City enhances service capacity, improves access to preventive and specialized care, and supports underserved populations. This collaboration

strengthens public health infrastructure, promotes community-based care, and advances the Plan's goals of improving health outcomes and expanding healthcare partnerships.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approves the Introductory Ordinance.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	N
Source of Funds:	Building Rent
Account #:	226-0000-361-1015
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Monthly: \$8,112.00
Annually: \$97,344.00.00

The revenue account is 226-0000-361-1015

**LEASE AGREEMENT BETWEEN
CITY OF LAREDO, TEXAS, AND UT HEALTH SAN ANTONIO**

STATE OF TEXAS

§

COUNTY OF WEBB

§

This lease agreement is hereby made and entered into by and between the **CITY OF LAREDO**, a municipal corporation, and **–THE UNIVERSITY OF TEXAS HEALTH SCIENCE CENTER AT SAN ANTONIO**, an agency of the State of Texas.

WHEREAS, the City of Laredo desires to enter into a lease agreement with THE UNIVERSITY OF TEXAS HEALTH SCIENCE CENTER AT SAN ANTONIO for the use of office space for its management and operations located in Laredo, Webb County, Texas, and

WHEREAS, the UT Dentistry Laredo Dental Clinic partners with Laredo Public Health to provide high-quality pediatric and adult comprehensive dental care for all ages, as well as care for patients with medical, physical or mental disabilities, and

WHEREAS, the City of Laredo finds it is in the parties' best interest to enter into this lease agreement.

ARTICLE I: PREMISES, TERMS, AND PRIVILEGES

DEFINITIONS:

“LESSEE”: The University of Texas Health Science Center at San Antonio, an agency of the State of Texas, acting through its duly constituted agent, its Chief Financial Officer.

“LESSOR”: THE CITY OF LAREDO, a Texas home-rule municipal corporation situated in Webb County, acting by and through its duly constituted agent, the City Manager.

LEASED AREA:

The LESSOR does hereby lease a gross building area of approximately 5,070 sq. ft. constituting a one-story suite utilized as a dental health clinic with located within the Laredo Public Health Department Building, located at 2600 Cedar Avenue, Laredo, Texas 78040, and LESSEE hereby leases the said leased area from LESSOR.

TERM AND TERMINATION OF LEASE AGREEMENT:

The term of this Agreement shall be a period of 3 (three) years beginning October 1, 2025, and ending on September 31, 2028.

Either party hereto may terminate this agreement upon thirty (30) days' written notice to the other party.

RENTAL OBLIGATION:

With the exception of fiscal year 2026 as described below, LESSEE herein agrees to pay LESSOR the sum of \$97,344.00 base rent for each year during the term of this lease, payable monthly at the

rate of \$8,112.00 per month. Payments for fiscal year 2026 will commence on April 1, 2026 and end on September 1, 2026 for a total rent payment for fiscal year 2026 of \$48,672.00.

Full monthly rent payments of \$8,112.00 per month for the remaining two years of the agreement will be made from October 1, 2026 through September 1, 2028.

All payments shall be made to the City of Laredo, with reference to:

City of Laredo Public Health Department
2600 Cedar Avenue
Laredo, TX 78040
Re: UT Health San Antonio - Dentistry, Lease

WARRANTIES and COVENANTS:

LESSEE warrants it has the power and authority to execute this lease agreement with LESSOR and to perform and observe all the terms and provisions on its part to be performed or observed. LESSEE represents to LESSOR the execution, delivery, and performance of this lease agreement by LESSEE, which has been duly and validly authorized by all necessary action on its part and constitutes a valid and binding agreement enforceable in accordance with its terms.

UTILITIES, SECURITY, MAINTENANCE, and REMOVAL of DEBRIS:

LESSEE agrees to pay charges resulting from LESSEE'S use of the leased premises, including telephone, cable television, internet, or any other utility services. LESSEE hereby also agrees to pay all such charges promptly before they become delinquent.

LESSOR agrees to pay charges resulting from overall building use including electricity, water, wastewater, and natural gas.

At its own expense, LESSEE shall maintain janitorial services and remove all garbage and waste from the leased premises to the designated garbage truck pickup areas. LESSOR shall be responsible for the removal of all garbage and rubbish on the leased premises from the designated garbage truck pickup area. The premises shall be free of trash and maintained in a sanitary manner and in compliance with all City ordinances. Security of the premises and its content shall be LESSEE's sole responsibility.

TAXES:

Upon receipt of written notice of any taxes, impositions, and surcharges, LESSEE agrees to pay and discharge promptly, before delinquency, any and all such taxes, impositions, and surcharges imposed by taxing agencies against any personal property, tools, equipment, furniture, fixtures, and inventory belonging to LESSEE and placed on the premises.

ASSIGNMENT and SUBLEASING:

Neither the leased premises nor any portion thereof shall be sublet, nor shall this lease or any interest therein be assigned, hypothecated, or mortgaged by LESSEE, and any attempted assignment, subletting, hypothecation, or mortgaging of this lease shall be of no force effect, and shall confer no rights upon any assignee, sublease, mortgagee or pledgee, but shall constitute a material breach of this contract by LESSEE.

BANKRUPTCY:

In the event that LESSEE shall become bankrupt or insolvent, or be dissolved, or should a trustee or receiver be appointed to administer LESSEE'S business or affairs, neither this lease nor any interest herein shall become an asset of the trustee or receiver, and this lease shall immediately terminate and end.

WARRANTY OF TITLE:

LESSOR hereby represents and warrants that it is the owner in fee simple absolute of the leased premises, subject to any covenants, conditions, restrictions, easements, and other matters of record.

ARTICLE II: REPAIRS, ALTERATIONS AND INSURANCE

REPAIRS AND MAINTENANCE:

LESSEE hereby declares itself fully familiar with the physical condition of the leased premises and the improvements, fixtures, and equipment leased herein and hereby declares that said premises were in good condition when possession of same was accepted and that there were no latent defects in the facilities as those facilities are deemed vital to the use of the premises for their intended purpose.

Throughout the term of this lease, LESSEE shall take good care of the leased area and the fixtures and appurtenances therein.

LESSEE, upon written approval by LESSOR, may update the painting of interior and exterior walls when needed, floor covering, and other interior maintenance and repairs.

LESSOR is responsible for maintenance and repairs including, roof, parking lot, windows, doors, plumbing, electrical, light fixtures, plumbing fixtures, air conditioning system as deemed necessary by LESSOR upon written notice by LESSEE.

LESSOR is entitled to reimbursement from the LESSEE for any and all expenses incurred in connection with any maintenance, repair, or replacement resulting from the negligence or fault of the LESSEE or of the LESSEE'S agents, servants, or employees. This reimbursement shall be due within thirty (30) days.

LESSEE agrees to maintain the premises to include, in part, routine maintenance of leased premises and pest control.

LESSEE herein agrees to notify LESSOR within (24) hours of any accident or any defects in the utility system or structure, including, but not limited to, water pipes, drainage pipes, and air conditioning ducts.

The LESSOR or its designee is expressly granted the right of access to any such utility system or structure and the right to enter the leased area to inspect and repair, if necessary, any such system(s) or structures for its inspection, work, or repair.

LESSEE shall maintain the leased premises and keep them free from waste or nuisance throughout the lease term. At the termination of the lease, LESSEE shall surrender and deliver the leased premises to LESSOR in a good state of repair and condition as they were at the time.

ALTERATIONS:

LESSEE is granted the right to make limited improvements, additions, or alterations to the leased area other than structural alterations at LESSEE'S sole cost and expense, subject to the following terms and conditions.

LESSEE must first obtain LESSOR's written consent. LESSOR must approve all interior designs or future changes thereof in writing. LESSOR reserves the right to reject any proposed extension, repair, or alteration, any particular contractor or each subcontractor, or the complete project. LESSEE shall provide LESSOR with a master plan, architectural model, and drawing for all proposed interior renovations, alterations, and modifications to the leased space.

Ultimate title to an improvement, addition, or alteration properly consented to in writing by LESSOR will vest with LESSOR immediately upon its completion and will remain in LESSOR'S possession at the termination of LESSEE'S tenancy. LESSOR may, however, require that LESSEE, at their expense, remove any or all alterations, additions, or improvements installed or made by LESSEE and any other property placed in the premises by LESSEE upon termination of the lease.

LESSEE shall not, without first obtaining LESSOR's written consent and permission, erect or install shelves, bins, machinery, or other trade fixtures, signs, or displays on any portion of the leased premises, including the exterior walls.

Trade fixtures, moveable furniture, and other service equipment of LESSEE peculiar to LESSEE'S non-profit business that is not to be included as additions, improvements, or alterations must be removed by LESSEE upon the termination of the lease, provided LESSEE is not in default of lease obligations. Any trade fixtures not removed by LESSEE at the termination of this lease shall be deemed abandoned by LESSEE and shall automatically become the property of the LESSOR.

LESSOR reserves the right to demand that LESSEE reasonably restore the premises to the same condition before making such alterations, in a manner acceptable to LESSOR, and to demand that LESSEE pay all costs of such restoration.

LESSEE further agrees to repair expeditiously any damages caused by the installation or removal of trade fixtures at LESSEE'S sole expense upon written notice by LESSOR.

LESSOR maintains and reserves the right to make alterations and remodeling changes, provided said

work does not interfere with LESSEE'S day-by-day operations and business.

INSURANCE:

LESSOR acknowledges that LESSEE is an agency of the State of Texas and has only such authority to obtain insurance from third parties as is granted to LESSEE by state law or as may be reasonably implied by such law. LESSEE shall have no obligation under this Lease to obtain policies of insurance and shall have the right, in LESSEE's sole discretion, to determine whether LESSEE will maintain policies of insurance, operate programs of self-insurance, or utilize any other program of risk-protection in connection with LESSEE's operations. LESSEE, pursuant to State regulations, shall self-insure. LESSOR acknowledges that because LESSOR is an agency of the State of Texas, liability for the tortious conduct of the agents and employees of LESSOR or for injuries caused by conditions of tangible state property is provided for solely by the provisions of the Texas Torts Claims Act, *Texas Civil Practices and Remedies Code*, Chapter 101, as amended from time to time. Workers compensation insurance coverage for employees of LESSEE will be provided by LESSEE as mandated by the provisions of the *Texas Labor Code*, Chapter 503, as amended from time to time.

ARTICLE III: DEFAULT, HOLDING OVER, AND ABANDONMENT

LESSEE'S DEFAULT:

The following events (individually, an "Event of Default" and collectively, "Events of Default") constitute defaults under this lease:

- (a) LESSEE should fail to timely pay the full amount of rent and fees provided for herein;
- (b) LESSEE defaults in the performance of any of the covenants, conditions, or agreements provided for herein to be kept and performed by LESSEE, including, but not limited to, the provisions for carrying required Insurance;
- (c) LESSEE permits the leased premises to be used for any unauthorized or unlawful business or purpose or use consistent with the terms of this Agreement;
- (d) LESSEE assigns or subleases or otherwise transfers this lease;
- (e) LESSEE files a voluntary petition of bankruptcy to make a general assignment for the benefit of creditors and
- (f) LESSEE abandons the premises or leaves the premises vacant or unoccupied for thirty (30) consecutive days.

Then, and in any event, the LESSOR may, at its options and without waiving any other rights that the LESSOR has under this contract, at any time after such default, give notice of this specific default or failure of performance and demand immediate correction of such default or failure of performance by the LESSEE. In the event that LESSEE fails to remedy the default or to correct the failure of performance within thirty (30) days after service of such written notice, the LESSOR shall have the right to:

Immediately terminate the lease, re-enter the leased premises, and remove all persons and any and all personal property therefrom, and LESSEE hereby agrees to surrender the premises to LESSOR without waiving LESSOR'S right to past and future rents due hereunder. In such event, LESSOR may re-let the premises to other prospective LESSEES for the remainder of the term of this lease, and LESSEE shall be liable for any loss to LESSOR incurred in such re-letting for the terms of this lease, including rent and attorneys' fees, if any.

Notwithstanding any provision as to notice in this lease contained, if, in the LESSOR'S reasonable judgment, the continuation of any default by the LESSEE for the full period of the notice otherwise provided for herein will jeopardize the leased area or the rights of LESSOR, the LESSOR may, without notice, elect to perform those acts in respect to which LESSEE is in default, at LESSEE'S sole cost and expense, and LESSEE shall thereupon reimburse the LESSOR within ten (10) days of written request by LESSOR to LESSEE for such reimbursement. Failure of the LESSEE to reimburse in these circumstances shall mean that the LESSOR has the immediate right to terminate this lease.

INSPECTION BY LESSOR:

LESSEE shall permit LESSOR AND LESSOR'S agents, representatives, and employees to enter into and on the leased premises at all reasonable times for the purpose of inspection, maintenance, making repairs or alterations to the premises, or any other purpose necessary to protect LESSOR'S interest in the leased premises or to perform LESSORS duties under the terms and provisions of this lease.

LESSOR'S REPRESENTATION AND WAIVER:

Any representations by LESSOR regarding LESSEE'S leasehold interest are embodied in this writing. The waiver by LESSOR to LESSEE of the performance of any provision of this agreement shall not amount to a future waiver of strict performance of such provision or any other provision(s) of this agreement. Any waiver of this lease agreement shall be in writing and approved by the LESSOR.

ANTI-DISCRIMINATION CLAUSES:

TITLE VI OF THE CIVIL RIGHTS ACT OF 1964: The LESSEE for itself, its agents, servants, employees, successors, and assigns, as a part of the consideration hereof, does hereby covenant and agree to a covenant running with the land that:

No person on the grounds of race, color, religion, national origin, or disability shall be excluded from participating in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities;

That is the construction of any improvements on, under such land and the furnishing of services thereon, no person on the grounds of race, color, or national origin shall be excluded from participation in, denied the benefits of, or otherwise be subject to discrimination;

That in the event of a breach of any of the preceding non-discrimination covenants, the LESSOR shall have the right to take such action to enforce this non-discrimination covenant; and

That in the event of a breach of any of the proceeding's non-discrimination covenants, the LESSOR shall have the right to terminate the license, lease, permit, etc., and hold the same as if said lease had never been made and issued.

ARTICLE IV: MISCELLANEOUS

DAMAGE OR DESTRUCTION OF PREMISES

If the leased premises or any structures or improvements on the leased premises should be damaged or destroyed by fire, tornado, or another casualty, LESSEE shall give immediate written notice of the damage or destruction to LESSOR, including a description of the damages and to the extent known to LESSEE, the cause of the damage.

MECHANIC'S LIEN

LESSEE shall not permit a mechanic's lien or other lien to be placed upon the leased premises or upon improvements on the premises.

NON-EXCLUSIVE USE:

It is understood that nothing herein contained shall be construed to grant or authorize an exclusive right unless specifically identified herein.

CAPTIONS:

Articles and headings are inserted only as a matter of convenience and for reference and in no way define, limit, or describe the scope or intent of any provision hereof, nor are they meant to bind the LESSOR or LESSEE to the meaning of such heading.

CONSTRUED PURSUANT TO TEXAS LAW:

This agreement shall be construed under and in accordance with the laws of the State of Texas and is to be performed in Laredo, Webb County, Texas.

RE-ENTRY:

No re-entry, repossession, or operations of the premises or of fixtures and equipment shall be construed as an election by LESSOR to terminate this lease unless a written notice of such intention to

terminate is given by LESSOR to LESSEE and notwithstanding any such operation without terminating this lease, LESSOR may at any time thereafter elect to terminate this lease.

NON-EXCLUSIVE USE OF PARKING AREA:

LESSEE, its employees, agents, clients, and guests shall have reasonable use of designated parking areas immediately adjacent to the leased premises, subject to the rights of LESSOR to change such designation and to impose reasonable rules and regulations for the use of such areas.

BINDING AGREEMENT:

Subject to the provisions herein, all agreements, terms, obligations, covenants, and conditions of this lease shall be binding upon and inure to the benefit of the parties hereto and their respective employees, agents, servants, legal representatives, successors, and assigns unless otherwise prohibited or otherwise noted in this agreement.

NOTICES:

Any notices which are required hereunder, or which either LESSOR or LESSEE may desire to serve upon the other shall be in writing and served when deposited in the United States mail, postage prepaid, return receipt requested, addressed to LESSOR and LESSEE as follows:

LESSEE: LAREDO CENTER FOR URBAN AGRICULTURE AND SUSTAINABILITY
 Jose Moreno

LESSOR: CITY OF LAREDO, TEXAS
 C/O City Manager's Office
 1110 Houston Street
 Laredo, TX 78040

OUTSIDE STORAGE PROHIBITED:

Storage of vehicles, equipment, supplies, or other items outside the leased premises is prohibited.

COMPLIANCE WITH STATE AND LOCAL LAWS:

Further, LESSEE will keep and maintain the leased area in a clean and healthful condition and comply with the laws, ordinances, orders, rules, and regulations (State, Municipal, and other agencies or bodies having any jurisdiction hereof) with reference to use, conditions, or occupancy of the leased area.

PREMISES LEASED “AS IS”:

Premises are leased AS IS, and there is no expressed or implied warranty on the condition or suitability of the building.

PROVISIONS:

Any provision in this Lease that proves to be invalid, void, or illegal shall in no way affect, impair, or invalidate any other provision hereof, and the remainder of this lease shall remain in full force and effect.

ENTIRE AGREEMENT:

This Agreement sets forth the entire Agreement of the parties on the subject matter hereof and may not be changed, modified, discharged, or extended except by a dated written instrument duly executed by the LESSOR and LESSEE, and this agreement shall supersede any prior agreements, understandings or written or oral agreements between the parties regarding the subject matter of this agreement.

LESSEE agrees that no representations or grant of rights or privileges shall be binding upon the LESSOR unless expressed in writing pursuant to this Agreement.

RIGHTS AND REMEDIES CUMULATIVE:

The rights and remedies provided by the lease agreements are cumulative, and the use of any one right or remedy by either party shall not preclude or waive its rights to use any or all other remedies provided by law. These rights and remedies are given in addition to any other rights the parties may have by law, statute, ordinance, or otherwise.

Executed on the days and dates set forth herein below, to be effective for all purposes as of the first day of the Term.

(SIGNATURES AND ACKNOWLEDGEMENTS ON FOLLOWING PAGE)

SIGNATURES:

City of Laredo

**The University of Texas Health Science
Center at San Antonio**

Joseph W. Neeb
City Manager
Date: _____

DocuSigned by:
Shan Zhao Reeves
F5B77386DDFB4D5...
Shan Zhao Reeves, MBA, FACHE
Vice Dean, Finance and Administration
School of Dentistry
Date: 4/15/2026

Richard A. Chamberlain DrPH, MPH, CPHA,
CPM, CHW, RS
Health Director
Date: _____

Signed by:
Kenneth Hargreaves
0186AE01AF154EE...
Ken Hargreaves, DDS, PhD
Dean, School of Dentistry
Date: 4/15/2026

APPROVED AS TO FORM
Doanh T. Nguyen, City Attorney

Signed by:
Ginny Gomez-Leon
8A5856D76EF9466...
Ginny Gomez-Leon, MBA, CPA
Senior Vice-President and Chief Financial
Officer
Date: 4/17/2026

Amber R. Holmes
Assistant City Attorney
Date _____

Jose A. Valdez, Jr.
City Secretary
Date _____

ORDINANCE NO. 2026-O-120

AUTHORIZING THE CITY MANAGER TO EXECUTE A LEASE AGREEMENT BETWEEN THE UNIVERSITY OF TEXAS HEALTH SCIENCE CENTER AT SAN ANTONIO AND THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT FOR APPROXIMATELY 5,070 SQUARE FEET AT 2600 CEDAR AVENUE, LAREDO, TEXAS 78040 SITUATED WITHIN THE LAREDO PUBLIC HEALTH DEPARTMENT BUILDING. LEASE TERM SHALL BE FOR A TOTAL OF THREE (3) YEARS, COMMENCING ON OCTOBER 1, 2025 AND ENDING ON SEPTEMBER 31, 2028, WITH AN ANNUAL BASE RENT OF \$97,344.00, PAYABLE IN MONTHLY INSTALLMENTS, WITH PRORATED PAYMENTS BEGINNING APRIL 1, 2026 FOR FISCAL YEAR 2026.

WHEREAS, The City of Laredo Public Health Department is entering into a lease agreement with The University of Texas Health Science Center at San Antonio (UT Health San Antonio) for the use of approximately 5,070 square feet of space within the Public Health Department building located at 2600 Cedar Avenue to operate a dental health clinic. The lease agreement establishes a three (3) year term beginning October 1, 2025 and ending September 30, 2028, with an annual base rent of \$97,344.00, payable in monthly installments. Payments for fiscal year 2026 will commence on April 1, 2026 and end on September 1, 2026 for a total rent payment for fiscal year 2026 of \$48,672.00. Full monthly rent payments of \$8,112.00 per month for the remaining two years of the agreement will be made from October 1, 2026 through September 1, 2028.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager is hereby authorized to ratify and execute the Lease Agreement between the University of Texas Health Science Center at San Antonio and the City of Laredo Public Health Department for approximately 5,070 square feet at 2600 Cedar Avenue, Laredo, Texas 78040 situated within the Laredo Public Health Department.

Section 2: The lease agreement establishes a three (3) year term beginning October 1, 2025 and ending September 30, 2028

Section 3: Monthly payments of \$8,112.00 for fiscal year 2026 will commence on April 1, 2026 and end on September 1, 2026 for a total rent payment for fiscal year 2026 of \$48,672.00. Full monthly rent payments of \$8,112.00 per month for the remaining two years of the agreement will be made from October 1, 2026 through September 1, 2028.

**PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS
_____ DAY OF _____, 2026.**

**DR. VICTOR D. TREVINO
MAYOR**

ATTEST:

**MARIO I. MALDONADO JR.
CITY SECRETARY**

**APPROVED AS TO FORM
DOANH T. NGUYEN, CITY ATTORNEY**

**AMBER R. HOLMES
ASSISTANT CITY ATTORNEY**

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 38.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager and/or his designee to execute all necessary documents to purchase from SKG H4, LLC the surface estate only of a 3.00-acre tract of land for a purchase price of \$1,125,000.00, and to accept the donation of an additional 2.00-acre tract of land with an appraised value of \$822,000.00, said property being a portion of Abstract 56, Porcion 14, J. Guajardo Survey, containing approximately 200.40 acres and located at 13002 Apollo Drive, Laredo, Webb County, Texas; providing that the City shall pay fifty percent (50%) of the estimated closing costs in the amount of \$3,500.00; said property being more particularly described and depicted in Exhibit "A," attached hereto and incorporated herein for all purposes; providing for an effective date; and authorizing funding through the 2022 Certificate of Obligation Bond Program.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

Goal 4.2 - "Support infrastructure investments that encourage orderly growth and economic development." (Viva Laredo Comprehensive Plan, p. 4.14)

Relevance: The acquisition of a 5-acre tract for public purposes supports long-term infrastructure planning and municipal service expansion consistent with orderly urban growth and economic development objectives

Policy 4.2.3 - "Ensure that adequate public facilities and services are available to support existing and future development." (Viva Laredo Comprehensive Plan, p. 4.16)

Relevance: The purchase and donation of land for municipal use directly supports the City's ability to provide future public facilities and services needed to accommodate population growth and development.

Policy 1.1.2 - "Encourage coordinated land use planning and infrastructure investment to maximize public benefit." (Viva Laredo Comprehensive Plan, p. 1.8)

Relevance: The transaction reflects coordinated land acquisition and planning efforts that leverage both public investment and private land donation to maximize community benefit and long-term municipal value.

Goal 3.1 - "Promote efficient and sustainable growth patterns throughout the City." (Viva Laredo Comprehensive Plan, p. 3.10)

Relevance: Requiring the property to be replatted into a unified 5-acre tract prior to closing supports orderly land development practices and coordinated growth management.

Summary of alignment: The resolution strongly aligns with the Viva Laredo Comprehensive Plan because it advances multiple goals related to public infrastructure planning, coordinated growth, and long-term municipal

service capacity. The acquisition of 3 acres combined with the donation of an additional 2 acres represents a strategic public investment that expands the City’s ability to address future facility, infrastructure, or service needs

The purchase of this property is for Fire Station #17

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

The approval of this Resolution

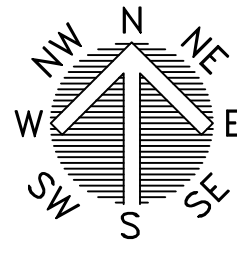
Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	2022 Certificate of Obligation Bond
Account #:	475-9854-525-9201
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Account:475-9854-525-9201 / Project FD2302





60' CP&L EASEMENT

10' Bldg. SetBack
614'-6"

358'

13002 Apollo Dr.
Fire Station
Block 6, Lot 1
5.00 ac

329'-6"

25' Bldg. SetBack

588'-8"

35'-4 $\frac{1}{2}$ "

VERDE RD

APOLLO DR



CONSULTANTS

PROJECT

13002 APOLLO DR.
SKG MILE 13
BLOCK 6, LOT 1
ND HACHAR INDUSTRIAL
PARK, PHASE IV

REVIEWS

No.	DESCRIPTIONS	DATE

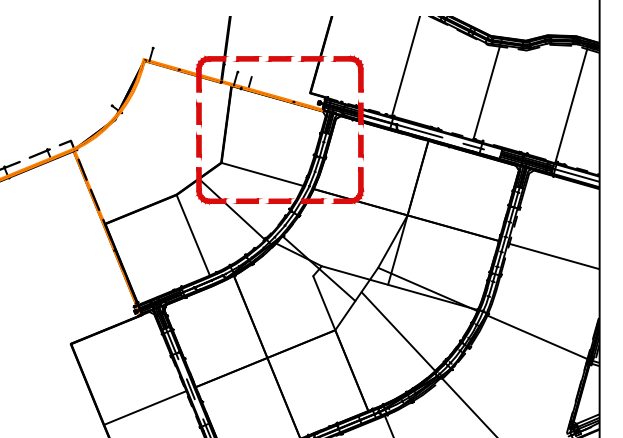
APPROVALS

INITIALS	SIGNS	DATE

COORDINATED

DRAWN BY:	FHRV	
CHK BY:		
APPROVED BY:		
CAD FILE		

KEY PLAN



COPYRIGHT DOCUMENT:
This drawing is the property of SKG. It may not be reproduced,
published or used in anyway without a written consent of SKG.

SCALE: PER PLAN UNITS: FT.

SHEET NAME
SITE PLAN

SHEET NUMBER
AC1.1

RESOLUTION NO. 2026-R-145

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, AUTHORIZING THE CITY MANAGER AND/OR HIS DESIGNEE TO EXECUTE ALL NECESSARY DOCUMENTS TO PURCHASE FROM SKG H4, LLC THE SURFACE ESTATE ONLY OF A 3.00-ACRE TRACT OF LAND FOR THE PURCHASE PRICE OF \$1,125,000.00, AND TO ACCEPT THE DONATION OF AN ADDITIONAL 2.00-ACRE TRACT OF LAND WITH AN APPRAISED VALUE OF \$822,000.00, SAID PROPERTY BEING A PORTION OF ABSTRACT 56, PORCION 14, J. GUAJARDO SURVEY, CONTAINING APPROXIMATELY 200.40 ACRES AND LOCATED AT 13002 APOLLO DRIVE, LAREDO, WEBB COUNTY, TEXAS; PROVIDING THAT THE CITY SHALL PAY FIFTY PERCENT (50%) OF THE ESTIMATED CLOSING COSTS IN THE AMOUNT OF \$3,500.00; SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT "A," ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; PROVIDING FOR AN EFFECTIVE DATE; AND AUTHORIZING FUNDING THROUGH THE 2022 CERTIFICATE OF OBLIGATION BOND PROGRAM.

WHEREAS, the City Council of the City of Laredo, Texas (the "City"), desires to purchase the "surface only" of a 3-acre tract located at 13002 Apollo Drive, Webb County, Texas, from SKG H4 LLC, said tract being more particularly described in Exhibit "A" attached hereto; and

WHEREAS, SKG H4 LLC has agreed to donate an additional 2-acre tract located at 13002 Apollo Drive, Webb County, Texas, to the City of Laredo; and

WHEREAS, the purchase and acceptance of the 3-acre tract and the donation of the additional 2-acre tract are expressly contingent upon the property being platted and recorded as a 5-acre tract prior to closing; and

WHEREAS, the City agrees to pay fifty percent (50%) of the closing costs associated with the transaction; and

WHEREAS, the acquisition and acceptance of said property by the City of Laredo is for a public purpose and is in the best interest of the City and its residents.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, THAT:

SECTION 1. The foregoing recitals are true and correct and are hereby approved and adopted.

SECTION 2. The City Manager is hereby authorized to execute all necessary documents, in a form acceptable to the City Attorney, to authorize the purchase from SKG H4 LLC of the "surface only" of a 3-acre tract for the amount of \$1,125,000.00, and to accept the donation of an additional 2-acre tract, with the City agreeing to pay fifty percent (50%) of the closing costs associated with the transaction.

SECTION 3. This Resolution shall become effective upon passage thereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS
_____ DAY OF _____, 2026

DR. VICTOR D. TREVINO, MAYOR

ATTEST:

MARIO MALDONADO JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

By: _____
RODOLFO MORALES, III
ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 39.

SUBJECT

Authorizing the City Manager to donate a 2005 American LaFrance truck from the Fire Department to the Municipality of Queretaro, Queretaro, Mexico (Assigned for use to the City of Querétaro, Querétaro, under the custody of the State Civil Protection Coordination of Querétaro, which belongs to the Executive Branch of the State of Querétaro). The vehicle will be donated “as is,” and the City of Laredo shall assume no liability for its use following transfer. The American LaFrance Truck, formerly designated as Unit #189, has been fully depreciated and holds minimal or no monetary value.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

The City of Laredo Fire Department has identified one surplus vehicle, a 2005 American LaFrance Truck, Vin# 4z3aaacg25ru37498 (Unit #189), for donation to the Municipality of Queretaro, Queretaro, Mexico. The vehicle has been fully depreciated, holds minimal or no monetary value, and is no longer part of the City’s active fleet. Donating the 2005 American LaFrance truck will provide meaningful benefit to the Queretaro metropolitan area emergency response services while also honoring the City’s international partnership and the recent agreement signed with the State of Queretaro.

The 2005 American LaFrance truck will be donated “as is,” and the City of Laredo shall assume no liability for its use following transfer. This action further reinforces the City’s ongoing efforts to support regional cooperation and strengthen binational relationships.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends approval of this item. This action supports international goodwill, strengthens our regional partnerships, and allows the City to repurpose surplus equipment for the benefit of a neighboring community’s public safety efforts. Approval of this item will provide the Queretaro metropolitan area with a valuable resource at no cost to the City, while furthering Laredo’s role as a leader in fostering binational cooperation.

Fiscal Impact

Fiscal Year: 2025-2026
Budgeted Y/N?: N

Source of Funds: N/A
Account #: N/A
Change Order: Exceeds 25% Y/N: N/A

FINANCIAL IMPACT:

Donation Will be accounted for in the General Fixed Assets

Unit #189

- 2005 American Le France
- Vin# 4z3aaacg25ru37498
- At fire shop for over 3 years.
- Vehicle starts with a jump start.
- No parts available for this brand
- Interior needs full make over
- Unit is 21 years old
- Good unit for donation









City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 40.

SUBJECT

Authorizing the City Manager to donate a 2008 Freightliner truck from the Fire Department to the Municipality of Pinal de Amoles, Queretaro, Mexico. The vehicle will be donated "as is," and the City of Laredo shall assume no liability for its use following transfer. The 2008 Freightliner truck, formerly designated as Unit #238, has been fully depreciated and holds minimal or no monetary value.

PREVIOUS COUNCIL ACTION

Click or tap here to enter text.

BACKGROUND

The City of Laredo Fire Department has identified one surplus vehicle, a 2008 2008 Freightliner Truck, Vin# 1FVDCXDJ29HAG1954 (Unit #238), for donation to the Municipality of Pinal de Amoles, Queretaro, Mexico. The vehicle has been fully depreciated, holds minimal or no monetary value, and is no longer part of the City's active fleet. Donating the 2008 Freightliner truck will provide meaningful benefit to the Pinal de Amoles region emergency response services while also honoring the City's international partnership with the Mexican community.

The 2008 Freightliner truck will be donated "as is," and the City of Laredo shall assume no liability for its use following transfer. This action further reinforces the City's ongoing efforts to support regional cooperation and strengthen binational relationships.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Staff recommends approval of this item. This action supports international goodwill, strengthens our regional partnerships, and allows the City to repurpose surplus equipment for the benefit of a community's public safety efforts. Approval of this item will provide the Pinal de Amoles region in Queretaro with a valuable resource at no cost to the City, while furthering Laredo's role as a leader in fostering binational cooperation.

Fiscal Impact

Fiscal Year:	2025-2026
Budgeted Y/N?:	N
Source of Funds:	N/A
Account #:	N/A
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Donation Will be accounted for in the General Fixed Assets

Unit #238

- 2008 Freightliner
- Vin# 1FVDCXDJ29HAG1954
- At fire shop for over 4 years.
- Engine 10-7
- Transmission 10-7
- Pump 10-7
- Needs major repairs
- Unit is 18 years old









City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 41.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas approving a Chapter 380 Agreement between the City of Laredo and LITOS Texas, LLC., pursuant to an economic development incentive under Chapter 380 of the Texas Local Government Code and authorizing the City Manager to execute all relevant documents, and any other matters incident thereto; providing for severability; providing for an effective date; and providing for publication. The five (5) year agreement obligates LITOS Texas, LLC., pursuant to an economic development incentive to invest an aggregate estimated amount of \$31,000,000.00 for the construction of two institutional-quality LEED certified buildings on approximately 53 acres that will operate as a light manufacturing center and create at least 20 new full-time permanent jobs. Rebates will be based on performance and annual compliance.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

Economic Development Overall Goal - *Viva Laredo City of Laredo Comprehensive Plan, p. 50*

“Build greater industry diversification, increase access to good-paying jobs, and enhance the capacity for entrepreneurship through a commitment to utilizing economic development tools and further private sector engagement.”

Relevance: The Chapter 380 Agreement is an economic development tool intended to leverage private-sector investment, support light manufacturing, and create permanent jobs.

Goal 9.1 - *Viva Laredo City of Laredo Comprehensive Plan, p. 50*

“Increase the capacity for and ability to pursue investments and opportunities for job growth.”

Relevance: The agreement directly supports private investment and job creation through a formal incentive structure.

Policy 9.1.2 - *Viva Laredo City of Laredo Comprehensive Plan, p. 50*

“Utilize a well-communicated and transparent framework for incentives.”

Relevance: A City Council-approved Chapter 380 Agreement establishes a public incentive mechanism tied to investment and employment commitments.

Policy 6.1.1 - *Viva Laredo City of Laredo Comprehensive Plan, p. 34*

“Implement programs and utilize best practices for efficient energy use in new buildings, such as LEED or

other lifecycle costing initiatives.”

Relevance: The proposed buildings are specifically described as LEED-certified, directly supporting sustainable building practices.

Summary of alignment:

This item strongly aligns with the Viva Laredo Comprehensive Plan because it uses an economic development incentive to attract substantial private investment, support light manufacturing, and create permanent jobs. The LEED-certified construction component also directly advances the Plan’s sustainable building policy. The item intersects with broader planning themes of economic development, workforce growth, private-sector engagement, and sustainability.

PREVIOUS COUNCIL ACTION

During the October 20, 2025 City Council Meeting in Executive Session, the Economic Development Department presented a recommendation to consider an incentive program for LITOS Texas, LLC. Council motioned to move forward with negotiations for an incentive agreement pursuant to Chapter 380 of the Texas Government Code.

BACKGROUND

Click or tap here to enter text.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends approval of this resolution.

Fiscal Impact

Fiscal Year:	2029
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

The five (5) year agreement obligates LITOS Texas, LLC., pursuant to an economic development incentive to invest an aggregate estimated amount of \$31,000,000.00.

STATE OF TEXAS §
 §
COUNTY OF WEBB §

**CHAPTER 380 ECONOMIC DEVELOPMENT PERFORMANCE AGREEMENT
BETWEEN THE CITY OF LAREDO, TEXAS AND
LITOS TEXAS, LLC.**

This Chapter 380 Economic Development Performance Agreement (the “Agreement”) is made and entered into by and between the **CITY OF LAREDO**, a municipal corporation of the State of Texas, (the “City”), acting by and through its City Manager or his designee and LITOS TEXAS, LLC., a limited liability company registered to transact business in the State of Texas, (the “Company”), acting by and through its duly authorized officers. The City and the Company may be individually referred to as a “Party” and jointly as the “Parties.”

**ARTICLE I
RECITALS**

The recitals set forth in City Council Resolution No. 2026-R-136 are declared true and correct by the Parties and are hereby incorporated as part of this Agreement.

**ARTICLE II
AUTHORITY AND TERM**

1. **AUTHORITY.** This Agreement is entered into pursuant to:
 - A. Article III, Section 52-a of the Texas Constitution (“Texas Constitution”) and Chapter 380 of the Texas Local Government Code; Title 12, Subtitle A.
 - B. City Council Resolution No. 2026-R-136 which specifically approved this Agreement and authorized execution hereof.

2. **TERM.** This Agreement shall take immediate effect as of the date of execution by all parties. “Agreement Year 1” (herein further defined in Article II Section 14) shall begin January 1 of the year immediately following the year of execution of the Agreement. This Agreement will terminate on the date all obligations under this Agreement have been fulfilled unless earlier terminated pursuant to Article V, or otherwise extended by mutual written agreement of the Parties. The Company’s eligibility for Grant Payments (hereinafter defined) shall be limited to Five (5) consecutive years (the “Grant Period”) within the term of the Agreement pursuant to any compliance issues or changes to the Agreement.

DEFINITIONS

The following words shall have the following meanings when used in this Agreement.

3. **AGREEMENT.** The word “Agreement” means this Chapter 380 Economic Development Agreement, together with all exhibits attached to this Agreement.
4. **ANNUAL CERTIFICATION.** Herein also referred to as “certification,” “Annual Certification” means the process in which the City reviews the Company’s Obligations on a yearly basis in order to determine eligibility for Grant Payments, herein defined below in Article II, Section 11. Certification will occur.
5. **BUSINESS PERSONAL PROPERTY.** The words “Business Personal Property” mean any taxable tangible personal property that is (i) subject to ad valorem taxation by the City; (ii) is legally considered to be located on the Facility (as the term is defined below) and used in operation of the business; (iii) was not located on the Facility prior to the effective date of this agreement; and (iv) is owned or leased by the Company.
6. **CITY.** The word “City” means the City of Laredo, Texas.
7. **COMPANY.** The word “Company” means Litos Texas, LLC., and/or its successor or assigns.
8. **FACILITY.** The word “Facility” means the estimated 952,200 square feet of combined building area, to be constructed by the Company on the below-defined Site.
9. **FULL-TIME JOBS.** A “Full Time Job” means a job with no predetermined end date (other than a retirement date), with a regular work week of 35 hours or more on average for the entire normal year of local Company operations or for the entire time the position has been in existence (if less than one calendar year), and with benefits substantially equivalent to other regular employees of the Company and that satisfies the requirements set forth in Article III, hereof.
10. **PROJECT.** The word “Project” means (i) the Facility and related improvements (collectively, the “Improvements”) to be constructed by the Company on the Site, (ii) the Site described below on which the Improvements are to be constructed; and (iii) the Business Personal Property to be installed or located at the Facility to support the operation.
11. **GRANT PAYMENT.** The words “Grant Payment” mean a payment from the City to the Company on a yearly basis based on real property city taxes and business personal property taxes on the terms of this agreement so long as the Company is able to meet the minimum criteria regarding the number of new permanent full-time jobs, benefits, minimum improvement valuation and submits the yearly annual certification. Grant Payments shall begin the year after one full calendar year has lapsed following completion of the Project, and shall continue for Five (5) consecutive years thereafter provided that the Company continues to meet all obligations outlined in this agreement. Company shall not be eligible

to receive any grant payments during any year it is not compliant, but the grant period shall be limited to five (5) consecutive years.

12. **GRANT PERIOD.** The words “Grant Period” mean the period beginning on January 1 of Year 1 (hereinafter defined and continuing for Five (5) consecutive years during which the Company is eligible to receive Grant Payments from the City.)
13. **SITE.** The word “Site” means the real property upon which the Improvements are to be constructed, located at **PINNACLE INDUSTRIAL UNIT 14, BLOCK 2, LOTS 6 & 7** in the City, consisting of approximately 56.42 acres and more particularly described on **Exhibit A, Exhibit B, & Exhibit C** attached hereto and incorporated herein by reference.
14. **Year 1.** “Year 1” begins January 1 of the full calendar year immediately following the year in which (a) the Project is completed and (b) the Company has received and submitted a copy of the Certificate of Occupancy to the City of Laredo and has placed the Project into service or operation. In no case shall Year 1 begin later than January 1, 2029.
 - A. **GRANT PAYMENT YEAR.** The words “Grant Payment Year” shall mean the calendar year immediately following Year 1. Grant Payments will occur only after the Company complies with the annual certification and will be based on the previous agreement year.

ARTICLE III PROJECT REQUIREMENTS

1. **COMPANY’S OBLIGATIONS.** The obligation of the City to provide the Grant Payments to the Company shall be conditioned upon the Company’s continued substantial compliance with and satisfaction of each of the following conditions set forth in this Agreement, as solely and finally determined by the City Council:

The Company will invest the aggregate estimated amount **of at least Thirty-One Million Dollars (\$31,000,000.00)** (the “Project Investment”) towards the construction and completion of the Project with two LEED certified speculative logistics and distribution buildings and facility improvements. If Company fails to make Project Investment of at least Thirty-One Million Dollars (\$31,000,000.00) on the site, Company shall not be deemed to be in default under this Agreement, but the amount of the Grant shall be reduced proportionately based on the amount by which the Project Investment is less than Thirty-One Million Dollars (\$31,000,000.00).

- A. Any Project Investment condition that has been met for any Year will continue to be met throughout the term of Grant Period for such Project Investment condition for so long as the Total Taxable Assessed Value of the Project does not decrease by more than twenty percent (20%) after the initial satisfaction of the Investment Condition for Year 1, which (notwithstanding any provision in this Agreement to the contrary) Total Taxable Assessed Value for any year may include the increases in the “assessed value” for such year the capital investment necessary for the replacement of Business Personal Property.

- B.** The term “Total Taxable Assessed Value” for a particular tax year within the term means the total Certified assessed value determined by the Webb County Appraisal District (within the meaning of chapter 26 of the Texas Tax Code) for property tax purposes, of the land, improvements and personal property on the property for such tax year. Owner shall not be required to provide documentation regarding value of the land and/or any improvements the assessment of Taxable Assessed Value shall be solely through the Webb County Appraisal District findings.
- C.** The Company is the current owner of the Site. The Company intends to build and own facilities of the Project, but will “tenant out” (“Tenant” or “tenants”) the facilities as part of a 3PL (Third Party Logistics) operation. The Company will not directly create and maintain new full-time jobs as part of the Project once it is complete, instead jobs created and maintained will be made by potential tenants that occupy the buildings. The Company shall be responsible for ensuring that requirements for job creation as part of this Agreement are met by the tenants of the Project.
- D.** The Company will coordinate and assist in the creation and maintaining of no less than the following listed aggregate number of new Full-Time Jobs at the Project during each year of the Grant Period (each, an “Employment Condition”) by the tenants to achieve compliance.
- E.** The Company will coordinate with tenants of the project to create at least twenty (20) new permanent full-time jobs with minimum hourly wages of \$13.37 per hour by the end of the Agreement.
- F.** The Company’s compliance is accepted if it adds more jobs per year than required and achieves the cumulative or total number sooner than projected, however, the minimal cumulative levels must be maintained throughout the Grant Period.

Table 1 – Job Creation Table

	New Full Time Jobs	Cumulative Full Time Jobs (by Dec. 31 of Each Year)
Year 1	4	4
Year 2	4	8
Year 3	4	12
Year 4	4	16
Year 5	4	20

Benefits. The Company, following completion of the Project and commencement of operations, shall coordinate with tenants of the project to ensure that all new employees filling a Full-Time Job as part of this project will be entitled to medical insurance, dental insurance, vision, workers compensation and that some benefits will be accessible and offered to the employees' dependents throughout the term of this Agreement.

G. The Company, following completion of the Project and commencement of operations, shall coordinate with tenants of the project to fulfill the expected positions and wage scale more specifically described in **Exhibit A.3** attached hereto and made part hereof for all intents and purposes.

H. The Project shall be developed at location described **Exhibit A.7** "Location Maps" (and any obligations described herein, related to such) shall be in accordance with the ordinances, rules, and regulations of the City, subject to any variances, approvals, and applicable laws authorizing the Project to vary from any such regulations.

I. Compliance Verification

1. Annual Verification. During the term of this Agreement, the City, or its designated third-party representative, shall have the right to conduct an annual site inspection in or about the month of October for the limited purpose of verifying compliance with the minimum investment and other applicable requirements set forth in this Agreement. Such verification shall be based primarily on publicly available records, including the certified appraisal roll of the Webb County Appraisal District ("WCAD"), and a written certification from the Company as described herein. The City shall not be required to obtain information directly from tenants.

2. Reliance on Certified Appraisal Roll. For purposes of determining compliance with the minimum taxable value and investment thresholds under this Agreement, the parties agree that the City shall rely exclusively on the final certified taxable value of the Site and Facility as reflected on the WCAD appraisal roll for the applicable tax year, after completion of any protests or appeals.

3. Company Responsibility. The Company shall remain solely responsible for compliance with all terms and conditions of this Agreement, including any requirements relating to valuation, regardless of whether any portion of the Site or Facility is leased or occupied by tenants. No act or omission of any tenant shall relieve the Company of its obligations under this Agreement.

4. Tax Protests. The Company and any tenant or other authorized party shall retain the right to contest or protest the appraised value of the Site and Facility as permitted by applicable law. Notwithstanding the foregoing, the Company acknowledges and agrees that any reduction in appraised value resulting from such protest or challenge shall be reflected in the certified appraisal roll and may impact

the Company's ability to meet the minimum valuation or investment thresholds required under this Agreement. The City shall have no obligation to adjust, waive, or recalculate performance requirements based on such reductions.

5. Baseline Year Acknowledgment. The Company acknowledges that the minimum taxable value established for Year 1 of this Agreement serves as a baseline for purposes of this Agreement. The Company assumes all risk associated with any protest or challenge that results in a reduction of such value below the required threshold.

- J.** The Company shall not sell or lease any interest in the property to a member of the Laredo City Council, Planning & Zoning Commission or City officer as long as this Agreement is in effect.
- K.** The Company shall at all times comply with the City's building codes and zoning regulations in addition to all applicable rules, regulations, environmental laws, land use covenants and other restrictions of record. Company shall be solely responsible for obtaining any permits, licenses, certificates, or any other required documentation or approvals for the operation of the business on the Site.
- L.** The City reserves the right to confirm Company's compliance with the terms and conditions of this Agreement. City will provide the Company with a written report of the findings. If the monitoring notes deficiencies in the Company's performance under terms of Agreement, the monitoring report shall include corrections for such deficiencies by Company and a reasonable amount of time in which to attain compliance.

2. CITY'S OBLIGATIONS. As consideration for the Company's performance of its obligations under this Agreement, during the Term of the Agreement, City shall provide Company the following:

- A. GRANT PAYMENTS.** Grant Payments are eligible for both Company's tax accounts for Real Property. An annual Grant Payment to the Company in the amounts, based on the Company's City of Laredo real property taxes as determined below (the "Grant Payment Formula") for Year the Company satisfies Performance Conditions. **See Exhibit A.3.** Grant Payments will be made directly to the Company through its representatives and will not be paid to tenants or occupants of the Project.

Table 2 – “Grant Payment Formula”

Agreement Year	New Full-time Jobs	Cumulative New Full-time Jobs	Hourly Wage per position	Estimated assessed value: real property plus land	Percentage tax rebate of real property total valuation
1	4	4	\$13.37	\$30M	75%
2	4	8	\$13.37	\$30M	75%
3	4	12	\$13.37	\$30M	75%
4	4	16	\$13.37	\$30M	75%
5	4	20	\$13.37	\$30M	75%

- B. If the Company fails to substantially satisfy any of the Employment Conditions or the Project Investment conditions included in Article III, or an Annual Certification reasonably acceptable to the City, then no Grant Payment will be considered and Company would be considered non-compliant.
- C. Notwithstanding any other provision of this Agreement, the City shall have no obligation to consider, approve, or provide any economic incentive, rebate, credit, grant, or other form of financial assistance related to the Project if the Company leases, licenses, subleases, or otherwise permits occupancy or use of any portion of the Project by any tenant, subtenant, licensee, or occupant whose business operations are not consistent with (i) light manufacturing, (ii) third-party logistics (“3PL”), (iii) warehouse distribution or (iv) Fortune 500 companies or their subsidiaries or affiliates.
- D. The grant period shall commence on Year 1. The City will make the first grant payment after the first full calendar year assessment and pursuant to the timeline described in the following **Article III, Section 2, Letter E**.
- E. The Company shall pay to the City ad-valorem taxes assessed on the Land, Improvements, and Business Personal Property for each year prior to the beginning of the Grant Payment Period. Commencing at Year 1, the City will annually issue each Grant Payment to Company on or before the ninetieth (90th) day following the City receiving written notice, as provided herein, from the Company that such taxes have been paid in full. Prior to issuance of a Grant Payment, the City shall annually verify the Employment Conditions above. The written notice from Company to the City shall show that relevant property taxes have been paid in full and Company shall provide a copy of the paid tax receipt or other proof showing such taxes have been paid.
- F. The Company acknowledges the Total Assessed Value described herein is estimated based on the Project Investment and that the Taxable Assessed Value may rise or decline during the Grant Period. The Company and Tenant shall retain

the right to protest and/or contest such appraisals. Grant payments will be capped as part of this Agreement and the total rebate to the Company over the agreement period shall not exceed \$1,000,000.00.

ARTICLE IV ANNUAL CERTIFICATION

1. **ANNUAL CERTIFICATION.** Beginning January 1 of Grant Payment Year 1, and during the month of January of each calendar year thereafter during the term, the Company shall begin preparations to submit to a review for annual certification to meet compliance with each applicable term of the Agreement. The Company shall submit all compliance documents (defined in IV.1.a through d below) to the City no later than 90 days after beginning a new Agreement Year. Annual Certifications require review of one (1) full Agreement Year, therefore the review will apply to the previous tax year. Grant Payments cannot occur until the Company has paid all tax accounts being considered under the Agreement and has provided proof of payment to the City. The City will then issue a Grant Payment based on eligible taxable values from the previous tax year. Such annual certification shall include personnel records and other documents that show:
 - a) Number of new jobs created
 - b) Employee benefits offered/used
 - c) Webb County Appraisal District Total Assessed Value after year 1
 - d) Receipt of taxes paid

Company may submit additional documentation to the City, or its designee, in order to obtain verification.

ARTICLE V TERMINATION

1. **ACTS TRIGGERING TERMINATION.** During the Grant Payment Period covered by this Agreement, the City may, subject to the notice provisions below, declare a default of this Agreement by the Company if the Company:
 - A. Refuses or neglects to comply with any of the terms of this Agreement; or
 - B. Makes representation that is false or misleading in any material respect to any of the terms of this Agreement; or
 - C. Substantially fails to satisfy the Investment Conditions hereof such that in any Year of the Grant Payment period, the Total Assessed Value is less than the minimum amount set for in Article, III (1)A; or
 - D. Materially breaches any of the terms or conditions of this Agreement and such default or breach is not cured as provided below following written notice thereof by the City; or

- E.** Ceases conducting produce distribution enterprise business during the Grant Payment Period at the Project for a period of six (6) months or more for any reason other than suspension due to fire, explosion, accident, natural disaster or other casualty, or
 - F.** Fails to submit to City the Annual Certification as required by Article IV following notice of such failure; or
 - G.** Allows the ad valorem taxes due on the Project to become delinquent without timely and properly filing a protest under Chapter 41 of the Texas Property Tax Code; or
 - H.** By mutual written agreement of the parties.
 - I.** Notwithstanding anything contained herein to the contrary, Company may send a notice of termination to the City and upon delivery of said notice to the City this Agreement shall be considered terminated, null and void and taxes shall be reinstated immediately after termination of this Agreement and shall accrue without rebate for all tax years thereafter.
- 2. NOTICE OF TERMINATION.** In the event that the City makes a reasonable determination that the Company has materially defaulted under this Agreement, then City shall give Company written notice of such. Company shall have sixty (60) days following receipt of said written notice to reasonably cure such default or this Agreement may be terminated by the City. Notice of default shall be in writing and shall be attempted or delivered by certified mail to the Company at the address provided in Section VI of this Agreement. If default is not cured with sixty (60) days from the date of such notice (the "Cure Period") then the Agreement may be terminated at the City's sole option. However, in the case of default for causes beyond the Company's reasonable control and which cannot, with due diligence, be cured within such sixty (60) day period, the Cure Period may be extended in the City's sole discretion if the Company:
- A.** Immediately upon receipt of such notice, advises the City of the reasons the default is beyond the Company's control and state Company's intention to institute all steps necessary to cure such default; and
 - B.** Institutes and thereafter carries to completion with reasonable dispatch all steps necessary to cure same.
 - C.** This Agreement shall automatically terminate if any state or federal statute, regulation, case law, or other law renders this Agreement ineffectual, or illegal, including any case law holding that a Chapter 380 Economic Development Agreement such as this Agreement is an unconstitutional debt.
- 3. RECAPTURE.** Upon termination of this Agreement, all ad valorem taxes otherwise abated or subject to Grant Payments under this Agreement shall be reinstated for all tax years following the effective date of such termination, without rebate.

Notwithstanding any provision of this Agreement to the contrary, the City shall have the right to demand recapture of Grant Payments previously disbursed to the Company only upon a determination by the City that the Company engaged in Fraud or Misconduct in connection with this Agreement.

For purposes of this Section, “Fraud or Misconduct” shall mean (i) a material misrepresentation or omission of fact made by the Company in any report, certification, or document submitted to the City under this Agreement, (ii) the intentional falsification of records related to compliance with the terms of this Agreement, or (iii) any willful act or omission undertaken with the intent to improperly obtain or retain benefits under this Agreement.

In the event the City determines that recapture is warranted pursuant to this section, the City shall provide written notice to the Company specifying in reasonable detail the basis for such determination. The Company shall have thirty (30) days from receipt of such notice to respond and provide evidence disputing the City’s determination. If, after consideration of any response, the City makes a final determination that Fraud or Misconduct has occurred, the City may demand repayment of all affected Grant Payments. Such repayment shall be due within sixty (60) days following receipt of the City’s written demand.

4. **EXCEPTION.** In the event, the Property, the Improvements and/or Business Personal Property are taken by the state or federal government through exercise of the power of eminent domain, this Agreement shall terminate to the extent the property is affected, however, the City shall not be entitled to recapture Grant Payments related thereto.

ARTICLE VI INDEMNIFICATION

1. COMPANY COVENANTS AND AGREES TO FULLY INDEMNIFY AND HOLD HARMLESS, CITY AND ITS ELECTED OFFICIALS, EMPLOYEES, OFFICERS, DIRECTORS, AND REPRESENTATIVES, INDIVIDUALLY AND COLLECTIVELY, FROM AND AGAINST ANY AND ALL COSTS, CLAIMS, LIENS, DAMAGES, LOSSES, EXPENSES, FEES, FINES, PENALTIES, PROCEEDINGS, ACTIONS, DEMANDS, CAUSES OF ACTION, LIABILITY AND SUITS OF ANY KIND AND NATURE WHATSOEVER, INCLUDING BUT NOT LIMITED TO, PERSONAL INJURY OR DEATH AND PROPERTY DAMAGE, MADE UPON CITY DIRECTLY OR INDIRECTLY ARISING OUT OF, OR RESULTING FROM OR RELATED TO THE COMPANY’S NEGLIGENCE, WILLFUL MISCONDUCT OR CRIMINAL CONDUCT IN ITS ACTIVITIES UNDER THIS AGREEMENT, INCLUDING ANY SUCH ACTS OR OMISSIONS OF THE COMPANY, ANY AGENT, OFFICER, DIRECTOR, REPRESENTATIVE, EMPLOYEE, CONSULTANT OR SUBCONSULTANTS OF THE COMPANY, AND THEIR RESPECTIVE OFFICERS, AGENTS, EMPLOYEES, DIRECTORS AND REPRESENTATIVES WHILE IN THE EXERCISE OR PERFORMANCE OF THE RIGHTS OR DUTIES UNDER THIS AGREEMENT, ALL WITHOUT, HOWEVER, WAIVING ANY GOVERNMENTAL IMMUNITY AVAILABLE TO CITY AND UNDER TEXAS LAW AND WITHOUT

WAIVING ANY DEFENSES OF THE PARTIES UNDER TEXAS LAW. THE PROVISIONS OF THIS INDEMNIFICATION ARE SOLELY FOR THE BENEFIT OF THE CITY AND ARE NOT INTENDED TO CREATE OR GRANT ANY RIGHTS, CONTRACTUAL OR OTHERWISE, TO ANY OTHER PERSON OR ENTITY.

2. COMPANY SHALL PROMPTLY ADVISE CITY, IN WRITING OF ANY CLAIM OR DEMAND AGAINST CITY AND RELATED TO OR ARISING OUT OF OWNER'S ACTIVITIES UNDER THIS AGREEMENT AND SHALL SEE TO THE INVESTIGATION AND DEFENSE OF SUCH CLAIM OR DEMAND AT OWNER'S COST. CITY SHALL HAVE THE RIGHT, AT ITS OPTION AND AT ITS OWN EXPENSE, TO PARTICIPATE IN SUCH DEFENSE WITHOUT RELIEVING OWNER OF ANY OF ITS OBLIGATIONS UNDER THIS PARAGRAPH.

ARTICLE VII GENERAL PROVISIONS

1. **NOTICE.** Any notice required or permitted to be given hereunder by one party to the other shall be in writing and the same shall be given and shall be deemed to have been served and given if, (a) placed in the United States Mail with postage prepaid, return receipt requested, properly addressed to such party at the address hereinafter specified; or (b) deposited into the custody of a nationally recognized overnight delivery service such as FedEx or UPS, addressed to such party at the address hereinafter specified. Any notice mailed in the above manner shall be effective upon its deposit into the custody of the United States Postal Service or such nationally recognized delivery service, as applicable; all other notices shall be effective upon receipt. A party may designate a different address by giving the other party ten (10) days written notice. All notices must be filed with the City Tax Assessor-Collector.

TO THE COMPANY: **LITOS Texas, LLC.**
ATTN: Carlos Smeke
Address
City, State, Zip

TO THE CITY: **CITY OF LAREDO**
ATTN: Joseph W. Neeb
City Manager
1110 Houston Street
PO Box 579
Laredo, TX 78042-0579

- A. **CONDITION.** This Agreement is conditioned entirely upon the approval of the Laredo City Council by the affirmative vote of a majority of the members at a scheduled meeting and subject to review and approval by the City of Laredo for compliance with subdivision ordinance and land development code. This agreement does not waive any requirements by the City of Laredo on the development for this project.

- B. ASSIGNMENT.** If the Company sells, assigns or exchanges the Project during the Term of this Agreement, this Agreement shall cease and any subsequent Grant Payments may be subject to recapture. However, City Council, at their discretion, may consider Amending the Agreement to accommodate such new owner. A written request must be made by the new owner to the City Tax Assessor-Collector.
- C. AMENDMENT.** This Agreement may be terminated, changed, modified, or amended in whole or in part by mutual written agreement between the Parties, their successors or assigns and as approved by the governing body of the City. No amendment, modification, or alteration of the terms hereof shall be binding unless in writing dated subsequent to the date of this Agreement and duly authorized by the parties. The Company acknowledges that City Council approval is required for any of these actions.
- D. SEVERABILITY.** In the event any section, subsection, paragraph, subparagraph, sentence, phrase or work herein is held invalid, illegal, or unenforceable, the balance of this Agreement shall stand, shall be enforceable and shall be read as if the parties intended to delete said invalid section, subsection, paragraph, subparagraph, sentence, phrase or word. In such event there shall be substituted for such deleted provision that is valid, legal and enforceable. This Agreement constitutes the entire Agreement between the parties related to the subject matter herein and supersedes all prior, oral or written agreements, commitments or understandings with respect to the matters provided for herein.
- E. EMPLOYMENT OF UNDOCUMENTED WORKERS.** During the term of this Agreement, the Company agrees to not knowingly employ any undocumented workers and if convicted of a violation under U.S.C. Section 1324a(f) such action shall be an Event of Default and the Company shall be liable for repayment of taxes previously rebated and any other funds received by the Company from the City after the date of such violation. Such repayment shall be due within one-hundred and twenty (120) days after the date the Company is notified by the City of such violation. The Company is not liable for an unknown violation of this Section by a subsidiary, affiliate, or franchisee of the Company or by a person with whom the Company contracts provided however that identical federal law requirements provided for herein shall be included as part of any agreement or contract which the Company enters into with any subsidiary, assignee, affiliate, or franchisee.
- F. COMPANY STANDING.** The Company, as a party to this Agreement, shall be deemed a proper and necessary party in any litigation questioning or challenging the validity of this Agreement or any of the underlying ordinances, resolutions, or City Council actions authorizing same, and the Company shall be entitled to intervene in said litigation.
- G. GOVERNING LAW.** The laws of the State of Texas shall govern the Agreement; and this Agreement is fully performable in Laredo, Webb County, Texas with exclusive venue for any action concerning this Agreement being in a court of competent jurisdiction in Webb County, Texas.

- H. INDEPENDENT CONTRACTOR.** It is expressly understood and agreed by all Parties hereto that in performing their services hereunder, the Company at no time will be acting as an agent of the City and that all consultants or contractors engaged by the Company respectively will be independent contractors of the Company; and nothing contained in this Agreement is intended by the Parties to create a partnership or joint venture between the Parties and any implication to the contrary is hereby expressly disavowed. The Parties hereto understand and agree that the City will not be liable for any claims that may be asserted by any third party occurring in connection with the obligations performed by the Company respectively under this Agreement, unless any such claims are due to the fault of City.
- I. ACCESS TO INFORMATION.** The City shall rely on the appraised value of the Project as determined by the Webb County Appraisal District for purposes of verifying compliance with this Agreement. If compliance cannot be confirmed based on such appraisal, the Company may provide documentation reasonably necessary to demonstrate compliance, which shall be submitted within thirty (30) days after the Company becomes aware of such deficiency. Failure to provide such documentation within such period may constitute grounds for termination of this Agreement. During the Term of this Agreement, Company shall allow designated representatives of the City access to the Facility during normal business hours and, upon notice to Company, to inspect the Facility and Business Personal Property to determine if the terms and conditions of this Agreement are being met, as long as City representatives are accompanied by Company's representative and as long as such inspections are conducted in such a manner as to: (i) not unreasonably interfere with the operation of the Facility; and (ii) comply with Company's reasonable securing requirements.
- J. REMEDIES.** No right or remedy granted herein or reserved to the parties is exclusive of any right or remedy herein by law or equity provided or permitted; but each shall be cumulative of every right or remedy given hereunder. No covenant or condition of this Agreement may be waived without consent of the parties. Forbearance or indulgence by either party shall not constitute a waiver of any covenant or condition to be performed pursuant to this Agreement.
- K. HEADINGS.** The headings of this Agreement are for the convenience of reference only and shall not affect in any manner any of the terms and conditions hereof.

{SIGNATURE PAGE FOLLOWS}

EXECUTED on this _____ day of _____, 2023.

- **LITOS Texas, LLC.**

/DATE/

Printed Name: _____

Position: _____

- **FOR CITY OF LAREDO**

/DATE/

Printed Name: Joseph W. Neeb

Position: City Manager

- **ATTEST:**

/DATE/

Jose A. Valdez, Jr.
City Secretary

APPROVED AS TO FORM:

/DATE/

Doanh T. Nguyen
City Attorney

Exhibit A – Site Plan

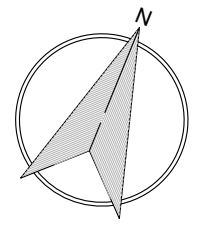
Exhibit B – Location Maps

Exhibit C – Legal Description

Lots Number Six (6) and Seven (7), in Block Number Two (2), PINNACLE INDUSTRY CENTER - FM 1472, UNIT 14, a subdivision situated in the City of Laredo, as per plat recorded in Volume 44, Pages 1-8, Webb County Plat Records.

DRAFT

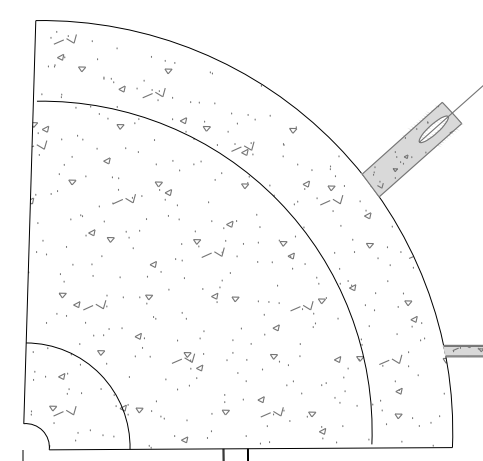
EXHIBIT A



0 25 50 100 200
24" X 36" SHEET - SCALE: 1" = 100'
11" X 17" SHEET - SCALE: 1" = 200'

CHAD WHEELER
VOL. 1371,
PGS. 128-132
O.P.R.W.C.T.

CHAD WHEELER
VOL. 1578,
PGS. 865-869
O.P.R.W.C.T.



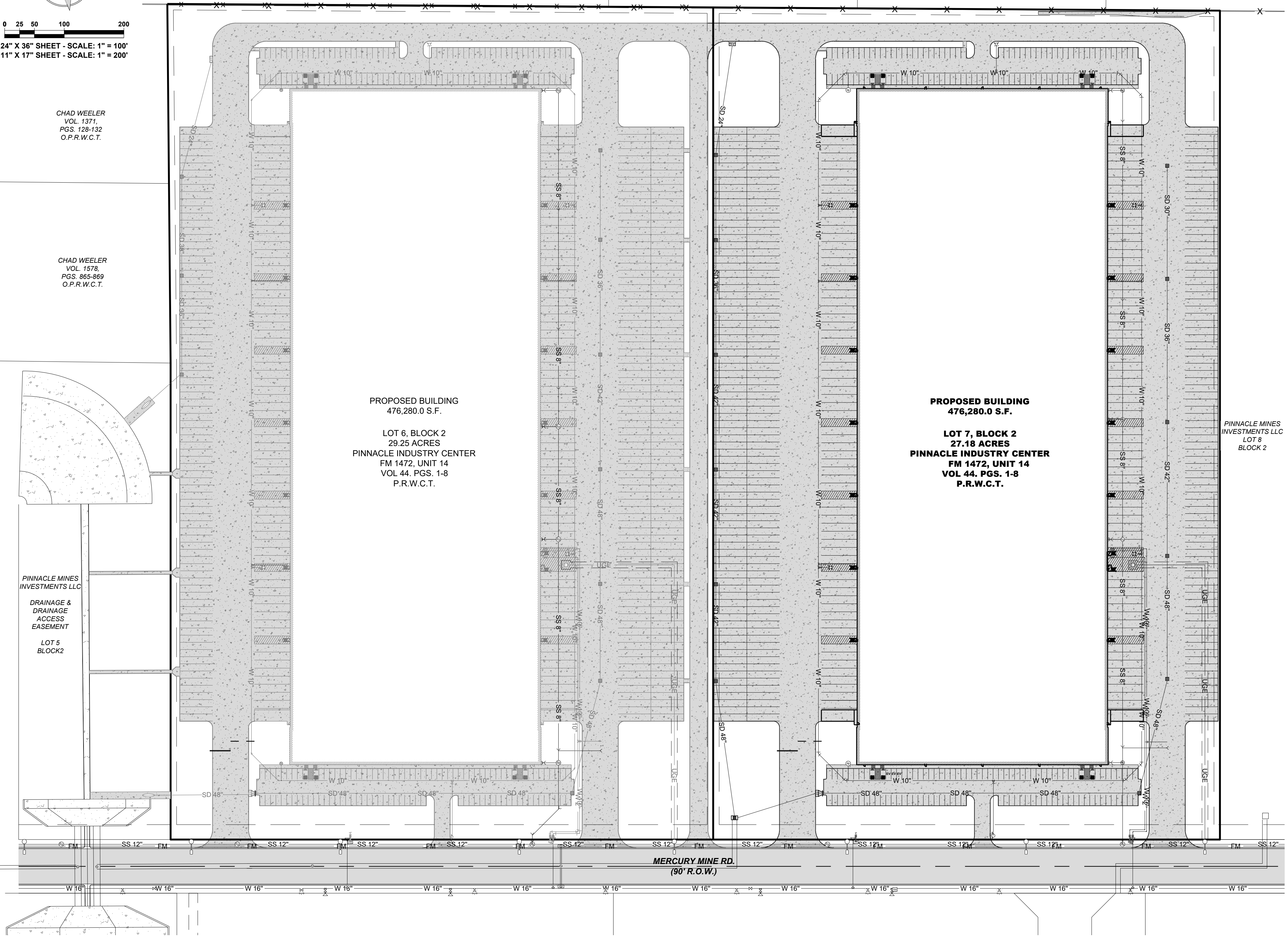
PINNACLE MINES INVESTMENTS LLC
DRAINAGE & DRAINAGE ACCESS EASEMENT
LOT 5 BLOCK 2

LUCIA R. SANCHEZ TRACT 9 RANCHITOS "LAS LOMAS WEST" VOL. 120, PG. 798 O.P.R.W.C.T. FERNANDO IGLESIAS DECD & WF TRACT 7 JAMES E. VAUGHN & WF TRACT 5 FELIX VELASQUEZ & WF EMMA TRACT 3

PROPOSED BUILDING
476,280.0 S.F.
LOT 6, BLOCK 2
29.25 ACRES
PINNACLE INDUSTRY CENTER
FM 1472, UNIT 14
VOL. 44, PGS. 1-8
P.R.W.C.T.

PROPOSED BUILDING
476,280.0 S.F.
LOT 7, BLOCK 2
27.18 ACRES
PINNACLE INDUSTRY CENTER
FM 1472, UNIT 14
VOL. 44, PGS. 1-8
P.R.W.C.T.

PINNACLE MINES INVESTMENTS LLC
LOT 9 BLOCK 2



LEGEND

BUILDING LINE	
FIRE HYDRANT ASSEMBLY (COMPLETE)	
FIRE DEPARTMENT CONNECTION	
GATE VALVE	
FITTING	
WATER METER	
BACKFLOW PREVENTER ASSY. (COMPLETE)	
WATER LINE	4" W
SANITARY SEWER MANHOLE	
CLEANOUT	
SANITARY SEWER SERVICE	S
SANITARY LINE	6" SS
STORM SEWER MANHOLE	
SANITARY SEWER LINE	24" SD
POWER POLE	
OVERHEAD ELECTRICAL LINE	OHE
UNDERGROUND ELECTRICAL LINE	UGE
LIGHT POLE	
TELEPHONE PEDESTAL	
AT&T LINE	COM
GAS LINE	GAS

ABBREVIATIONS:
BLDG = BUILDING
INV = INVERT
RIM = RIM ELEVATION

- GENERAL NOTES**
- ALL EXISTING IMPROVEMENTS SHOWN WITHIN THE RIGHT-OF-WAY OF MERCURY MINE RD. AND RIVER BANK RD. ARE UNDER CONSTRUCTION. THE IMPROVEMENTS ARE BASED UPON GILPIN ENGINEERING COMPANY'S PUBLIC IMPROVEMENT PLANS FOR THE PLAT OF PINNACLE INDUSTRY CENTER - FM 1472, UNIT 14.
 - EXISTING TOPOGRAPHY SHOWN IS BASED ON GILPIN ENGINEERING COMPANY'S PUBLIC IMPROVEMENT PLANS FOR THE PLAT OF PINNACLE INDUSTRY CENTER - FM 1472, UNIT 14.
 - SURVEY INFORMATION SHOWN WAS PROVIDED BY BLUETOP LAND SURVEYING AND REFLECTS THE INFORMATION SHOWN ON THE ALTA SURVEY DATED AUGUST 19, 2025.

GMA
ARCHITECTS
7930 CLAYTON ROAD, SUITE 300
RICHMOND HEIGHTS, MO 63117
P. (314) 822-5191
WWW.GMA-ARCHITECTS.COM

ARCO MURRAY
DESIGN BUILD
5110 MCPHERSON RD., SUITE 3B
LAREDO, TX 78041
WWW.ARCOMURRAY.COM

142 Design Group
330 Silverdale North Parkway,
Ste. 210
Atlanta, GA 30339
(770) 541-1700

KCI
Civil Engineering
1715 Westheimer Road, Ste. 100
Houston, TX 77056
(713) 865-1000

Holtz Mechanical
2522 Hillman Road
San Antonio, TX 78218
(210) 661-7500

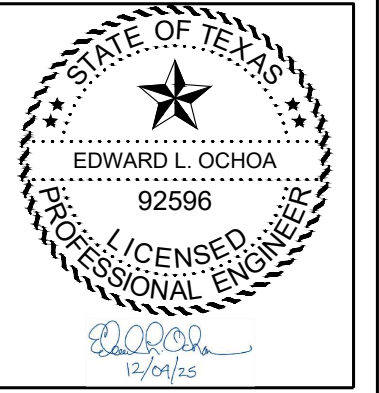
CSE Electric
2102 Service Center Drive
San Antonio, TX 78218
(210) 590-6529

RSW Consulting
13035 Conover Street
San Antonio, TX 78216
(210) 498-1800

Fire Protection Fire Alarm
TBD

LITOS

PROJECT
LITOS Laredo - East Building
590 Mercury Mine Rd
Laredo, TX 78045
Pinnacle Unit 14, Block 2, Lot 7

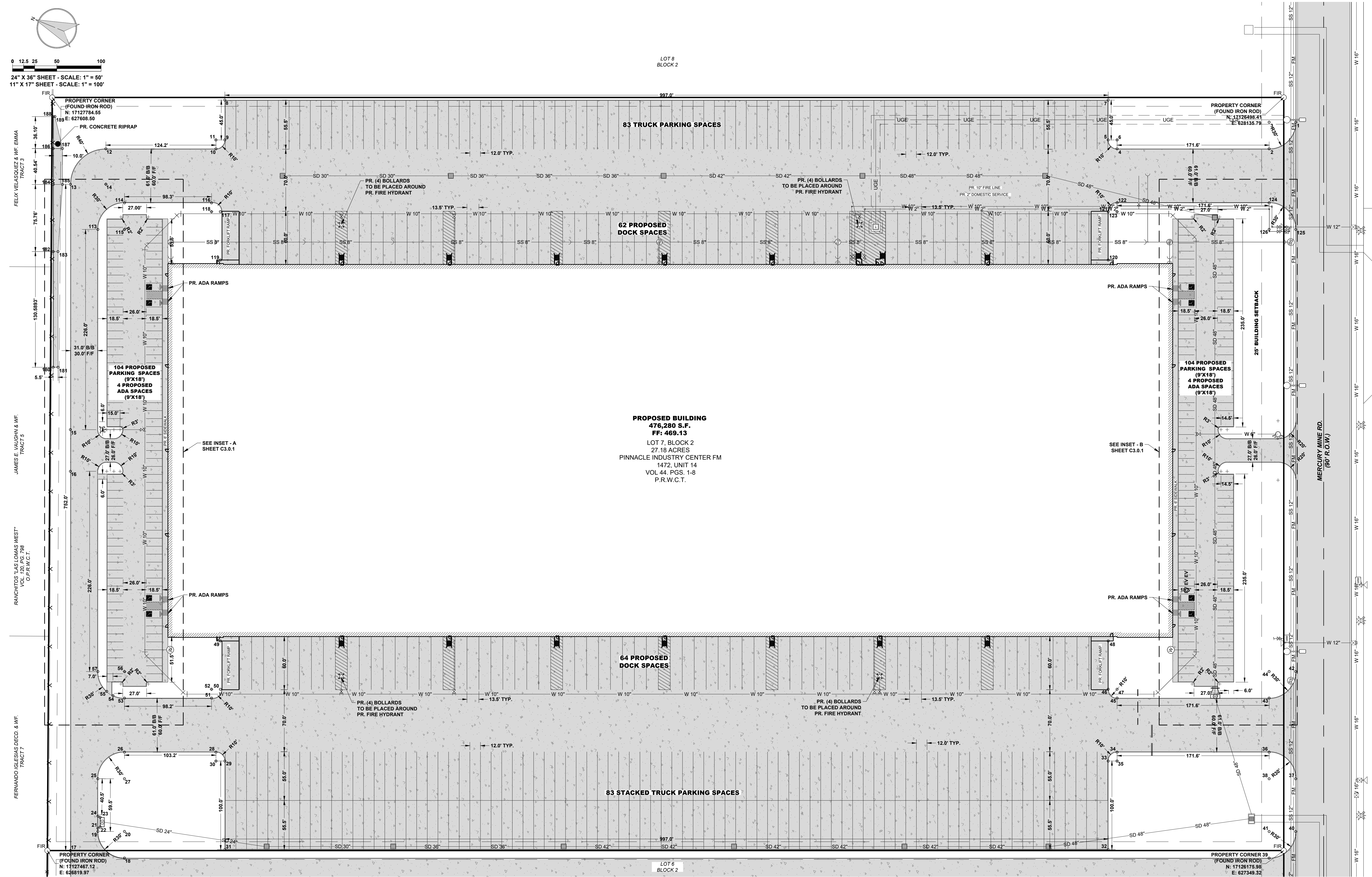


GMA JOB NO: GA197
ARCO JOB NO: LAR003
DRAWN BY: AB
ISSUE DATE: 09.12.2025

REVISIONS:

#	DESCRIPTION	DATE

SHEET NUMBER
C1.0
OVERALL SITE PLAN



- SITE NOTES**
- ALL PROJECT COORDINATES ARE ESTABLISHED BASED ON THE PROVIDED CONTROL DATA ON THE CONTROL / BENCHMARK DATA SHEET.
 - RADIAL AND TYPICAL DIMENSIONS SHOWN ARE TAKEN FROM THE BACK OF CURB OR EDGE OF SIDEWALK, UNLESS OTHERWISE PRESENTED ON THIS PLAN. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER AND ARCHITECT PRIOR TO MAKING ANY FIELD CHANGES THAT DIFFER FROM THIS DIMENSION PLAN.
 - CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE TO PROPOSED PAVEMENT SURFACES.
 - CONTRACTOR SHALL SAW-CUT AND/OR ADJUST EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH AND CONTINUOUS TRANSITION GRADE.
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE CONDITIONS DURING ALL CONSTRUCTION PHASES OF THE PROJECT UNTIL THE PERMANENT DRAINAGE FACILITIES ARE CONSTRUCTED AND READY TO USE. HANDLE ALL EXCAVATED AND STOCKPILED MATERIAL IN SUCH A WAY THAT IT WILL NOT BLOCK DRAINAGE OR DAMAGE EXISTING ENVIRONMENTAL ITEMS.
 - CONTRACTOR SHALL ENSURE THE SAFETY OF WORKERS DURING EXCAVATION ACTIVITIES. THE CONTRACTOR SHALL INSTALL TRENCH SAFETY MEASURES WHEN TRENCHING MORE THAN 5 FEET OF DEPTH. TRENCHING MORE THAN 20 FEET OF DEPTH REQUIRES A PROTECTIVE SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR BASED ON TABULATED DATA PREPARED AND/OR APPROVED BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH OSHA REGULATION 1926.652(B) AND (C).
 - CONTRACTOR SHALL ADJUST ALL UTILITIES TO FINISH GRADE UNLESS NOTED OTHERWISE ON THESE PLANS.

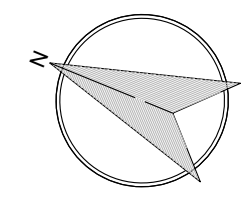
CONSTRUCTION PHASES OF THE PROJECT UNTIL THE PERMANENT DRAINAGE FACILITIES ARE CONSTRUCTED AND READY TO USE. HANDLE ALL EXCAVATED AND STOCKPILED MATERIAL IN SUCH A WAY THAT IT WILL NOT BLOCK DRAINAGE OR DAMAGE EXISTING ENVIRONMENTAL ITEMS.

CONTRACTOR SHALL ENSURE THE SAFETY OF WORKERS DURING EXCAVATION ACTIVITIES. THE CONTRACTOR SHALL INSTALL TRENCH SAFETY MEASURES WHEN TRENCHING MORE THAN 5 FEET OF DEPTH. TRENCHING MORE THAN 20 FEET OF DEPTH REQUIRES A PROTECTIVE SYSTEM DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER OR BASED ON TABULATED DATA PREPARED AND/OR APPROVED BY A REGISTERED PROFESSIONAL ENGINEER IN ACCORDANCE WITH OSHA REGULATION 1926.652(B) AND (C).

CONTRACTOR SHALL ADJUST ALL UTILITIES TO FINISH GRADE UNLESS NOTED OTHERWISE ON THESE PLANS.

S:\data\Proj_2025_KCI00050408_001_Site_Civil\Lot7_Pinnacle\14-Arco_Murray\Site\Sheet\Lot7 - East\Site Plan.dwg

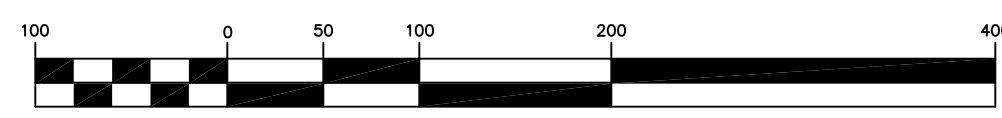
0 12.5 25 50 100
24" X 36" SHEET - SCALE: 1" = 50'
11" X 17" SHEET - SCALE: 1" = 100'



LOT 8
BLOCK 2

LOT 6
BLOCK 2

EXHIBIT B



(IN FEET)
1 inch = 100 ft.

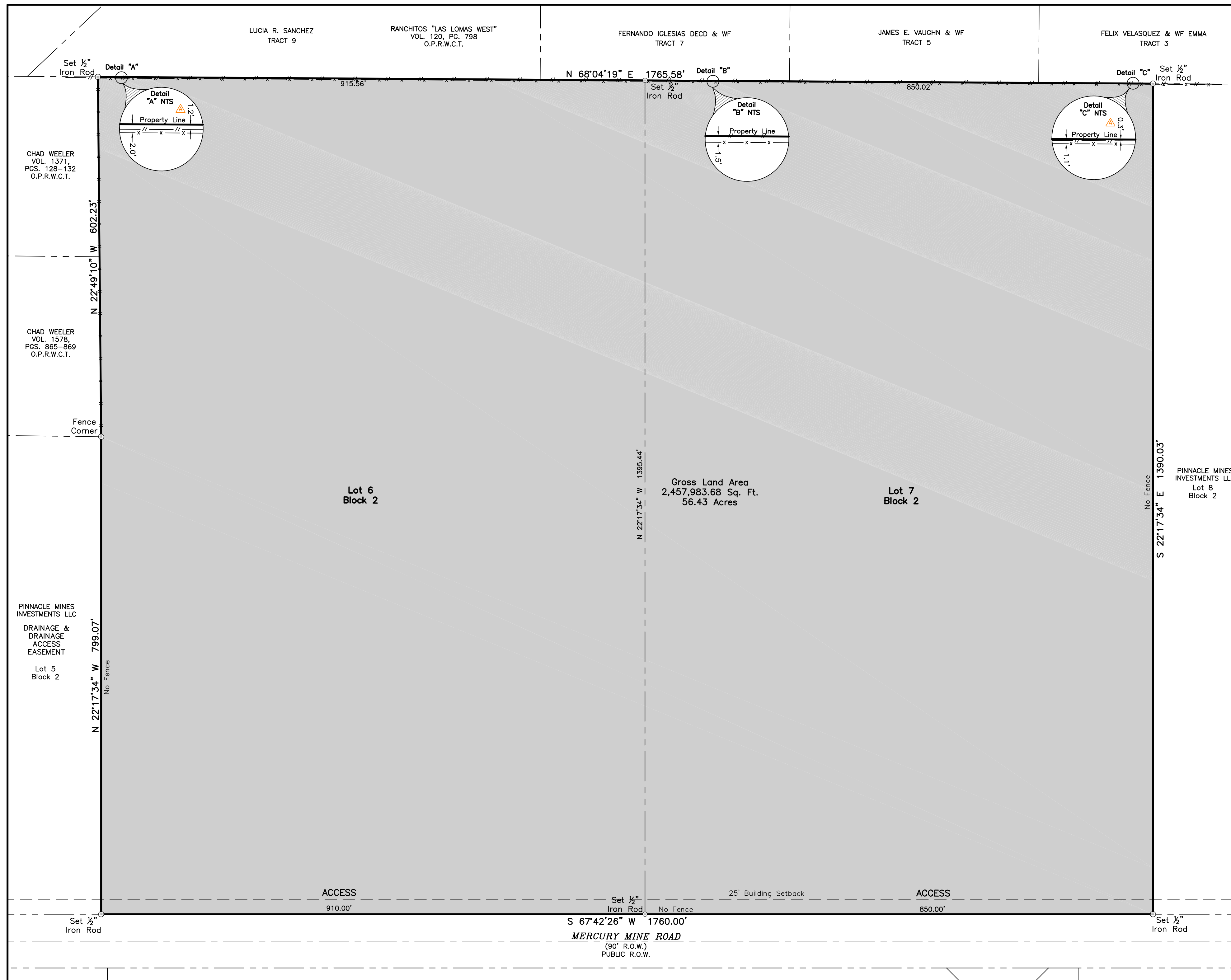
BASIS OF BEARING:
G.P.S., Texas Coordinate System, Texas South Zone, NAD 1983
(SAME AS RECORDED SUBDIVISION PLAT)

LEGAL DESCRIPTION
SITUATED IN WEBB COUNTY, TEXAS, AND BEING THE SURFACE ONLY OF LOTS NUMBER SIX (6) AND SEVEN (7), IN BLOCK NUMBER TWO (2), PINNACLE INDUSTRY CENTER - FM 1472, UNIT 14, A SUBDIVISION SITUATED IN THE CITY OF LAREDO, AS PER PLAT RECORDED IN VOLUME 44, PAGES 1-8, WEBB COUNTY PLAT RECORDS.

FLOOD NOTE:
BY SCALED MAP AND GRAPHIC PLOTTING ONLY, THE PROPERTY APPEARS TO LIE IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD HAZARD) AS PER THE FLOOD INSURANCE RATE MAP FLOOD AREAS, MAP No. 48479C1015C, WHICH BEARS AN EFFECTIVE DATE OF APRIL 2, 2008.

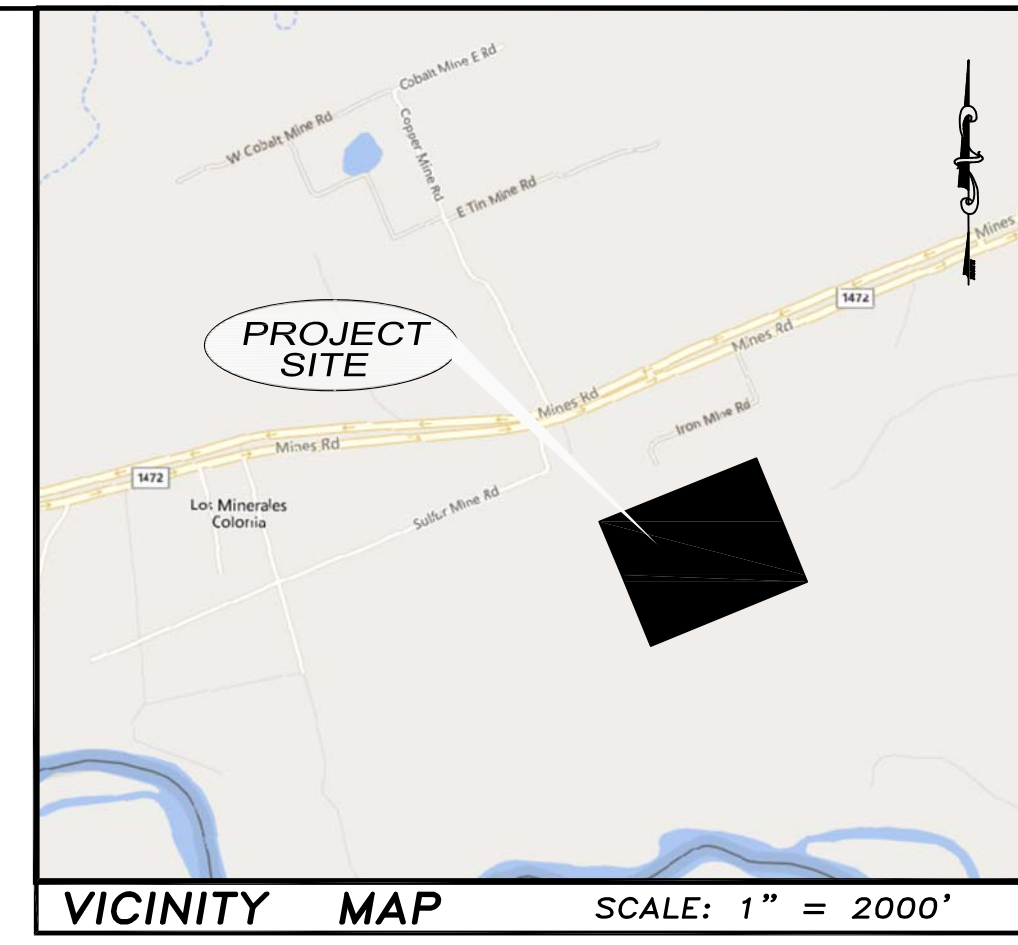
NOTES

- This survey was made in accordance with laws and/or Minimum Standards of the State of Texas.
- The property described hereon is the same as the property described in Title Commitment No. 23174-25, with an effective date of May 22, 2025, and that all easements, covenants and restrictions referenced in said title commitment or apparent from a physical inspection of the site or otherwise known to me have been plotted hereon or otherwise noted as to their effect on the subject property.
- Said described property is located within an area having a Zone X designation by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 48479C1015C, with a date of identification of April 2, 2008, Webb County Community No. 481059, and City of Laredo Community No. 480651 in the State of Texas.
- The Property has direct access to Mercury Mine Road, (as shown on the survey) a dedicated public right-of-way.
- The total number of striped parking spaces on the subject property is 0.
- The Subject Property seems to be in the developmental phase, therefore there was observed evidence of current earth moving work.
- There are no proposed changes in street right of way lines. There is no observed evidence of recent street or sidewalk construction or repairs [except as shown or noted hereon].
- There is no observed evidence of site use as a solid waste dump, sump or sanitary landfill [except as shown or noted hereon].
- Utilities are based on observed evidence, plans requested from utility department and 811 Utility locators, Ticket Number: 2563679386, Call 811 before you dig.
- Not all Easements and Utilities shown hereon.



ENCROACHMENTS
Barbed Wire Fence located along the south property line of Ranchitos "Las Lomas West", encroaches over the subject's north property line (As shown in Survey).

LEGEND
Deer Proof Fence
Barbed Wire Fence



ZONING DATA

ZONING CLASSIFICATION: ZONED M-1, LIGHT MANUFACTURING DISTRICT
MAXIMUM HEIGHT: 15' A
SETBACKS:
FRONT YARD SETBACK: 25 FEET
SIDE YARD SETBACK (CORNER): 10 FEET
SIDE YARD SETBACK (INTERIOR): SETBACKS SHALL BE SIX FEET (6'0") FOR RESIDENTIAL USE, TEN FEET (10'0") ALL OTHER USES, OR THE NUMBER OF FEET ESTABLISHED IN TABLE 503 IN THE ADOPTED INTERNATIONAL BUILDING CODE, WHICHEVER IS GREATER.
REAR YARD SETBACK: SETBACKS SHALL BE SIX FEET (6'0") FOR RESIDENTIAL USE, TEN FEET (10'0") ALL OTHER USES, OR THE NUMBER OF FEET ESTABLISHED IN TABLE 503 IN THE ADOPTED INTERNATIONAL BUILDING CODE, WHICHEVER IS GREATER.

PARKING:
- PARKING SPACES REQUIRED (MANUFACTURING/INDUSTRIAL): ONE (1) FOR EVERY TWO (2) EMPLOYEES (ON THE LARGEST SHIFT FOR WHICH THE BUILDING IS DESIGNED) PLUS ONE (1) FOR EACH MOTOR VEHICLE USED IN THE BUSINESS, AND TWO (2) TRACTOR TRUCK SPACES FOR EACH LOADING DOCK.

SOURCE: CITY OF LAREDO - LAND DEVELOPMENT CODE (MAY 12, 2021)

NOTES CORRESPONDING TO SCHEDULE B:

- 10a Rights of parties in possession.
- 10b All visible and apparent easements or uses and all underground easements or uses, the existence of which may arise by unrecorded grant or by use.
- 10c All zoning laws, regulations and ordinances of municipal and/or other governmental authorities, if any, but only to the extent that they are in effect, relating to the hereinabove described property, or any part thereof.
- 10d Any leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interest that are not listed.
- 10e All leases, grants, exceptions or reservations of the geothermal energy and associated resources below the surface of the land, together with all rights, privileges and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of the geothermal energy and associated resources below the surface of the land that are not listed.
- 10f Agreement for Acceptance of Storm Drainage from Pinnacle Industry Center - FM 1472, Unit 14 dated February 14, 2025, executed by Robert J. Gilpin and Lourdes R. Gilpin, and Pinnacle Mines Investments, L.L.C., to Ramon Chavez, P.E., City Engineer for the City of Laredo, recorded in Volume 5788, Page 210, Webb County Official Public Records. [Affects Subject Property, Not Plotted (Not a Survey Matter)]
- 10g Standard Maintenance and Monitoring Agreement dated February 14, 2025, between Pinnacle Mines Investments, L.L.C., and the City of Laredo, recorded in Volume 5792, Page 472, Webb County Official Public Records. [Does Not Affect Subject Property, Not Plotted]
- 10h Annual Maintenance Assessments, together with Special Assessments as provided for in the Declaration of Covenants, Conditions and Restrictions, recorded in Volume 5797, Pages 572-627, Webb County Official Public Records. [Affects Subject Property, Not Plotted (Not a Survey Matter)]
- 10i Any and all access easement, utility easements, restrictions and/or notations as reflected on plat recorded in Volume 44, Pages 1-8, Webb County Plat Records. [Does Not Affect Subject Property, Not Plotted (No Access Easement or Utility Easement Noted for Subject Property on Recorded Plat)]

SURVEYOR'S CERTIFICATE:
To: Litos Texas, LLC, a Texas Limited Liability Company, and First American Title Guaranty Company.
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS and includes items 1, 2, 3, 4, 6(a), 8, 10, 11(b), 13, and 16 of Table A thereof.



The field work was completed on: May 20, 2025.
Date of Plat or Map: May 22, 2025.
Oscar Almaguer
TEXAS, R.P.L.S. No. 6866

ALTA/NSPS LAND TITLE SURVEY
OF
SITUATED IN WEBB COUNTY, TEXAS, AND BEING THE SURFACE ONLY OF LOTS NUMBER SIX (6) AND SEVEN (7), IN BLOCK NUMBER TWO (2), PINNACLE INDUSTRY CENTER - FM 1472, UNIT 14, A SUBDIVISION SITUATED IN THE CITY OF LAREDO, AS PER PLAT RECORDED IN VOLUME 44, PAGES 1-8, WEBB COUNTY PLAT RECORDS.

BASED UPON TITLE COMMITMENT FILE No. 23174-25 ISSUED BY
FIRST AMERICAN TITLE GUARANTY COMPANY
EFFECTIVE DATE: MAY 22, 2025

ADDRESS: 590 MERCURY MINE ROAD, CITY OF LAREDO, TEXAS, 78045 (Lot 6)
ADDRESS: 620 MERCURY MINE ROAD, CITY OF LAREDO, TEXAS, 78045 (Lot 7)

Blue Top Land Surveying
101 West Hillside, Suite 10
Laredo, Texas 78041
Phone: (956) 724-8423
Fax: (956) 712-2580
FIRM # 10071800

DATE: 05-22-25
DRAWN BY: A.T.
CHECKED BY: O.A.
JOB No. 250064

FILE: 250064 L6 & L7 B2 PINNACLE INDUSTRY CENTER - FM 1472 UNIT 14.DWG

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 42.

SUBJECT

Consideration to authorize purchases from Traffic Tiger, Houston, Texas for an annual amount not to exceed \$200,000.00. This contract will serve for the purchases of Traffic Signal Systems and Safety Barrier Products on as needed basis through Buy Board Contract 803-26. Contract shall be for a period of one year and only for included items within contract. Funding is available in the General Fund-Engineering/Traffic Department.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

The Cooperative Purchasing Program allows municipalities to take advantage of the contract pricing for Traffic Signal Systems and Safety Barrier Products through Buy Board Contract 803-26. Contract shall be for a period of one year and only for included items within contract. The City shall purchase such items on as needed basis for daily operations and based on budget availability.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

That this supply contract be awarded.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Traffic Department
Account #:	10122625123045
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Funding is available in the Traffic Department Fund.



TIGER TRAFFIC
 2061 Clovis Barker Rd. #5
 San Marcos, TX 78666
 Cell: (512) 608-8971
John.Drummond@tigertraffic.net

6/8/2026

Company Name:

Contact:

Quote # J200618

Job Specifications	Shipping Method	Shipping Terms
CITY OF LAREDO - TRAFFIC SIGNAL MSC ITEMS	Best Way	FOB Destination

ITEM	DESCRIPTION	UNIT	QUANT	PRICE	EXT
3YPH-RYG	3 SECTION YELLOW POLY RYG	EA	10.00	\$670.00	\$6,700.00
M45753	3 SECTION SIGNAL YELLOW POLY		10.00		
M19275	VISORS YELLOW POLY		30.00		
SP-5391-3-24-PNC	Span Wire Assy, 3-Section w/ 24" Tube Extension & Break-a-Way Tether, Iron Span Wire Clamp, Alum		10.00		
DR6-GTFB-VLA-037	GREEN TINTED LED		10.00		
DR6-YTFB-VLA-037	YELLOW TINTED LED		10.00		
DR6-RTFB-VLA-037	RED TINTED LED		10.00		
M66533	3 SEC ALUM VENTED W/2" REFLECTIVE TAPE 3991		10.00		
4YPH-RRYG	4 SECTION YELLOW POLY RRYG	EA	4.00	\$850.00	\$3,400.00
M42410	4 SECTION SIGNAL YELLOW POLY		4.00		
M19275	VISORS YELLOW POLY		16.00		
SP-5391-4-24-PNC	Span Wire Assy, 4-Section w/ 24" Tube Extension & Break-a-Way Tether, Iron		4.00		
DR6-GTFB-VLA-037	GREEN TINTED LED		4.00		
DR6-YTFB-VLA-037	YELLOW TINTED LED		4.00		
DR6-RTFB-VLA-037	RED TINTED LED		4.00		
DR6-RTFB-VLA-037	RED TINTED LED		4.00		
M52820	4 SEC ALUM VENTED W/2" REFLECTIVE TAPE 3991		4.00		
3YAH-RYG	3 SECTION YELLOW ALUM RYG	EA	20.00	\$585.00	\$11,700.00
M66275	3 SECTION SIGNAL YELLOW ALUM		20.00		
M19278	VISORS YELLOW ALUM		60.00		
AS-0125-3-120-PNC	3 SECTION ASTRO BRACKET		20.00		
M66533	3 SEC ALUM VENTED W/2" REFLECTIVE TAPE 3991		20.00		
4YAH-RRYG	4 SECTION YELLOW ALUM RRYG	EA	20.00	\$720.00	\$14,400.00
M66276	4 SECTION SIGNAL YELLOW ALUM		20.00		
M19278	VISORS YELLOW ALUM		80.00		
AS-0125-4-120-PNC	4 SECTION ASTRO BRACKET		20.00		
M52820	4 SEC ALUM VENTED W/2" REFLECTIVE TAPE 3991		20.00		
6826018	PED SIG SEC (LED)(COUNTDOWN) - (UNIVERSAL LEFT OR RIGHT)	EA	60.00	\$350.00	\$21,000.00
M64947	YELLOW POLY PED (CLAMSHELL MOUNT)				
M27168	YELLOW CLAMSHELL MOUNTING BRACKET				
PS7-CFF1-VLA-037	FULL HAND/MAN OVR WITH CD - PED				
SE-3054-P01	SIGNAL CLOSURE KIT YELLOW	EA	80.00	\$6.80	\$544.00
SP-3004-TX-P29	Side-of-Pole Assy, 1-Way Upper & Lower w/ Universal Hubs, Alum, Federal Yellow	EA	20.00	\$116.00	\$2,320.00

SE-3215-10-P29	Side-of-Pole Assy, 1-Way Upper & Lower w/ Universal Hubs & 10" Nipples, Alum, Federal Yellow	EA	20.00	\$114.00	\$2,280.00
SE-4071-P29	HUB PLATE UNIVERSAL 1-1/2 NPS W 15/16" OPE	EA	10.00	\$17.70	\$177.00
AS-3009-120-PNC	Astro-Brac Stellar Clamp Kit, 120" Stainless Cable Mnt, Alum	EA	60.00	\$123.00	\$7,380.00
AS-3010-PNC - FOR LUMINAIRE MOUNTING	Astro-Brac Stellar Clamp Kit, Tenon Mnt, Fits 1.9" to 4.5" OD, Alum	EA	20.00	\$106.00	\$2,120.00
AB-4005-P29	Astro-Brac Arm Kit, 1-Way 8-1/2" CTC, Stainless Slotted Washer, Alum, Federal Yellow	EA	60.00	\$63.25	\$3,795.00
SE-0484-46-PNC	Tube, 1-1/2" x 46", Alum - 3 SEC	EA	40.00	\$34.00	\$1,360.00
SE-0484-58-PNC	Tube, 1-1/2" x 58", Alum - 4 SEC	EA	40.00	\$42.00	\$1,680.00
US-8122-06-SS	Banding, 3/4" x .030, Type 201, Stainless (100' Per Box)	EA	6.00	\$120.00	\$720.00
US-8122-56-SS	Buckles, 3/4" Band, Type 201 Stainless (100 Per Box)	EA	3.00	\$95.00	\$285.00

BUYBOARD CONTRACT # 803-26

15% DISCOUNT APPLIED

Total: \$ 79,861.00

All shipments are subject to prior sale. Prices quoted are based on our receiving orders for quantity specified.

Prices are good for 30 days and are subject to vendor price increases.

We are not liable for delays in delivery caused by circumstances over which we have no control. Clerical errors are subject to correction.

Orders or contracts placed with us shall be subject to any regulations, restrictions or direct taxes imposed by Federal or state authorities.

The acceptance of an order as a result of this quotation is subject to approval by our credit department.

Terms may be changed as a result of special billing requirements

THANK YOU FOR YOUR BUSINESS!!!

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 43.

SUBJECT

Consideration for approval amendment no. 2, an increase in the amount of \$1,114,725.00 to the professional services contract with JHS Architect Inc., Laredo, Texas, for the City of Laredo Sports Complex Phase 1B Project. This amendment no. 2 is to provide additional architectural and engineering services that encompass building design, park planning, and landscape architectural design. Current contract amount with this amendment is \$5,189,725.00. Funding is available in the Sports Venue Tax Fund.

PREVIOUS COUNCIL ACTION

On January 16, 2024, City Council approved of amendment no. 1, an increase in the amount of \$1,080,000.00 to include additional architectural and engineering services to the professional services contract with JHS Architect, Inc., Laredo, Texas, for the City of Laredo Sports Complex Venue Phase II. Current contract amount with this amendment is \$4,035,000.00. Funding is available in the Sports Venue Tax Fund.

On September 7, 2021, City Council approved to award a professional services contract to JHS Architect, Inc., Laredo, Texas for the City of Laredo Sports Complex Venue Phase II which includes Task 4 & 5, in the amount not to exceed \$2,955,000.00 to provide surveying (boundary & aerial), architectural, and engineering professional services. Funding is available in the 2021 Sports Venue Tax.

On September 7, 2021, City Council approved to award a professional services contract to JHS Architect, Inc., Laredo, Texas for the City of Laredo Sports Complex Venue Phase II which includes Task 9, in the amount not to exceed \$295,680.00 to provide off-site engineering and surveying professional services. Funding is available in the 2020A Water Revenue Bond and 2017 Sewer Revenue Bond.

On August 16, 2021, City Council approved to accept the Sports Venue Master Plan as presented by JHS Architect, motioned to go out on Request for Qualifications (RFQ) for a design build for this project not to exceed \$32 million and motioned to table item #27.

On February 1, 2021, City Council approved to award a professional services contract to JHS Architect, Inc. for an amount not to exceed \$431,544.00 which includes geotechnical services, traffic impact analysis, and park master plan for the City of Laredo Sports Complex Venue to include master planning and other amenities. Funding is available in the Sports Venue Tax Fund.

BACKGROUND

The scope of work shall be further defined upon review and approval by the City of Laredo and is

anticipated to include, but not limited to, the following elements, from which the Owner may review and select:

- Multi-purpose Field
- Community Playground
- Concession / Office / Restroom Building
- South Parking Lot
- Maintenance Yard

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Approval of this motion.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Sports Venue Tax Fund
Account #:	256-7915-553-5526
Change Order: Exceeds 25% Y/N:	N

FINANCIAL IMPACT:

Funding is available under Sports & Community Venue.
#256-7915-553-5526 Project# AR21CS

City of Laredo

City Council

Meeting Date: 7/20/2026

Consent Agenda

SUBJECT

Consideration for approval amendment no. 2, an increase in the amount of \$1,114,725.00 to the professional services contract with JHS Architect Inc., Laredo, Texas, for the City of Laredo Sports Complex Phase 1B Project. This amendment no. 2 is to provide additional architectural and engineering services that encompass building design, park planning, and landscape architectural design. Current contract amount with this amendment is \$5,189,725.00. Funding is available in the _____.

PREVIOUS COUNCIL ACTION

On January 16, 2024, City Council approved of amendment no. 1, an increase in the amount of \$1,080,000.00 to include additional architectural and engineering services to the professional services contract with JHS Architect, Inc., Laredo, Texas, for the City of Laredo Sports Complex Venue Phase II. Current contract amount with this amendment is \$4,035,000.00. Funding is available in the Sports Venue Tax Fund.

On September 7, 2021, City Council approved to award a professional services contract to JHS Architect, Inc., Laredo, Texas for the City of Laredo Sports Complex Venue Phase II which includes Task 4 & 5, in the amount not to exceed \$2,955,000.00 to provide surveying (boundary & aerial), architectural, and engineering professional services. Funding is available in the 2021 Sports Venue Tax.

On September 7, 2021, City Council approved to award a professional services contract to JHS Architect, Inc., Laredo, Texas for the City of Laredo Sports Complex Venue Phase II which includes Task 9, in the amount not to exceed \$295,680.00 to provide off-site engineering and surveying professional services. Funding is available in the 2020A Water Revenue Bond and 2017 Sewer Revenue Bond.

On August 16, 2021, City Council approved to accept the Sports Venue Master Plan as presented by JHS Architect, motioned to go out on Request for Qualifications (RFQ) for a design build for this project not to exceed \$32 million and motioned to table item #27.

On February 1, 2021, City Council approved to award a professional services contract to JHS Architect, Inc. for an amount not to exceed \$431,544.00 which includes geotechnical services, traffic impact analysis, and park master plan for the City of Laredo Sports Complex Venue to include master planning and other amenities. Funding is available in the Sports Venue Tax Fund.

BACKGROUND

The scope of work shall be further defined upon review and approval by the City of Laredo and is

anticipated to include, but not limited to, the following elements, from which the Owner may review and select:

- Multi-purpose Field
- Community Playground
- Concession / Office / Restroom Building
- South Parking Lot
- Maintenance Yard

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Approval of this motion.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	N

FINANCIAL IMPACT:

Click or tap here to enter text.

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 44.

SUBJECT

Consideration to award a service contract with sole source vendor, Life Extension Clinics, Inc dba Life Scan Wellness Centers to perform NFPA physicals, lab testing, cancer screening, and cardio/fitness exams to all City of Laredo firefighters, in the amount not to exceed \$326,926.00 Funding is through the FEMA, Assistance to Firefighters Grant (AFG) grant accepted in November 2025. Funding is available in the Special Fire Grants Fund.

PREVIOUS COUNCIL ACTION

FEMA AFG Grant was accepted by Council on 11/3/2025.

BACKGROUND

FEMA- Assistance to Firefighters Grant (AFG) Program, FY 2025-2026 General Fund Budget increasing revenues and expenses in the amount of \$327,560. The funds will be used to provide National Fire Protection Association (NFPA) approved physicals, laboratory testing, comprehensive cancer screenings, and cardiovascular and fitness exams for all firefighters. The grant performance period is September 30, 2025 to September 29, 2027. Funding will be available in the Special Fire Grants Fund.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends approval of this item.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	AFG Grant Funds
Account #:	260-2487-523-5551
Change Order: Exceeds 25% Y/N:	N

FINANCIAL IMPACT:

Special Fire Grants 260-2487-523-5551

Quote

Date Sent:	2026-05-13	Prepared for	Laredo Fire Department
Exp. Date:	2026-12-31		Laredo TX
			Member Exams: 430
			Daniella Gonzalez

NAME	PRICE	QTY	SUBTOTAL
Comprehensive Hands On Physical <small>Includes Mandatory Administrative, EMR, and Data Fee with Behavioral Health Assessments</small>	\$640.00	430	\$275,200.00
Labs Only <small>Labs are drawn but a Life Scan Appointment is not attended</small>	\$100.00	0	\$0.00
Cholinestrace	\$96.00	88	\$8,448.00
Heavy Metals	\$96.00	88	\$8,448.00
Apolipoprotein B	\$26.00	430	\$11,180.00
C-Reactive Protein	\$21.00	430	\$9,030.00
On-site Blood Draws	\$34.00	430	\$14,620.00
			\$326,926.00
		Total Per Person	\$326,926.00

Public Safety Physical Exam (NFPA 1582 Compliant)

Medical & Occupational/Environmental Questionnaire	Included
Comprehensive Hands-On Physical Exam	Included
Vital Signs: Height, Weight, Blood Pressure, Pulse	Included
Behavioral Health Eval - Epworth Sleep, PCL-5, PHQ-9	Included
Back Health Evaluation	Included
Urinalysis	Included
Audiogram	Included
Titmus Occupational Vision Exam	Included
Breast Exam with Self-Exam education	Included
Personal Consultation with review of testing results	Included
Laboratory Tests:	
Comprehensive Metabolic Panel, Blood Chemistry	Included

Public Safety Physical Exam (NFPA 1582 Compliant)

Complete Blood Count, Hematology Panel	Included
Hemoccult Stool Test for Colon Cancer Screening	Included
Total Lipid Panel	Included
Thyroid Test TSH	Included
Glucose	Included
Hemoglobin A1C	Included
Men: PSA (Prostate cancer marker) and Testosterone	Included
Women: CA-125	Included

Ultrasound Screenings (Early Detection of Heart Disease and Cancer):

Echocardiogram (Heart Ultrasound)	Included
Carotid Arteries Ultrasound	Included
Aorta and Aortic Valve Ultrasounds	Included
Liver Ultrasound	Included
Gall Bladder Ultrasound	Included
Kidneys Ultrasound	Included
Spleen Ultrasound	Included
Bladder Ultrasound	Included
Thyroid Ultrasound	Included
Men: Prostate and Testicular Ultrasounds	Included
Women: Ovaries and Uterus Ultrasounds	Included

Cardiopulmonary Testing & Fitness Eval (NFPA 1583 & IAFF WFI)

Cardiac Stress Test (Treadmill with 12 lead, sub-maximal)	Included
EKG, 12 Lead	Included
Spirometry, PFT with OSHA Respirator Medical Clearance	Included
Fitness tests for muscular strength & endurance	Included
VO2 Max Calc for Aerobic Capacity	Included
Body Weight and Composition	Included
Personal Fitness Rx	Included



City of Laredo Sole Source Affidavit

Compliance with Texas Local Government Code Chapter 252.021 is not required for purchases that are available from only one source, including: An item for which competition is precluded because of a patent, copyright, secret process, or monopoly. The item is a film, manuscript, or book. The item is a utility service, including electricity, gas, or water. The item is a captive replacement part or component for equipment. The sole source exception does not apply to mainframe data processing equipment and peripheral attachments with a single-item purchase price in excess of \$15,000.

1. My name is (Print Name) Todd Leduc
I am over the age of 18, have never been convicted of a felony and am competent to make this affidavit.
I am authorized to sign contracts for the following company or firm:
Company: Life Extension Clinics, Inc. dba Life Scan Wellness Centers
Address: 1011 N Macdill Ave
City, State, Zip Code: Tampa, FL 33607
Telephone Number: (813) 876-0625
Fax Number: (813) 876-0653
E-mail Address: Todd.Leduc@lifescanwellness.com

2. The above-named company or firm is the sole source of the following item(s) and no other company or firm in the United States of America sells or distributes the products listed below:
Public Safety physicals with proprietary EMR + data management and
UCF Restores behavioral health App + peer support

3. Competition in providing the above-named item(s) is precluded due to:
 A patent
 A copyright
 A secret process
 A monopoly
 It is a film
 It is a manuscript
 It is a book
 It is a utility service, including electricity, gas, or water (does not apply to parts used for utility services)
 It is a captive replacement part or component for equipment
 Other circumstances provided by Texas Local Government Code 252.022 (provide details above)
Other: Unique NFPA Physicals and early detection of cancer

4. There is/are no other like item(s) or product(s) available for purchase that would serve the same purpose or function and there is only one price for the above-named item(s) or product(s) because of exclusive distribution or marketing rights.
5. This affidavit is valid for a period of one year, or until changed circumstances render it inaccurate, whichever occurs first.

Todd Leduc CEO 03-17-2026
Signature of Authorized Official Title of Authorized Official Date



City of Laredo Sole Source Affidavit

NOTARY USE ONLY	Purchasing Department Use ONLY
Subscribed and Sworn to before me this <u>17th</u> day of <u>March 2026</u> , State of <u>Florida</u> , County of <u>Hillsborough</u> .	Approved <input checked="" type="checkbox"/> <u>as per D. Walter, ACP</u>
<u>Todd Leduc</u> Signature of Applicant	Not Approved Return to Using _____ Department
<u>[Signature]</u> Signature of Notary Public	Purchasing Agent Signature <u>[Signature]</u>
	Date <u>5/28/26</u>



CERTIFICATE *of* SIGNATURE

REF. NUMBER
6QABZ-OQKY3-ZQBJV-I8FEZ

DOCUMENT COMPLETED BY ALL PARTIES ON
17 MAR 2026 19:10:50
UTC

SIGNER

TODD LEDUC

EMAIL
TODD.LEDUC@LIFESCANWELLNESS.COM

TIMESTAMP

SENT
17 MAR 2026 19:06:44
VIEWED
17 MAR 2026 19:10:12
SIGNED
17 MAR 2026 19:10:50

SIGNATURE

Todd Leduc

IP ADDRESS
99.45.224.116

LOCATION
BOCA RATON, UNITED STATES

RECIPIENT VERIFICATION

EMAIL VERIFIED
17 MAR 2026 19:10:12



City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 45.

SUBJECT

Consideration to renew annual service contract FY24-073 for the repair and replacement of hydraulic cylinders for the City's heavy equipment fleet with Laredo Mechanical Industrial Services, Laredo, Texas, in an annual amount of \$130,000.00 and \$130,000.00 for the remainder of the contract term. These hydraulic cylinders are found on many pieces of heavy equipment such as backhoes, loaders, and refuse trucks. All repair services will be secured on an as needed basis. The term of this contract shall be for a period of one year beginning as of the date of its execution and is contingent upon the availability of appropriated funds. There was no price increase during the last extension period. This is the second of three extension periods. Funding is available in the Fleet Management Fund.

PREVIOUS COUNCIL ACTION

Approved a one-year contract on 7/22/24.

Approved a one-year contract on 7/21/25.

BACKGROUND

This contract establishes pricing for the repair and replacement of hydraulic cylinders for the City's heavy equipment. Most of the repairs will be based on an hourly rate with the repairs parts provided by the City. The term of this contract shall be for a period of one (1) year beginning as of the date of its execution. There was no price increase during the last extension. This is the second of three extension periods. This contract shall be the responsibility of and administered by the Fleet Department.

Current Pricing:

Description	Labor Rate/Cylinder Repair
Dump Trucks 12-17 CY	\$ 50.00
Backhoes 14,000 lb. to 16,000 lb.	\$ 50.00
Wheel Loaders 12,000 lb. to 18,000 lb.	\$ 50.00
Motor Graders 40,000 lb. to OP W.T.	\$ 50.00
Excavators 55,000 lb. to OP W.T.	\$ 50.00
Dozers 85,000 lb. to OP W.T.	\$ 50.00
Tractor Mowers/Batwing/Shredder	\$ 50.00

A complete bid tabulation is attached.

COMMITTEE RECOMMENDATION

None.

STAFF RECOMMENDATION

It is recommended that this contract be renewed.

Fiscal Impact

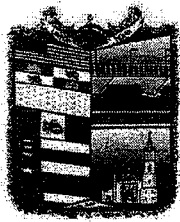
Fiscal Year: 2026.
Budgeted Y/N?: Yes.
Source of Funds: Fleet Management Fund.
Account #: 593-2815-533-2071.
Change Order: Exceeds 25% Y/N: No.

FINANCIAL IMPACT:

The purpose of this contract is to establish prices for the commodities or services needed should the City need to purchase these commodities or services. The City's obligation for performance of an annual supply contract beyond the current fiscal year is contingent upon the availability of appropriated funds from which payments for the contract purchases can be made. If no funds are appropriated and budgeted during the next fiscal year, this contract becomes null and void.

Laredo Mechanical Industrial Services, Inc.	
Total Price	\$350.00

Line #	Description	QTY	UOM	Estimated	Unit	Extended
1	Section I: Hydraulic Cylinder Repairs - parts will be provided by the City of Laredo	1	EA		<u>\$350.00</u>	\$350.00
1.1	Dump trucks12 - 17 CY capacity	1	Labor Rate/		<u>\$50.00</u>	
1.2	Backhoes14,000 lb - 16,000 lb OP. WT.	1	Labor Rate/		<u>\$50.00</u>	
1.3	Wheel Loaders12,000 lb - 18,000 lb OP. WT.	1	Labor Rate/		<u>\$50.00</u>	
1.4	Motor Graders 40,000 lb + OP. WT.	1	Labor Rate/		<u>\$50.00</u>	
1.5	Excavators55,000 lb + OP. WT.	1	Labor Rate/		<u>\$50.00</u>	
1.6	Dozers85,000 lb + OP. WT.	1	Labor Rate/		<u>\$50.00</u>	
1.7	Tractor Mowers/Batwing/Shredder	1	Labor Rate/		<u>\$50.00</u>	



**City of Laredo
Purchasing Division
RENEWAL NOTICE**

May 29, 2026

Juan Enrique Gonzalez
Laredo Mechanical Industrial Services
7305 San Dario Ave. #307
Laredo, Texas 78045

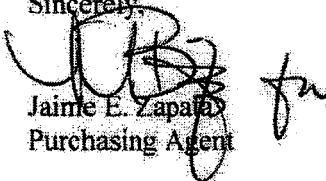
Re: Hydraulic Cylinder Repair/Replacement – Fleet Department
Contract FY24-073
Extension II

Dear Mr. Gonzalez,


This is to inform you that the contract FY24-073 for providing hydraulic cylinder repair and replacement services which was approved by City Council on July 22, 2024 is up for renewal. This is the second of three one-year extension periods. Please advise if you wish to renew this contract.

As a reminder compliance with the contract terms are the responsibility of the awarded vendor(s) and the respective City user department(s). If there are any questions regarding this letter of award, please feel free to call me at (956) 794-1731.

Sincerely,


Jaime E. Zapata
Purchasing Agent

Xc: Purchasing File

Laredo Mechanical Industrial Services	
Request a contract extension <input checked="" type="checkbox"/>	Not request a contract extension: _____
Authorized Signature: 	
Print Name: JUAN ENRIQUE GONZALEZ	
Date: 5/29/2026	

City of Laredo – Purchasing Division, 5512 Thomas Ave., Laredo, Texas 78041
Phone (956)794-1733 Fax 790-1805



**City of Laredo
Purchasing Division**

Letter of Award

July 22, 2025

Juan Enrique Gonzalez
Laredo Mechanical Industrial Services
7305 San Dario Ave. #307
Laredo, Texas 78045


Re: FY24-073 Hydraulic Cylinder Repairs/Replacement
Extension I

Dear Mr. Gonzalez,

This is to inform you that the contract renewal FY24-073 for providing hydraulic cylinder repairs was approved by City Council on July 21, 2025. The term of this contract shall be for a period of one (1) year with the option to renew two (2) additional one (1) year periods.

As a reminder compliance with the contract terms are the responsibility of the awarded vendor(s) and the respective City user department(s). If there are any questions regarding this letter of award, please feel free to call me at (956) 794-1731.

Sincerely,


Jaime E. Zapata
Purchasing Agent

Xc: Purchasing File

City of Laredo

City Council

Meeting Date: 7/21/2025

Consent Agenda 52.

SUBJECT

Consideration to renew annual service contract FY24-073 for the repair and replacement of hydraulic cylinders for the City's heavy equipment fleet with Laredo Mechanical Industrial Services, Laredo, Texas, in an amount up to \$130,000.00. These hydraulic cylinders are found on many pieces of heavy equipment such as backhoes, loaders, and refuse trucks. All repair services will be secured on an as needed basis. The term of this contract shall be for a period of one year beginning as of the date of its execution and is contingent upon the availability of appropriated funds. There was no price increase during the last extension period. This is the first of three extension periods. Funding is available in the Fleet Management Fund.

PREVIOUS COUNCIL ACTION

Approved a one-year contract on 7/22/24.

BACKGROUND

This contract establishes pricing for the repair and replacement of hydraulic cylinders for the City's heavy equipment. Most of the repairs will be based on an hourly rate with the repairs parts provided by the City. The term of this contract shall be for a period of one (1) year beginning as of the date of its execution. There was no price increase during the last extension. This is the first of three extension periods. This contract shall be the responsibility of and administered by the Fleet Department.

Current Pricing:

Description	Labor Rate/Cylinder Repair
Dump Trucks 12-17 CY	\$ 50.00
Backhoes 14,000 lb. to 16,000 lb.	\$ 50.00
Wheel Loaders 12,000 lb. to 18,000 lb.	\$ 50.00
Motor Graders 40,000 lb. to OP W.T.	\$ 50.00
Excavators 55,000 lb. to OP W.T.	\$ 50.00
Dozers 85,000 lb. to OP W.T.	\$ 50.00
Tractor Mowers/Batwing/Shredder	\$ 50.00

A complete bid tabulation is attached.

COMMITTEE RECOMMENDATION

None.

STAFF RECOMMENDATION

It is recommended that this contract be renewed.

Fiscal Impact

Fiscal Year: 2025.
Budgeted Y/N?: Yes.
Source of Funds: Fleet Management Fund.
Account #: 593-2810-533-2071.
Change Order: Exceeds 25% Y/N: No.

FINANCIAL IMPACT:

The purpose of this contract is to establish prices for the commodities or services needed should the City need to purchase these commodities or services. The City's obligation for performance of an annual supply contract beyond the current fiscal year is contingent upon the availability of appropriated funds from which payments for the contract purchases can be made. If no funds are appropriated and budgeted during the next fiscal year, this contract becomes null and void.



**City of Laredo
Purchasing Division
RENEWAL NOTICE**

May 29, 2025

Juan Enrique Gonzalez
Laredo Mechanical Industrial Services
7305 San Dario Ave. #307
Laredo, Texas 78045


Re: Hydraulic Cylinder Repair/Replacement – Fleet Department
Contract FY24-073
Extension I

Dear Mr. Gonzalez,


This is to inform you that the contract FY24-073 for providing hydraulic cylinder repair and replacement services which was approved by City Council on July 22, 2024 is up for renewal. This is the first of three one-year extension periods. Please advise if you wish to renew this contract.

As a reminder compliance with the contract terms are the responsibility of the awarded vendor(s) and the respective City user department(s). If there are any questions regarding this letter of award, please feel free to call me at (956) 794-1731.

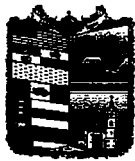
Sincerely,


Jaime E. Zapata
Purchasing Agent

Xc: Purchasing File

Laredo Mechanical Industrial Services	
Request a contract extension: <input checked="" type="checkbox"/>	Not request a contract extension: <input type="checkbox"/>
Authorized Signature: 	
Print Name: JUAN ENRIQUE GONZALEZ	
Date: 6/1/2025	

City of Laredo – Purchasing Division, 5512 Thomas Ave., Laredo, Texas 78041
Phone (956)794-1733 Fax 790-1805



**City of Laredo
Purchasing Division**

LETTER OF AWARD

July 23, 2024

Juan Gomez
Laredo Mechanical Industrial Services, Inc.
121 Ranch Road 6086 C
Laredo, Texas 78043

Re: FY24-073 – Hydraulic Cylinder Repair/Replacement
Approved by City Council on July 22, 2024

Dear Juan Gomez,

This is to inform you that contract FY24-073 for providing repair and replacement of hydraulic cylinders for the City's heavy equipment fleet was approved by the City Council on July 22, 2024. The term of this contract is for one (1) year with the option to extend for three, additional one (1) year periods upon mutual agreement of the parties.

Statutory Requirement to File Form 1295:

Texas Government Code Section 2252.908 and the Texas Ethics Commission ("TEC") Rules require certain business entities to submit a Form 1295 to certain governmental entities in Texas in connection with certain contracts, including bond purchase agreements that fit within the scope of the law. Failure to submit 1295 within 10 business days can result in cancelation of this contract. I have attached the link for form 1295 which must be completed and submitted electronically to the State of Texas Ethics Commission. https://www.ethics.state.tx.us/whatsnew/FAQ_Form1295.html. You scan and email a copy to pperez@ci.laredo.tx.us

As a reminder compliance with the contract terms are the responsibility of the awarded vendor(s) and the respective City user department(s). If there are any questions regarding this letter of award, please feel free to call me at (956) 794-1731.

Sincerely,

A handwritten signature in black ink, appearing to read 'Jaime Zapata', with a long horizontal flourish extending to the right.

Jaime Zapata
Purchasing Agent

Xc: Purchasing File

City of Laredo

City Council

Meeting Date: 7/22/2024

Consent Agenda 67.

SUBJECT

Consideration to award annual service contract FY24-073 for the repair and replacement of hydraulic cylinders for the City's heavy equipment fleet to the following sole bidder Laredo Mechanical, Laredo, Texas, in an amount up to \$130,000.00. These hydraulic cylinders are found on many pieces of heavy equipment such as backhoes, loaders, and refuse trucks. All repair services will be secured on an as needed basis. The term of this contract shall be for a period of one year beginning as of the date of its execution and is contingent upon the availability of appropriated funds. This contract has three extension periods. Funding is available in the Fleet Management Fund.

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

The City received one (1) bid through Cit-E-Bid for awarding an annual contract for the repair and replacement of hydraulic cylinders for the City's heavy equipment. Most of the repairs will be based on an hourly rate with the repairs parts provided by the City. The term of this contract shall be for a period of one (1) year beginning as of the date of its execution. This contract has three extension periods. This contract shall be the responsibility of and administered by the Fleet Department.

Bid Summary:

Description	Labor Rate/Cylinder Repair
Dump Trucks 12-17 CY	\$ 50.00
Backhoes 14,000 lb. to 16,000 lb.	\$ 50.00
Wheel Loaders 12,000 lb. to 18,000 lb.	\$ 50.00
Motor Graders 40,000 lb. to OP W.T.	\$ 50.00
Excavators 55,000 lb. to OP W.T.	\$ 50.00
Dozers 85,000 lb. to OP W.T.	\$ 50.00
Tractor Mowers/Batwing/Shredder	\$ 50.00

A complete bid tabulation is attached.

COMMITTEE RECOMMENDATION

None.

STAFF RECOMMENDATION

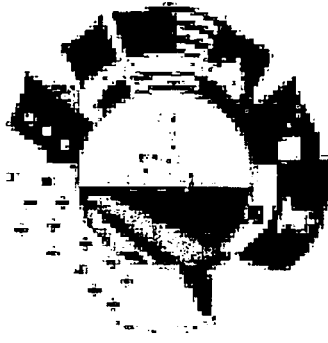
It is recommended that this contract be approved.

Fiscal Impact

Fiscal Year: 2024.
Budgeted Y/N?: Yes.
Source of Funds: Fleet Management Fund.
Account #: 593-2810-533-2071.
Change Order: Exceeds 25% Y/N: No.

FINANCIAL IMPACT:

The purpose of this contract is to establish prices for the commodities or services needed should the City need to purchase these commodities or services. The City's obligation for performance of an annual supply contract beyond the current fiscal year is contingent upon the availability of appropriated funds from which payments for the contract purchases can be made. If no funds are appropriated and budgeted during the next fiscal year, this contract becomes null and void.



Laredo

T E X A S

FY24-073

Laredo Mechanical Industrial Services, Inc.

Supplier Response

Event Information

Number: FY24-073
Title: FY24-073 Hydraulic Cylinder Repair/Replacement - Fleet Department
Type: Request For Bid
Issue Date: 5/16/2024
Deadline: 6/6/2024 05:00 PM (CT)

Contact Information

Contact: Enrique Aldape III
Address: Purchasing Division
Public Works Service Center
5512 Thomas Avenue
Laredo, TX 78041
Phone: 956 (794) 1733
Fax: 956 (790) 1805
Email: ealdape@ci.laredo.tx.us

Laredo Mechanical Industrial Services, Inc. Information

Address: 7305 San Dario Ave
#307
Laredo, TX 78045
Phone: (956) 568-5354
Email: laredomechanical@yahoo.com

By submitting your response, you certify that you are authorized to represent and bind your company.

Angelica Arispe _____ aarispe9@ci.laredo.tx.us
Signature _____ Email
Submitted at 6/5/2024 02:00:00 PM (CT)

Supplier Note

Manual Bid

Bid Attributes

1 Questionnaire Description
"The undersigned affirms that they are duly authorized to execute this contract, that this company, corporation, firm, partnership or individual has not prepared this bid in collusion with any other bidder, and that the contents of this bid as to prices, terms or conditions of said bid have not been communicated by the undersigned nor by any employee or agent to any other person engaged in this type of business prior to the official opening of this request. By submitting this bid the vendor agrees to the City of Laredo specifications and all terms and conditions stipulated in the proposed document. That I, individually and on behalf of the business named in this Business Questionnaire, do by my signature below, certify that the information provided in the questionnaire is true and correct".
2 Name of Offeror (Business) and Name & Phone Number of Authorized Person to sign bid
No response
3 State how long under has the business been in its present business name
No response
4 If applicable, list all other names under which the Business identified above operated in the last five years
No response
5 Questions Part 2
1) Is the Business in arrears in any contract or debt? 2) Has the Business been a defaulter, as a principal, surety, or otherwise? 3) Have liquidated damages or penalty provisions been assessed against the Business for failure to complete work on time or any other reason?
No response
6 State how long under has the business been in its present business name
No response

7	If applicable, list all other names under which the Business identified above operated in the last five years
	<i>No response</i>

8	State if the Company is a certified minority business enterprise
	The below information is requested for statistical and tracking purposes only and will not influence the amount of expenditure the City will make with any given company.

9	Questions Part 1
	1) Is any litigation pending against the Business? 2) Has the Business ever been declared "not responsive" for the purpose of any governmental agency contract award? 3) Has the Business been debarred, suspended, proposed for debarment, suspended, proposed for debarment, declared ineligible, voluntarily excluded, or other wise disqualified from bidding, proposing or contracting? 4) Are there any proceedings, pending relating to the Business responsibility, debarment, suspension, voluntary exclusion, or qualification to receive a public contract? 5) Has the government or other public entity requested or required enforcement of any of its rights under a surety agreement on the basis of default or in lieu of declaring the Business at default?
	<i>No response</i>

10	Questions Part 2
	1) Is the Business in arrears in any contract or debt? 2) Has the Business been a defaulter, as a principal, surety, or otherwise? 3) Have liquidated damages or penalty provisions been assessed against the Business for failure to complete work on time or any other reason?
	<i>No response</i>

11	State if the Company is a certified minority business enterprise
	Historically Underutilized Business (HUB)

12	Conflict of Interest Disclosure
	A form disclosing potential conflicts of interest involving counties, cities, and other local government entities may be required to be filed after January 1, 2006, by vendors or potential vendors to local government entities. The new requirements are set forth in Chapter 176 of the Texas Local Government Code added by H.B. No. 914 of the last Texas Legislature. Companies and individuals who contract, or seek to contract, with the City of Laredo and its agents may be required to file with the City Secretary's Office, 1110 Houston Street, Laredo, Texas 78040, a Conflict of Interest Questionnaire that describes affiliations or business relationships with the City of Laredo officers, or certain family members or business relationships of the City of Laredo officer, with which such persons do business, or any gifts in an amount of \$250.00 or more to the listed City of Laredo officer (s) or certain family members. The new requirements are in addition to any other disclosures required by law. The dates for filing disclosure statements begin on January 1, 2006. A violation of the filing requirements is a Class C misdemeanor. The Conflict of Interest Questionnaire (Form CIQ) may be downloaded from http://www.ethics.state.tx.us/whatsnew/conflict forms.htm . The City of Laredo officials who come within Chapter 176 of the Local Government Code relating to filing of Conflicts of Interest Questionnaire (Form CIQ) include: 1. Mayor 2. Council Members 3. City Manager 4. Members of the Fire Fighters and Police Officers Civil Service Commission. 5. Members of the Planning and Zoning Commission. 6. Members of the Board of Adjustments 7. Members of the Building Standards Board 8. Parks & Leisure Advisory Committee Member, 9. Historic District Land Board Member, 10. Ethics Commission Board Member, 11. The Board of Commissioners of the Laredo Housing Authority 12. The Executive Director of the Laredo Housing Authority 13. Any other City of Laredo decision making board member If additional information is needed please contact Enrique Aldape III, Interim Purchasing Agent at 956-794-1733.

1 3	<p>Conflict of Interest Questionnaire Form CIQ</p> <p>For vendor or other person doing business with local governmental entity. This questionnaire reflects changes made to the law by H.B. 1491, 80th Leg., Regular Session. This questionnaire is being filed in accordance with Chapter 176, Local Government Code by a person who has a business relationship as defined by Section 176.001(1-a) with a local governmental entity and the person meets requirements under Section 176.006(a). By law this questionnaire must be filed with the records administrator of the local governmental entity not later than the 7th business day after the date the person becomes aware of facts that require the statement to be filed. See Section 176.006, Local Government Code. A person commits an offense if the person knowingly violates Section 176.006, Local Government Code. An offense under this section is a Class C misdemeanor.</p>
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1 4	<p>Conflict of Interest Questionnaire</p> <p>Vendor is required to submit Conflict of Interest Form for bid to be considered complete. Have you submitted your completed Conflict of Interest Form with your response?</p> <p>Yes <input type="checkbox"/></p>
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1 5	<p>Construction Contract</p> <p>Construction Contract Requires Acknowledgement</p> <p><input type="checkbox"/> Acknowledge</p>
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1 6	<p>Disclosure Form</p> <p>For details on use of this form, see Section 4.01 of the City's Ethics Code.</p>
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1 7	<p>This is a</p> <p><input type="checkbox"/> New Submission</p>
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1 8	<p>Question 1. Name of person submitting this disclosure form</p> <p>Please include First Name, Middle Initial, Last Name and Suffix (if applicable)</p> <p><input type="text" value="No response"/></p>
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1 9	<p>Question 2. Contract Information</p> <p>Please include the following: a)Contract or Project Name b)Originating Department</p> <p><input type="text" value="No response"/></p>
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2 0	<p>Question 3. Name of individual(s) or entity(ies) seeking a contract with the city (i.e. parties to the contract)</p> <p><input type="text" value="No response"/></p>
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2 1	<p>Question 4. List any business entity(ies) that is a partner, parent, subsidiary business entity(ies) of the individual or entity listed in Question 3.</p> <p><input type="text" value="Not Applicable"/></p>
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2 2	<p>Question 4. List any business entity(ies) that is a partner, parent, subsidiary business entity(ies) of the individual or entity listed in Question 3</p> <p>If you selected Not Applicable on Question 4, skip this section. If it applies to you, please list the name of partner, parent, or subsidiary business entity(ies) in this section.</p> <p><input type="text" value="No response"/></p>
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2 3	<p>Question 5. List any individuals or entities that will be subcontractors on this contract</p> <p><input type="text" value="Not Applicable"/></p>
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24 **Question 5. List any individuals or entities that will be subcontractors on this contract**
If you selected Not Applicable on Question 5, please skip this section. If it applies to you, please list subcontractors in this section.

25 **Question 6. List any attorneys, lobbyists, or consultants that have been retained to assist in seeking this contract**

26 **Question 6. List any attorneys, lobbyists, or consultants that have been retained to assist in seeking this contract**
If selected Not Applicable on question 6, please skip this section. If it applies to you, please list attorneys, lobbyists, or consultants that have been retained to assist in seeking this contract.

27 **Question 7. Disclosure of political contributions**
List any campaign or officeholder contributions made by the following individuals in the past 24 months totaling more than \$100 to any current member of City Council, former member of City Council, any candidate for City Council, or to any political action committee that contributes to City Council elections. a) Any individual seeking contract with the city (Question 3) b) Any owner or officer of entity seeking contract with the city (Question 3) c) Any individual or owner or officer of any entity listed above as partner, parent, or subsidiary business (Question 4) d) Any subcontractor or owner/office of subcontracting entity for the contract (Question 5) e) The spouse of any individual listed in response to (a) through (d) above f) Any attorney, lobbyist, or consultant retained to assist in seeking contract (Question 6)

28 **Question 7. Disclosure of political contributions**
If you selected Not Applicable on question 7, please skip this section. If it applies to you, please list all contributors in this section.

29 **Updates on contributions required**
Information regarding contributions must be updated by submission of a revised form from the date of the submission of this form, up through the time City Council takes action on the contracts identified in response to Question 2 and continuing for 30 calendar days after the contract has been awarded.

30 **Question 8. Disclosure of Conflict of Interest**
Are you aware of any fact(s) with regard to this contract that would raise a "conflict of interest" issue under Section 2.01 of the Ethics Code for any City Council member or board/commission member that has not or will not be raised by these city officials?

31 **8. Disclosure of Conflict of Interest**
If you selected I am aware of conflict of interest in question 8, please list them in this section.

3 2	<p>Question 9. Updates Required</p> <p>I understand that this form must be updated by submission of a revised form if there is any change in the information before the discretionary contract is the subject of action by the City Council, and no later than five (5) business days after any changes has occurred, whichever comes first. This include information about political contributions made after the initial submission and up until thirty (30) calendar days after the contract has been awarded.</p> <p><input type="checkbox"/> I have read and understand this section</p>
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3 3	<p>Question 10. No Contact with City Officials or Staff during Contract Evaluation</p> <p>I understand that a person or entity who seeks or applies for city contract or any other person acting on behalf of that person or entity is prohibited from contacting city officials and employees regarding the contract after a Request for Proposal (RFP), Request for Qualifications (RFQ), or other solicitation has been released. This no-contact provision shall conclude when the contract is posted as a City of Laredo Council agenda item. If contact is required with city officials or employees, the contact shall take place in accordance with procedures incorporated into the solicitation documents. Violation of this prohibited contacts provision set out in Section 2.09 of the Ethics Code by respondents or their agents may lead to disqualification of their offer from consideration.</p> <p><input type="checkbox"/> I have read and understand this section</p>
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3 4	<p>Question 11. Conflict of Interest Questionnaire (CIQ)</p> <p>Chapter 176 of the Local Government Code requires contractor and vendors to submit a Conflict of Interest Form (CIQ) to the Office the of City Secretary.</p> <p><input type="checkbox"/> I have acknowledge that I have been advised</p>
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3 5	<p>Question 11. Oath</p> <p>Please complete in this section the required information for your company: 1) Name 2) Title 3) Company or DBA 4) Date</p> <p><input type="text" value="No response"/></p>
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3 6	<p>Question 12. Oath</p> <p>I swear or affirm that the statements contained in this Discretionary Contracts Disclosure Form, including any attachments, to the best of my knowledge and belief are true, correct, and complete.</p> <p><input type="checkbox"/> I swear or affirm information is correct</p>
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3 7	<p>Company Information Questionnaire</p> <p><input type="checkbox"/> I have completed this section</p>
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3 8	<p>Conflict of Interest Questionnaire</p> <p><input type="checkbox"/> I have completed this section</p>
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3 9	<p>Non-Collusive Affidavit</p> <p><input type="checkbox"/> I have completed and included this form</p>
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4 0	<p>Discretionary Contracts Disclosure</p> <p><input type="checkbox"/> I have completed this section</p>
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4 **Certificate of Interested Parties (Form 1295)**

1 In an effort to comply with state law the certificate of interested parties must be filled out once a vendor has been granted a contract. All of this information can be found on the State of Texas website, please use this link provided, <https://www.ethics.state.tx.us/tec/1295-Info.htm>. Implementation of House Bill 1295 Certificate of Interested Parties (Form 1295): In 2015, the Texas Legislature adopted House Bill 1295, which added section 2252.908 of the Government Code. The law states that a governmental entity or state agency may not enter into certain contracts with a business entity unless the business entity submits a disclosure of interested parties to the governmental entity or state agency at the time the business entity submits the signed contract to the governmental entity or state agency. The law applies only to a contract of a governmental entity or state agency that either (1) requires an action or vote by the governing body of the entity or agency before the contract may be signed or (2) has a value of at least \$1 million. The disclosure requirement applies to a contract entered into on or after January 1, 2016. The Texas Ethics Commission was required to adopt rules necessary to implement that law, prescribe the disclosure of interested parties form, and post a copy of the form on the commission's website. The commission adopted the Certificate of Interested Parties form (Form 1295) on October 5, 2015. The commission also adopted new rules (Chapter 46) on November 30, 2015, to implement the law. The commission does not have any additional authority to enforce or interpret House Bill 1295. Filing Process: Starting on January 1, 2016, the commission will make available on its website a new filing application that must be used to file Form 1295. A business entity must use the application to enter the required information on Form 1295 and print a copy of the completed form, which will include a certification of filing that will contain a unique certification number. An authorized agent of the business entity must sign the printed copy of the form and have the form notarized. The completed Form 1295 with the certification of filing must be filed with the governmental body or state agency with which the business entity is entering into the contract. The governmental entity or state agency must notify the commission, using the commission's filing application, of the receipt of the filed Form 1295 with the certification of filing not later than the 30th day after the date the contract binds all parties to the contract. The commission will post the completed Form 1295 to its website within seven business days after receiving notice from the governmental entity or state agency. Information regarding how to use the filing application will be available on this site starting on January 1, 2016. Additional Information: HB 1295 Certificate of Interested Parties (Form 1295) New Chapter 46, Ethics Commission Rules: 46.1. Application 46.3. Definitions 46.5. Disclosure of Interested Parties Form In order to comply with state law the Certificate of Interested Parties (Form 1295) must be submitted to the Texas Ethics Commission within 10 days upon receiving notice of award of contract. This form must be submitted within the allotted time otherwise this may result in the cancellation of the contract.

I will comply with this form

4 **Terms and Conditions for Request for Bids**

2 **TERMS AND CONDITIONS OF INVITATIONS FOR BIDS GENERAL CONDITIONS** Bidders are required to submit bids upon the following expressed conditions:
(a) Bidders shall thoroughly examine the specifications, schedule instructions and other contract documents. Once the award has been made, failure to read all specifications, instructions, and the contract documents, of the City shall not be cause to alter the original contract or for a vendor to requests additional compensation.
(b) Bidders shall make all investigations necessary to thoroughly inform themselves regarding facilities and locations for delivery of materials and equipment as required by the bid conditions. No pleas of ignorance by the bidder of conditions that exist or that may hereafter exist as a result of failure or omission on the part of the bidder to make the necessary examinations and investigations, or failure to fulfill in every detail the requirements of the contract documents, will be accepted as a basis for varying the requirements of the City or the compensation to the vendor.
(c) Bidders are advised that City contracts are subject to the all legal requirements provided for in the City Charter and/or applicable City Ordinances, State and Federal Statutes.
1.0 PREPARATION OF BIDS Bids will be prepared in accordance with the following:
(a) All information required by the bid form shall be furnished. For hand delivered submittals only, the vendor shall print or type the business name and manually sign the schedule. For electronic submittals, this information shall be submitted electronically on Cit-E-Bid system. If vendor submits both manual and electronic bids, the electronic bid will replace the manual bid and shall be considered the only valid bid.
(b) Unit prices shall be shown and where there is an error in extension of price, the unit price shall govern.
(c) Alternate bids will not be considered unless authorized by the invitation for bids or any applicable addendum
(d) Proposed delivery time must be shown and shall include Sundays and holidays
(e) Bidders will not include Federal taxes or State of Texas limited sales tax in bid prices since the City of Laredo is exempt from payment of such taxes. An exemption certificate will be furnished upon request.
(f) The City shall pay no costs or other amounts incurred by any entity in responding to this RFB, or as a result of issuance of this RFB.

2.0 DESCRIPTION OF SUPPLIES Any catalog or manufacturer's reference used in describing an item is merely descriptive, and not restrictive, unless otherwise noted, and is used only to indicate type and quality of material. Bidder is required to state exactly what they intend to furnish; otherwise bidder shall be required to furnish the items as specified.

3.0 SUBMISSION OF BIDS

(a) Bids and changes thereto shall be enclosed in sealed envelopes, properly addressed and to include the date and hour of the bid opening and the material or services bid on shall be typed or written on the face of the envelope. If submitted electronically, this information shall be submitted electronically on Cit-E-Bid system by going to the following link: <https://cityoflaredo.ionwave.net/Login.aspx>

(b) Unless otherwise noted on the Notice to Bidders cover sheet, all hand delivered bids must be submitted to the Office of the City Secretary, City Hall, 1110 Houston Street.

(c) Bids forms can be downloaded and printed through Cit-E-Bid. **Mailed Bids (i.e. USPS, FedEx, UPS), telegraphic, email or facsimile bids will not be considered.**

(d) Samples, when required, must be submitted within the time specified, at no expense to the City of Laredo. If not destroyed or used up during testing, samples will be returned upon request at the bidder's expense.

(e) Bids must be valid for a minimum period of sixty (60) days. An extension to hold bid pricing for actual quantity bids may be requested by the City.

4.0 REJECTION OF BIDS The City may reject a bid if:

(a) Bidder misstates or conceals any material fact in the bid.

(b) Bid does not strictly conform to the law or the requirements of the bid.

(c) Bidder is in arrears on existing contracts or taxes with the City of Laredo.

(d) If bids are conditional. Bidder may qualify their bid for acceptance by the City on an "ALL OR NONE" basis. An "ALL OR NONE" basis bid must include all items in the specifications.

(e) In the event that a bidder is delinquent in the payment of City taxes on the day the bids are opened, including state and local taxes, such fact shall constitute grounds for rejection of the bid or cancellation of the contract. A bidder is considered delinquent, regardless of any contract or agreed judgments to pay such delinquent taxes.

(f) No bid submitted herein shall be considered unless the bidder warrants that, upon execution of a contract with the City of Laredo, bidder will not engage in employment practices such as discriminating against employees because of race, color, sex, creed, or national origin. Bidder will submit such reports as the City may therefore require assuring compliance with said practices.

(g) The City may reject all bids or any part of a bid whenever it is deemed necessary.

(h) The City may waive any minor informalities or irregularities in any bid.

5.0 WITHDRAWAL OF BIDS Bids may not be withdrawn after they have been publicly opened, unless approved by the City Council.

6.0 LATE BIDS OR MODIFICATIONS Bids and modifications received after the time set for the bid deadline will not be considered. Late bids will be returned to the bidder unopened.

7.0 CLARIFICATION OR OBJECTION TO BID SPECIFICATIONS If any person contemplating submitting a bid for this contract is in doubt as to the true meaning of the specifications, or other bid documents or any part thereof, they may submit to the City Purchasing Agent on or before seven (7) calendar days prior to the scheduled bid deadline a request for clarification which must be submitted in writing through email seven (7) days prior to the scheduled date for opening to: CITY OF LAREDO PURCHASING AGENT Enrique Aldape III 5512 Thomas Ave, Laredo, TX 78041 ealdape@ci.laredo.tx.us or Questions & Responses section on Cit-E-Bid system. Any vendor submitting questions shall make reference to a specific bid number, section, page and item of this solicitation. In case there are changes, additions, and/or edits to the original scope of work, and addendum will be issued by the purchasing agent to all vendors through Cit-E-Bid system under Questions and Responses section to clarify any inquiries. The City will not be responsible for any other explanations or interpretations of the proposed bid made or given prior to the bid opening or award of contract.

(a) Protest Procedures: The purpose of this procedure is to establish procedures whereby a vendor may protest specific procurement actions by the City of Laredo. The following sequence of activities must take place in filing a protest:

(b) To be performed by protesting vendor: Within ten (10) days prior to the time that the City Council considers the recommendation of the City's Purchasing Officer, the protesting vendor must provide written protest to the City Purchasing Officer. Such protest must include specific reasons for the protest.

(c) To be performed by City's Purchasing Officer: Shall review the records of procurement and determine legitimacy and procedural correctness. With five (5) working days, the City Purchasing Officer shall provide written response to the protesting vendor of the decision.

(d) If the protesting vendor is not satisfied with the decision of the City Purchasing Officer, such protesting vendor may appeal to the City Manager of the City of Laredo. If the protesting vendor cannot resolve the issue with the City Manager, he shall be entitled to address his concerns when the City Council of the City of Laredo considers the awarding of the contract. Such appeal may be made only after exhausting all administrative procedures through the City Manager. All protests must be duly submitted via Certified Mail to: City of Laredo - Purchasing Agent 5512

Thomas Ave. Laredo, Texas 78041.

8.0 BIDDER DISCOUNTS

(a) Percent discounts within a certain period of time will be accepted but cannot be used in the bid evaluation. The period of the discount offered should be sufficient to permit payments within such period in the regular course of business by the City of Laredo.

(b) In connection with any discounts offered, time will be computed from the date of receipt of supplies or service or from the date a correct invoice is received, whichever is the later date. Payment is deemed to be made on the date the check is mailed.

9.0 INTENT OF CONTRACT

a) ANNUAL SUPPLY/SERVICE CONTRACTS: This contract does not commit the City to purchase the quantities indicated. The quantities are estimates and are based on the best available information. The purpose of this contract is to establish prices for the commodities or services needed, should the City need to purchase these commodities or services. Since the quantities are estimates, the City may purchase more than the estimated quantities, less than the estimated quantities, or not purchase any quantities at all. The needs of the City shall govern the amount that is purchased. All annual contracts shall bound by the terms of the bid documents. In the event a new contract cannot be executed on the anniversary date of the original term or renewal term, the contract may be renewed month to month until a new contract is executed. The City's obligation for performance of an annual supply contract beyond the current fiscal year is contingent upon the availability of appropriated funds from which payments for the contract purchases can be made. If no funds are appropriated and budgeted during the next fiscal year, this contract becomes null and void.

10.0 AWARD OF CONTRACT

(a) This contract will be awarded to the **(lowest responsive responsible bidder)**, in accordance to the provisions of Chapters 252 and 271 of the State of Texas – Local Government Code.

Definition of lowest responsive and responsible bidder as per the Institute for Public Procurement is:

"Lowest Responsive and Responsible Bidder: The bidder who fully complied with all of the bid requirements and whose past performance, reputation, and financial capability is deemed acceptable, and who has offered the most advantageous pricing or cost benefit, based on the criteria stipulated in the bid documents."

(b) The City reserves the right to accept any item or group of items in the bid specifications, unless the bidder qualifies it's bid by specific limitation. Proof: The bidder shall bear the burden of proof of compliance with the City of Laredo specifications.

(c) A written award of acceptance (a duly approved purchase order or Letter of Award) furnished by the City to the successful bidder results in a binding contract without further action by either party. These Terms and Conditions shall be the basis and governing document of the binding contract.

(d) A duly authorize purchase order number shall reference item/services description, item number, quantity and price. Invoices shall reference the assign purchase order number to avoid any duplication (2 CFR 200.318 (d)).

(e) Prices must be quoted F.O.B. Destination, Laredo, Texas, unless otherwise specified in the invitation to bid. The place of delivery shall be that set forth in the bid specifications and/or purchase order.

(f) Title & Risk of Loss: The title and risk of loss of goods shall not pass to the City of Laredo until the City actually receives and takes possession of the goods at the point or points of delivery. The terms of this agreement is "no arrival, no sale".

(g) Delivery time and prompt payment discounts will be considered in breaking ties. In the event of a tie bid, the successful bidder will be determined by choosing lots at the City Council meeting chambers.

(h) The City of Laredo shall give written notice to the contractor (supplier) if any of the following conditions exist:

1. Contractor does not provide materials in compliance with specifications and/or within the time schedule specified in bid.

2. Contractor neglects or refuses to remove materials or equipment which have been rejected by the City of Laredo if found not to comply with the specifications.

3. The contractor makes an unauthorized assignment for the benefit of any contractor.

Upon receiving written notification from the City that one of the above conditions has occurred, the contractor must remedy the problem within ten (10) calendar days, to the complete satisfaction of the City, or the contract will be immediately canceled.

4. Contract terms are the responsibility of the awarded vendor(s) and the respective City user department(s).

11.0 ENTIRE AGREEMENT

(a) All covenants, conditions and agreement contained in the solicitation, are hereby made part of the Agreement to the same extent and with the force as is fully set forth herein. If and to the extent of this Agreement and the terms of this solicitation and supplier response conflict Terms & Conditions of this solicitation shall control.

12.0 PAYMENT & INVOICING

(a) All invoices to the City of Laredo have a 30 day term from receipt of supplies or completion of services.

(b) Discount terms will be computed from the date of receipt and acceptance of supplies or services. Payment shall be deemed to be made from that date.

(c) All invoices must show the purchase order number and invoices shall be legible. Items billed on invoices should be specific as to applicable stock, manufacturer catalog or part number. All items must show unit prices. If prices are based on discounts from list, then list prices must appear on bid schedule. All invoices shall be mailed to the Accounts Payable Office, City Hall, and PO. Box 210, Laredo, Texas 78042.

(d) The City of Laredo offers electronic funds transfer (ETF) payments in lieu of check payment when a vendor has filled out an Electronic Funds Transfer Authorization Form issued by the City of Laredo or upon request from the vendor. This ensures prompt payment directly deposited to a bank account. The estimated payment time is up fifteen (15) days from the date payment is processed. (e) For any inquires on payment status or general billing questions please contact: Jorge J. Jolly, Accounts Payable Manager 956-791-7328 jjolly@ci.laredo.tx.us 1110 Houston St. Laredo, TX 78040.

13.0 In accordance to State of Texas, the City of Laredo follows State practices when awarding any and all competitive solicitations:

TEXAS ENGINEERING AND LAND SURVEYING PRACTICE ACTS AND RULES CONCERNING PRACTICE AND LICENSURE

OCCUPATIONS CODE TITLE 6. REGULATION OF ENGINEERING, ARCHITECTURE, LAND SURVEYING, AND RELATED PRACTICES SUBTITLE A. REGULATION OF ENGINEERING AND RELATED PRACTICES CHAPTER 1001. TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS

CHAPTER 137: COMPLIANCE AND PROFESSIONALISM

SUBCHAPTER C: PROFESSIONAL CONDUCT AND ETHICS

§137.53 ENGINEER STANDARDS OF COMPLIANCE WITH PROFESSIONAL SERVICES PROCUREMENT ACT

(a) A licensed engineer shall not submit or request, orally or in writing, a competitive bid to perform professional engineering services for a governmental entity unless specifically authorized by state law and shall report to the board any requests from governmental entities and/or their representatives that request a bid or cost and/or pricing information or any other information from which pricing or cost can be derived prior to selection based on demonstrated competence and qualifications to perform the services. (b) For the purposes of this section, competitive bidding to perform engineering services includes, but is not limited to, the submission of any monetary cost information in the initial step of selecting qualified engineers.

Cost information or other information from which cost can be derived must not be submitted until the second step of negotiating a contract at a fair and reasonable cost. (c) This section does not prohibit competitive bidding in the private sector. Source Note: The provisions of this §137.53 adopted to be effective May 20, 2004, 29 TexReg 4878; amended to be effective June 4, 2007, 32 TexReg 2996.

I Agree to the Terms and Conditions

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3

Insurance Terms and Conditions

INSURANCE REQUIREMENTS If and when applicable or required by the contract, the successful bidder(s) shall furnish the City with original copies of valid insurance policies herein required upon execution of the contract and shall maintain said policies in full force and effect at all times throughout the term of this contract.

(a) Commercial General Liability insurance at minimum combined single limits of \$1,000,000 per-occurrence and \$2,000,000 general aggregate for bodily injury and property damage, which coverage shall include products/completed operations (\$1,000,000 products/completed operations aggregate) and XCU (Explosion, Collapse, Underground) hazards. Coverage must be written on an occurrence form. Contractual Liability must be maintained covering the Contractors obligations contained in the contract. The general aggregate limit must be at least two (2) times the each occurrence limit.

(b) Workers Compensation insurance at statutory limits, including Employers Liability coverage a minimum limits of \$1,000,000 each-occurrence each accident/\$1,000,000 by disease each-occurrence/\$1,000,000 by disease aggregate.

(c) Commercial Automobile Liability insurance at minimum combined single limits of \$1,000,000 per-occurrence for bodily injury and property damage, including owned, non-owned, and hired car coverage.

(d) Professional Liability, Errors & Omissions coverage, with minimum limits of \$1,000,000 per claim/ \$2,000,000 annual aggregate. This coverage must be maintained for at least two years after the project is completed. If coverage is written on a claims-made basis, a policy retroactive date equivalent to the inception date of the contract (or earlier) must be maintained during the full term of the contract.

(e) Any Subcontractor(s) hired by the Contractor shall maintain insurance coverage equal to that required of the Contractor. It is the responsibility of the Contractor to assure compliance with this provision. The City of Laredo accepts no responsibility arising from the conduct, or lack of conduct, of the Subcontractor.

(f) A Comprehensive General Liability insurance form may be used in lieu of a Commercial General Liability insurance form. In this event, coverage must be written on an occurrence basis, at limits of \$1,000,000 each-occurrence, combined single limit, and coverage must include a broad form Comprehensive General Liability Endorsement, products/completed operations, XCU hazards, and contractual liability.

(g) With reference to the foregoing insurance requirement, Contractor shall specifically endorse applicable insurance policies as follows:

1. The City of Laredo shall be named as an additional insured with respect to General Liability and Automobile Liability.

2. All liability policies shall contain no cross liability exclusions or insured versus insured restrictions.

3. A waiver of subrogation in favor of the City of Laredo shall be contained in the Workers compensation, and all liability policies.

4. All insurance policies shall be endorsed to require the insurer to immediately notify The City of Laredo of any material change in the insurance coverage.

5. All insurance policies shall be endorsed to the effect that The City of Laredo will receive at least sixty- (60) days' notice prior to cancellation or non-renewal of the insurance.

6. All insurance policies, which name The City of Laredo as an additional insured, must be endorsed to read as primary coverage regardless of the application of other insurance.

7. Required limits may be satisfied by any combination of primary and umbrella liability insurances.

8. Contractor may maintain reasonable and customary deductibles, subject to approval by The City of Laredo.

9. Insurance must be purchased from insurers that are financially acceptable to the City of Laredo. Insurer must be rated A- or greater by AM Best Rating with an admitted carrier licensed by the Texas Department of Insurance.

(h) All insurance must be written on forms filed with and approved by the Texas Department of Insurance.

Certificates of Insurance shall be prepared and executed by the insurance company or its authorized agent and shall contain provisions representing and warranting the following:

1. Sets forth all endorsements and insurance coverage's according to requirements and instructions contained herein.

2. Shall specifically set forth the notice-of-cancellation or termination provisions to The City of Laredo.

(i) Upon request, Contractor shall furnish The City of Laredo with certified copies of all insurance policies.

(j) Certificates of insurance are always subject to review and approval from the City of Laredo Risk Management.

(k) Specialty certificates and licenses must be inspected and verified for accuracy and validity before award of contract.

(l) Awarded vendor is required to maintain current and active all: certifications, licenses, permits and/or insurance coverages, required to perform work, throughout the duration of this project/contract.

I agree my insurance meets minimum requirements

4 **Disqualification & Debarment Certification**

4 **DISQUALIFICATION & DEBARMENT CERTIFICATION** By submitting this request for bids, proposal or statement of qualifications, the firm certifies that it is not currently debarred or eligible for debarment from the City of Laredo pursuant to **Ordinance No. 2017-O-098**, and that it is not an agent of a person or entity that is currently debarred from receiving contracts from any political subdivision or agency of the State of Texas. The City will further verify debarment status through use of the federal website SAM.gov. The contract parties are further prohibited from making any award at any tier to any party that is debarred or suspended or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549. "Debarment and Suspension."

By executing this agreement, the Engineer certifies that it is not currently debarred, suspended, or otherwise excluded from or ineligible for participation in Federal Assistance Programs under Executive Order 12549. The parties to this contract shall require any party to a subcontract or purchase order awarded under this contract to certify its eligibility to receive Federal funds and, when requested by the City, to furnish a copy of the certification. Additionally, in accordance with Chapter 2270, Texas Government Code, a governmental entity may not enter into a contract with a company for goods or services unless the contract contains a written verification from the company that it: (1) does not boycott Israel; and (2) will not boycott Israel during the term of the contract.

The signatory executing this contract on behalf of company verifies that the company does not boycott Israel and will not boycott Israel during the term of this contract. S.B. 252 (V. Taylor/S. Davis) is a bill relating to government contracts with terrorists. The bill provides that: (1) a governmental entity, including a city, may not enter into a governmental contract with a company that is identified on a list prepared and maintained by the comptroller and that does business with Iran, Sudan, or a foreign terrorist organization; and (2) a company that the United States government affirmatively declares to be excluded from its federal sanctions regime relating to Sudan, its federal sanctions regime relating to Iran, or any federal sanctions regime relating to a foreign terrorist organization is not subject to the contract prohibition under the bill.

I certify to the terms and conditions

4 **Contract Requirements**

5 **1. CODE OF ETHICS ORDINANCE** Vendors doing business with the City of Laredo shall comply with all provisions of the City of Laredo's Code of Ethics (Ordinance, as amended). Vendors may be required to participate in Code of Ethics trainings.

1.2 PROHIBITED CONTACTS DURING CONTRACT SOLICITATION PERIOD A person or entity who seeks or applies for a city contract or any other person acting on behalf of such person or entity, is prohibited from contacting city officials and employees regarding such a contract after a Formal Bid, Request for Proposal (RFP), Request for Qualification (RFQ) or other solicitation has been released. This no-contact provision shall conclude when the contract is awarded. The City of Laredo reserves the right to contact respondents and may require such contact as part of the evaluation process (for presentation, clarification) of bids and/or negotiation of RFP submittal(s) prior to the award of contract. If contact is required, such contact will be done in accordance with provisions of Chapter 252 and 271 of the Texas Local Government Code and procedures incorporated into the solicitation document. Violation of this provision by respondents or their agents may lead to disqualification of their offer from consideration.

1.3 NON-COLLUSIVE AFFIDAVIT (Form can be downloaded and submitted through Cit-E-Bid system) The City may require that vendors submit a Non-Collusive Affidavit. The vendor will be required to state that the party submitting a proposal or bid, that such proposal or bid is genuine and not collusive or sham; that said Bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any Bidder or Person, to put in a sham bid or to refrain from bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference, with any person, to fix the bid price or affiant or of any other Bidder, or to fix any overhead, profit or cost element of said bid price, or of that of any other Bidder, or to secure any advantage against the City of Laredo or any person interested in the proposed contract; and that all statements in said proposal or bid are true.

1.4 CONTRACT DISCLOSURE FORMS (This is submitted through Cit-E-Bid system) The City of Laredo requires the following forms to be completed as a part of this bid for consideration; 1. Company Information Questionnaire, 2. Signed Price Schedule, 3. Conflict of Interest Questionnaire, 4. Non-Collusive Affidavit 5. Discretionary Contracts Disclosure 6. Certificate of Interested Parties (Form 1295) ****Upon Award of RFP Only****

1.5 CONFLICT OF INTEREST FORMS (This is submitted through Cit-E-Bid system) Conflict of Interest Disclosure: A form disclosing potential conflicts of interest involving counties, cities, and other local government entities may be required to be filed after January 1, 2006, by vendors or potential vendors to local government entities. The new requirements are set forth in Chapter 176 of the Texas Local Government Code added by H.B. No. 914 of the last Texas Legislature.

1.6 TEXAS ETHICS COMMISSION (Form 1295, Form can be downloaded and submitted through Cit-E-Bid system) Certificate of Interested Parties (Form 1295) Implementation of House Bill 1295: In an effort to comply with state law the certificate of interested parties must be filled out once a vendor has been granted a contract. All of this information can be found on the state of Texas website, please use this link provided, <https://www.ethics.state.tx.us/tec/1295-info.htm>. In 2015, the Texas Legislature adopted House Bill 1295, which added section 2252.908 of the Government Code. The law states that a governmental entity or state agency may not enter into certain contracts with a business entity unless the business entity submits a disclosure of interested parties to the governmental entity or state agency at the time the business entity submits the signed contract to the governmental entity or state agency. The law applies only to a contract of a governmental entity or state agency that either (1) requires an action or vote by the governing body of the entity or agency before the contract may be signed or (2) has a value of at least \$1 million. The disclosure requirement applies to a contract entered into on or after January 1, 2016. In order to comply with state law the Certificate of Interested Parties (Form 1295) must be submitted to the Texas Ethics Commission within 10 days upon receiving notice of award of contract. This form must be submitted within the allotted time otherwise this may result in the cancellation of the contract.

Changes to Form 1295:
Changes to the law requiring certain businesses to file a Form 1295 are in effect for contracts entered into or amended on or after January 1, 2018. The changes exempt businesses from filing a Form 1295 for certain types of contracts and replace the need for a completed Form 1295 to be notarized. Instead, the person filing a 1295 needs to complete an "unsworn declaration."

I have read and understand this section

4 6 **Byrd Anti-Lobbying Amendment (31 U.S.C. 1352)**
Byrd Anti-Lobbying Amendment (31 U.S.C. 1352)
 Contractors that apply or bid for an award exceeding \$100,000 must file the required certification. Each tier certifies to the tier above that it will not and has not used Federal appropriated funds to pay any person or organization for influencing or attempting to influence an officer or employee of any agency, a member of Congress, officer or employee of Congress, or an employee of a member of Congress in connection with obtaining any Federal contract, grant or any other award covered by 31 U.S.C. 1352. Each tier must also disclose any lobbying with non-Federal funds that takes place in connection with obtaining any Federal award. Such disclosures are forwarded from tier to tier up to the non-Federal award.
 I have read and understand this section

4 7 **Ordinance 2018-O-175**
 The City of Laredo has established a local vendor preference ordinance 2018-O-175. All informal and formal Requests for bids for contracts will be evaluated with a 5% preference for local vendors.
 No response

Bid Lines

1 Package Header

Section I: Hydraulic Cylinder Repairs - parts will be provided by the City of Laredo

Quantity: 1 UOM: EA Total: \$350.00

Item Notes:

Package Items

1.1 Dump trucks
 12 - 17 CY capacity

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.2 Backhoes
 14,000lb - 16,000lb OP. WT.

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.3 Wheel Loaders
 12,000lb - 18,000lb OP. WT.

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.4 Motor Graders
 40,000 lb - OP. WT.

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.5 Excavators
 55,000 lb + OP. WT.

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.6 Dozers
 85,000 lb + OP. WT.

Quantity: <u> 1 </u>	UOM: <u> Repair </u>	Labor Rate/Cylinder	Price: \$50.00	Total: \$50.00
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1.7 Tractor Mowers:Batwing:Shredder

Quantity: 1 UOM: Repair Labor Rate/Cylinder Price: Total:

Response Total: \$350.00

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 46.

SUBJECT

A resolution of the City Council of the City of Laredo, Texas, ratifying and authorizing the City Manager to submit an application to the Department of Health and Human Services for the Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention (ADDM) Program Grant, in the total estimated amount of up to \$1,101,500.00, with no match for the City of Laredo Public Health Department, for a total of a one (1) year term, to be effective on January 01, 2027 through December 31, 2027, and further authorizing the City Manager to execute all documents resulting from the award of this grant. Any funding as a result of this application will be appropriated in the Laredo Public Health Department Fund - Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention Program Grant.

PREVIOUS COUNCIL ACTION

None.

BACKGROUND

The City of Laredo Public Health Department wishes to apply for supplemental funding through the Centers for Disease Control and Prevention (CDC). Through this funding opportunity, the City of Laredo Public Health Department will continue surveillance and monitoring activities related to Autism Spectrum Disorder (ASD) and Cerebral Palsy (CP) utilizing standardized ADDM Network methodologies established by the CDC. Program activities include defining surveillance areas, establishing agreements for data access, conducting data collection and quality assurance activities, managing and reporting surveillance data, and participating in CDC directed monitoring and evaluation activities.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.4:** Expand access to specialized services for children and individuals with developmental and special health care needs.
- **Goal 7.3:** Improve maternal, child, and family health outcomes.
- **Policy 7.3.3:** Support early identification, intervention, and monitoring of developmental and neurological conditions.
- **Goal 7.4:** Foster a culture of health through education, research, and public health initiatives.
- **Policy 7.4.3:** Support research, surveillance, and data-driven public health planning to improve health outcomes.
- **Goal 7.5:** Strengthen public health systems and partnerships.

Summary of alignment: This resolution aligns with the Viva Laredo Comprehensive Plan by

strengthening the City's capacity to conduct surveillance, monitoring, and research activities related to autism spectrum disorder and cerebral palsy. Through participation in the CDC's ADDM Network, the program supports early identification, data-driven planning, and improved understanding of developmental disabilities affecting children and families in the community. These efforts advance the Plan's goals of improving child health outcomes, expanding access to specialized services, and strengthening public health research and surveillance systems that guide informed community health decision-making.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approve the Resolution.

Fiscal Impact

Fiscal Year: 2026
Budgeted Y/N?: N/A
Source of Funds: Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention
Account #: N/A
Change Order: Exceeds 25% Y/N: N/A

FINANCIAL IMPACT:

Funds will be appropriated once awarded.



Centers for Disease Control and Prevention (CDC)
Office of Financial Services/Office of Grant Services
Supplemental Funding Guidance
Catalog of Federal Domestic Assistance (CFDA): 93.998
Notice of Funding Opportunity (NOFO) Number: **CDC-RFA-DD23-2301**

**Enhancing Public Health Surveillance of Autism Spectrum Disorder through the Autism and
Developmental Disabilities Monitoring (ADDM) Network
National Center on Birth Defects and Developmental Disabilities (NCBDDD)**

Purpose:

The purpose of this supplement is to announce that additional funding is available to the current recipients of CDC-RFA-DD23-2301: Enhancing Public Health Surveillance of Autism Spectrum Disorder through the Autism and Developmental Disabilities Monitoring (ADDM) Network. The supplement will fund this cooperative agreement for an additional 12 months (01/01/2027 – 12/31/2027) to allow for completion of program activities and extended evaluation of the program.

Eligibility:

The supplement funds are intended only for recipients currently awarded under CDC-RFA-DD23-2301: Enhancing Public Health Surveillance of Autism Spectrum Disorder through the Autism and Developmental Disabilities Monitoring (ADDM) Network.

Anticipated Funding Level:

For this award, the anticipated award amounts for the extended year 4 are:

- Component A: up to \$751,500
- Component B: up to \$350,000
- CP Surveillance: up to \$459,250

Application Submission:

Please submit the supplemental application, through www.grantsolutions.gov by **April 30, 2026**.

If you encounter any difficulties submitting the supplemental application, please contact GrantSolutions helpdesk at 866-577-0771 or email help@grantsolutions.gov prior to the

submission deadline. If you need further information regarding the supplemental application process, please contact Karen Law, Grants Management Specialist at uep2@cdc.gov. For programmatic information, please contact Anita Washington, Project Officer at addm@cdc.gov.

Applications must be submitted through www.grantsolutions.gov as an amendment:

1. Go to www.grantsolutions.gov
2. Access: My Grants List Screen
3. Click the Link: "Manage Amendments"
4. Click Button: "New"
5. Select Amendment Type: "Supplement"
6. Click Button: "Create Amendment"

Checklist of required contents of application packet:

1. SF-424 Application for Federal Domestic Assistance Version 2 (online form)
2. SF-424A Budget Information-Non-Construction (online form)
3. Project Abstract Summary (online form)
4. Budget Justification (attachment)
5. Performance Narrative or Work Plan

1. SF-424 Application for Federal Domestic Assistance Version 2:

- Instructions on completing the SF-424 Application for Federal Domestic Assistance Version 2 online form are located at <https://www.grants.gov/web/grants/forms/sf-424-family.html>.

2. SF-424A Budget Information:

- Instructions for completing SF-424A Budget Information-Non-Construction online form are located at https://www.grantsolutions.gov/gs/pdf/ophs-1_SF424A_Instruction.pdf
- Analysis of Remaining Time and Funds
 1. If it appears there will be insufficient funds, provide detailed justification of the shortfall. List the actions taken to bring the obligations in line with the authorized funding level.
 2. Based on the current rate of obligation, if it appears there will be un-obligated funds at the end of the current budget period, provide detailed actions that will

be taken to obligate this amount or use the process below to get access to unused funds.

Unobligated funds may be used for purposes within the scope of the project as originally approved. Recipients will report use, or intended use, of unobligated funds in Section 12 “**Remarks**” of the annual Federal Financial Report (FFR). If the GMO determines that some or all of the unobligated funds are not necessary to complete the project, the GMO may restrict the recipient’s authority to automatically carryover unobligated balances in the future, use the balance to reduce or offset CDC funding for a subsequent budget period, or use a combination of these actions.

In addition to reporting use of unobligated funds in the annual FFR, program requests the submission of an interim FFR as part of the Supplement submission. Submit an interim **hardcopy** FFR as an attachment and title: “Interim FFR” Federal Financial Report (FFR), Standard Form-425, available on the internet at <https://www.grants.gov/forms/forms-repository/post-award-reporting-forms>.

- The proposed budget should be based on the federal funding level, which is stated on page one of this document (Anticipated Funding Level).
- In a separate narrative, provide a detailed, line-item budget justification of the funding amount requested, including any request to use unobligated funds, to support the activities to be carried out with those funds. Attach and title it “Budget Narrative”.
- The budget justification must be prepared in the general form, format, and to the level of detail as described in the CDC Budget Preparation Guidelines. The budget guidance is provided on CDC’s internet at: <http://www.cdc.gov/grants/applying/application-resources.html> and the GrantSolutions application control checklist.

For any new, proposed subcontract, provide the information specified in the Budget Guidance.

- When non-federal matching is required, provide a line-item list of non-federal contributions including source, amount, and/or value of third-party contributions proposed to meet a matching requirement.

3. Project Abstract Summary

- Complete the form as part of the application in GrantSolutions. The project abstract summary guidance can be found on GrantSolutions (grant note from Karen Law).
- The project abstract will be subject to review prior to issuance of a Notice of Award.

4. Budget Justification:

- In a separate narrative, provide a detailed, line-item budget justification of the funding amount requested to support the activities to be carried out with those funds. Attach and title it “Budget Narrative”.
- The budget justification must be prepared in the general form, format, and to the level of detail as described in the CDC Budget Preparation Guidelines. The budget guidance is provided on CDC’s internet at: <http://www.cdc.gov/grants/applying/application-resources.html> and the GrantSolutions application control checklist.
- For any new, proposed subcontract, provide the information specified in the Budget Guidance.

5. Performance Narrative and Work Plan:

Supplemental Funding Strategies and Activities:

The recipients are expected to implement the following strategies and activities based on their current awards (Component A, Component B, and CP Surveillance):

Strategy 1: Component A – 4-year-old and 8-year-old ASD Surveillance

Activity 1: Define a surveillance area

Activity 2: Establish agreements for access to data sources

Activity 3: Use standardized ADDM Network methodology to conduct surveillance among 4- and 8-year-old children to estimate the prevalence of ASD

Activity 4: Staff training and data quality assurance

Activity 5: Data collection and data management

Activity 6: Data cleaning and reporting

Strategy 2: Component B – 16-year-old ASD Surveillance

Activity 1: Define a surveillance area

Activity 2: Establish agreements for access to data sources

Activity 3: Use standardized ADDM Network methodology to conduct surveillance among 16-year-old children to describe case characteristics

Activity 4: Staff training and data quality assurance

Activity 5: Data collection and data management

Activity 6: Data cleaning and reporting

Strategy 3: Component A – Community Data for Action

Activity 1: Conduct community education and outreach

Strategy 4: Component A, Component B, and CP Surveillance – Monitoring and Evaluation

Activity 1: Participate in CDC-directed performance monitoring and evaluation

Strategy 5: CP Surveillance

Activity 1: Define a surveillance area

Activity 2: Establish agreements for access to data sources

Activity 3: Use standardized ADDM Network methodology to conduct surveillance among 4- and 8-year-old children to estimate the prevalence of CP

Activity 4: Staff training and data quality assurance

Activity 5: Data collection and data management

Activity 6: Data cleaning and reporting

Performance Narrative: includes the status of current activities and timelines:

- Provide progress report on current strategies and activities.
 - Performance Measures - Each strategy and activity must contain a process and outcome measure that assesses the effectiveness of the project. Recipients must report on process measures for each strategy and activity.

Extended budget period workplan:

- For each strategy that will be conducted:
 - Provide a timeline for accomplishment.
 - List all project staff responsible for each activity
 - Identify and justify any redirection of activities; and
 - Explain the methods you will use to implement the new, redirected activities.

Evaluation Activities:

The recipient is expected to continue activities toward achieving the outcomes of the NOFO, as well as to continuously monitor and report on their related performance measures.

2026-R-134

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, RATIFYING AND AUTHORIZING THE CITY MANAGER TO SUBMIT AN APPLICATION TO THE DEPARTMENT OF HEALTH AND HUMAN SERVICES FOR THE AUTISM AND OTHER DEVELOPMENTAL DISABILITIES, SURVEILLANCE, RESEARCH, AND PREVENTION (ADDM) PROGRAM GRANT, IN THE TOTAL ESTIMATED AMOUNT OF UP TO \$1,101,500.00, WITH NO MATCH FOR THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT, FOR A TOTAL OF ONE (1) YEAR TERM, TO BE EFFECTIVE ON JANUARY 01, 2027 THROUGH DECEMBER 31, 2027, AND FURTHER AUTHORIZING THE CITY MANAGER TO EXECUTE ALL DOCUMENTS RESULTING FROM THE AWARD OF THIS GRANT. FUNDS WILL BE ACCOUNTED FOR IN THE LAREDO PUBLIC HEALTH DEPARTMENT FUND – AUTISM AND OTHER DEVELOPMENTAL DISABILITIES, SURVEILLANCE, RESEARCH, AND PREVENTION GRANT.

WHEREAS, The City of Laredo Public Health Department wishes to apply for supplemental funding through the Centers for Disease Control and Prevention (CDC). Through this funding opportunity, the City of Laredo Public Health Department will continue surveillance and monitoring activities related to Autism Spectrum Disorder (ASD) and Cerebral Palsy (CP) utilizing standardized ADDM Network methodologies established by the CDC. Program activities include defining surveillance areas, establishing agreements for data access, conducting data collection and quality assurance activities, managing and reporting surveillance data, and participating in CDC directed monitoring and evaluation activities.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager is hereby authorized to ratify and submit an application from the Department of Health and Human Services for the Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention (ADDM) Grant in the total estimated amount of \$1,101,500.00, with no match for the City of Laredo Public Health Department for total of one (1) year term period from January 01, 2027 through December 31, 2027. Funds will be accounted for in the Laredo Public Health Department fund – Autism and Other Developmental Disabilities, Surveillance, Research, and Prevention Grant.

Section 2: Funds will be appropriated once awarded.

**PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS
_____ DAY OF _____, 2026.**

**DR. VICTOR D. TREVINO
MAYOR**

ATTEST:

**MARIO I. MALDONADO JR.
CITY SECRETARY**

**APPROVED AS TO FORM
DOANH T. NGUYEN, CITY ATTORNEY**

**AMBER R. HOLMES
ASSISTANT CITY ATTORNEY**

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 47.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to enter into a contract amendment with Valley AIDS Council for the HIV Ryan White Part D Women, Infants, Children, and Youth (WICY) Program Grant, in the additional amount of \$26,880.00, for a total amount of \$53,759.00, with no match for the City of Laredo Public Health Department for the term from August 01, 2025 through July 31, 2026. Funds will be accounted for in the Laredo Public Health Department fund - HIV Ryan White Part D Grant.

PREVIOUS COUNCIL ACTION

On September 15, 2025, Council approved Resolution 2025-R-222.

BACKGROUND

The Texas Department of State Health Services, South Texas Development Council, University of Texas Health Science Center San Antonio and the Valley AIDS Council continue to collaborate and contract with the City of Laredo Public Health Department for the HIV Ryan White Part D HIV Prevention, Treatment and Care Services to plan, develop and deliver comprehensive outpatient medical, dental, healthcare, prevention, case management, and support services to meet the identified needs of women, children and families with AIDS or HIV disease in the Health Service Delivery Area of Jim Hogg, Starr, Zapata, and Webb Counties.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1: Improve access to health services for all residents.**
- **Policy 7.1.2: Ensure affordability of health services for low-income, uninsured, and underinsured populations.**
- **Policy 7.1.4: Expand access to specialized care and services for vulnerable groups.**
- **Goal 7.3: Improve maternal, child, and family health outcomes.**
- **Policy 7.3.2: Support programs that provide preventive and treatment services for women, children, and families affected by chronic or infectious diseases.**

Summary of alignment: The resolution supports the Viva Laredo Plan by ensuring continuity of comprehensive care and support services for women, infants, children, and youth (WICY) affected by HIV/AIDS. Through collaboration with regional partners, the program expands access to specialized medical, dental, and supportive care for underserved populations across Webb, Jim Hogg, Starr, and Zapata Counties. This directly addresses the Plan's goals of improving healthcare access, reducing disparities, and strengthening maternal and child health outcomes. The continuation of the Ryan White Part D program ensures equitable access to critical HIV prevention, treatment, and case

management services for vulnerable families, aligning with the City's commitment to holistic public health and wellness.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approves the Resolution.

Fiscal Impact

Fiscal Year:	2025
Budgeted Y/N?:	Y
Source of Funds:	HIV Ryan White Part D WICY Grant
Account #:	226-6505
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

The revenue account 226-0000-327-9031 and the expenditure division 226-6505 with Project Number HEVA11.

2026-R-139

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, AUTHORIZING THE CITY MANAGER TO ENTER INTO A CONTRACT AMENDMENT WITH VALLEY AIDS COUNCIL FOR THE HIV RYAN WHITE PART D WOMEN, INFANTS, CHILDREN, AND YOUTH (WICY) PROGRAM GRANT, IN THE ADDITIONAL AMOUNT OF \$26,880.00, FOR A TOTAL AMOUNT OF \$53,759.00, WITH NO MATCH FOR THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT FOR THE TERM FROM AUGUST 01, 2025 THROUGH JULY 31, 2026. FUNDS WILL BE ACCOUNTED FOR IN THE PUBLIC HEALTH DEPARTMENT FUND – HIV RYAN WHITE PART D GRANT.

WHEREAS, the Texas Department of State Health Services, South Texas Development Council, University of Texas Health Science Center San Antonio and the Valley AIDS Council continue to collaborate and contract with the City of Laredo Public Health Department for the HIV Ryan White Part D HIV Prevention, Treatment and Care Services to plan, develop and deliver comprehensive outpatient medical, dental, healthcare, prevention, case management, and support services to meet the identified needs of women, children and families with AIDS or HIV disease in the Health Service Delivery Area of Jim Hogg, Starr, Zapata, and Webb Counties.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager is hereby authorized to accept and enter into a continuation contract with Valley AIDS Council for the HIV Ryan White Part D Women, Infants, Children, and Youth (WICY) Program grant, in the additional amount of \$26,880.00, for a total amount of \$53,759.00, with no match for the City of Laredo Public Health Department for the term from August 01, 2025 through July 31, 2026. Funds will be accounted for in the Laredo Public Health Department Fund – HIV Ryan White Part D Grant.

Section 2: The revenue account 226-0000-327-9031 and the expenditure division 226-6505 with Project Number HEVA11.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS _____ DAY OF _____, 2026.

**DR. VICTOR D. TREVINO
MAYOR**

ATTEST:

MARIO I. MALDONADO JR.
CITY SECRETARY

APPROVED AS TO FORM
DOANH T. NGUYEN, CITY ATTORNEY

AMBER R. HOLMES
ASSISTANT CITY ATTORNEY

**SECOND AMENDMENT TO CONTINUED AGREEMENT
RYAN WHITE PART D SUBCONTRACT
BETWEEN
VALLEY AIDS COUNCIL D/B/A WESTBROOK CLINIC
AND
CITY OF LAREDO PUBLIC HEALTH DEPARTMENT**

PURPOSE: This Second Amendment to the Continued Agreement is entered into between Valley AIDS Council d/b/a Westbrook Clinic (VAC) and the City of Laredo Public Health Department (City). This Agreement pertains to the Ryan White Part D Subcontract originally effective from August 1, 2025, through July 31, 2026.

WHEREAS the original Agreement contemplated that it could be amended upon mutual agreement of all parties; and

WHEREAS, VAC and the City, through execution of prior amendments, extended the Agreement for an additional term; and

WHEREAS, VAC and the City now desire to amend the Agreement to reflect an increase in funding while maintaining all existing terms and conditions;

TERM OF CONTINUED AGREEMENT: The term of this Agreement remains August 1, 2025, through July 31, 2026.

CONTINUED AMENDMENT (REVISED AWARD AMOUNT): City agrees that the terms and conditions of payment remain the same. The award amount for the 2025–2026 term is \$53,759, which reflects an increase from the original award amount of \$26,880. VAC shall compensate City in accordance with the original Agreement, subject to all terms and conditions set forth therein.

SCOPE OF WORK: City will continue to provide Ryan White Part D Services for Women, Infants, Children, and Youth (WICY), submit required reports, and perform all duties in accordance with Ryan White HIV/AIDS Program requirements.

GENERAL: Except as specifically amended herein, all terms and conditions of the original Agreement and prior amendments shall remain in full force and effect.

IN WITNESS WHEREOF, Valley AIDS Council and the City of Laredo Public Health Department, by and through their duly authorized representatives, have executed this Second Amendment as of the dates indicated below.

SIGNATURES

VALLEY AIDS COUNCIL d/b/a WESTBROOK CLINIC

By: _____

Name: _____

Title: _____

Date: _____

CITY OF LAREDO PUBLIC HEALTH DEPARTMENT

By: _____

Name: Joseph W. Neeb

Title: City Manager

Date: _____

RECOMMENDED

By: _____

Richard A. Chamberlain Date
DrPH, MPH, DipACLM, CPM, CHW, LCI, RS
Director of Public Health

APPROVED AS TO FORM

Doanh T. Nguyen, City Attorney

By: _____

Amber R. Holmes Date
Assistant City Attorney

ATTESTED

By: _____

Mario I. Maldonado, Jr. Date
City Secretary

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 48.

SUBJECT

Consideration to renew contract FY24-016 to Martinez Pharmacy, Laredo, TX, for pharmaceutical services for the Public Health Department in an annual amount not to exceed \$100,000.00, for a total contract value of \$400,000.00. The term of this contract is for two (2) years and it is extension 1 of 1. Funding is available in the Laredo Public Health Department Fund - Various Accounts.

PREVIOUS COUNCIL ACTION

On June 10, 2024, Council approved Motion 24-1061.

BACKGROUND

The City of Laredo went out on formal invitation for proposals - contract FY24-016 for Pharmaceutical Services, Martinez Pharmacy, Laredo, Texas was the sole bidder. Evaluation Committee recommended Martinez Pharmacy bid based on past history of collaboration and quality of service provided.

The term of this contract is for a period of two (2) years with the option to renew for one additional two (2) year term. This is Extension 1 of 1.

This contract shall be the responsibility of and administered by the vendor and the Laredo Public Health Department.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.2:** Ensure accessibility and affordability of healthcare services and medications for underserved populations.
- **Goal 7.2:** Prevent and control communicable and chronic diseases in the community.
- **Policy 7.2.3:** Support treatment and prevention programs through access to essential pharmaceutical services.
- **Goal 7.5:** Strengthen public health systems and operational capacity.
- **Policy 7.5.1:** Ensure public health programs maintain the resources necessary to provide efficient and reliable services.

Summary of alignment: This action aligns with the Viva Laredo Comprehensive Plan by ensuring continued access to pharmaceutical services necessary to support a wide range of public health programs and patient care services. The renewal of this contract supports continuity of care, medication accessibility, and effective treatment services for residents served through the Public Health Department. By maintaining reliable pharmaceutical support, the City strengthens public health operations, enhances service delivery, and supports the overall health and well-being of the community.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approve the Motion.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Laredo Public Health Fund
Account #:	Various Accounts
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Various expense accounts under Laredo Public Health Fund.



**City of Laredo
Purchasing Division**

RENEWAL NOTICE

May 18, 2026.

Mr. Antonio Martinez
Martinez Pharmacy
1407 Jacaman
Laredo , Texas 78041

RE: Contract FY24-016 Pharmaceuticals Services – Ext. I

Dear Mr. Martinez:

This letter is a formal request by the City of Laredo to extend contract FY24-016 for an additional two year period for pharmaceutical services for the Health Department’s different programs. This is the last extension period.

Please indicate your desire to request a contract extension. Should your company desire a contract extension, it is expressly understood by the parties that any such extension of this contract is entirely revocable at the City’s discretion and is contingent upon the agreement and acceptance by the City Council.

If there are any questions regarding this notification, please feel free to call me at (956) 794-1731.

Sincerely,

Jaime Zapata
Purchasing Agent

XC: Purchasing File

Martinez Pharmacy	
Request a contract extension: <input checked="" type="checkbox"/>	Not request a contract extension: <input type="checkbox"/>
Authorized Signature: <u><i>Antonio Martinez</i></u>	<i>RFL</i>
Print Name: <u>Antonio Martinez</u>	
Date: <u>5/19/2026</u>	

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 49.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to accept and enter into a continuation contract from the Department of State Health Services for the Diabetes Prevention and Control Grant in the amount of \$125,000.00, with no match for the City of Laredo Public Health Department for the term period from September 01, 2026 through August 31, 2027. Funds will be accounted for in the Laredo Public Health Department Fund - Diabetes Prevention and Control Program Grant.

PREVIOUS COUNCIL ACTION

On March 18, 2025, Council approved Resolution 2025-R-77.

BACKGROUND

The Texas Department of State Health Services continues to contract with the City of Laredo to implement diabetes self-management education and diabetes prevention support classes, using a culturally-appropriate, evidence-based curriculum targeting underserved populations in Webb County. Through this award, the Laredo Public Health Department is able to maintain a bidirectional internal referral system and engage key stakeholders to provide input on services and outcomes.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.1:** Expand access to preventive healthcare services in underserved communities.
- **Goal 7.3:** Prevent and reduce chronic disease and promote healthy lifestyles.
- **Policy 7.3.2:** Support evidence-based education and prevention programs that encourage nutrition, physical activity, and chronic disease self-management.
- **Goal 7.4:** Foster a culture of health through education and community wellness initiatives.
- **Policy 7.4.1:** Promote culturally appropriate wellness and prevention programs that improve long-term health outcomes.
- **Goal 7.5:** Strengthen public health systems and partnerships.

Summary of alignment: This resolution aligns with the Viva Laredo Comprehensive Plan by supporting evidence-based diabetes prevention and self-management programs targeting underserved populations in Webb County. Through culturally appropriate education, prevention support classes, and coordinated referral systems, the program promotes healthier lifestyles, improves chronic disease management, and strengthens community engagement in preventive healthcare. These efforts advance the Plan's goals of reducing chronic disease disparities, improving health outcomes, and strengthening collaborative public health service delivery.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends that Council approves the Resolution.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Diabetes Prevention and Control Grant
Account #:	226-6044
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

The revenue account 226-0000-323-4021 and the expenditure division is 226-6044 with Project Number HEDP07.

**DEPARTMENT OF STATE HEALTH SERVICES
CONTRACT NO. HHS001579200005
AMENDMENT NO. 1**

The **DEPARTMENT OF STATE HEALTH SERVICES** (“System Agency”) and **THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT** (“Grantee”), who are collectively referred to herein as the "Parties," to that certain Grantee Contract effective April 17th, 2025 and denominated DSHS Contract No. HHS001579200005, now desire to amend the Contract.

WHEREAS, the Parties desire to renew the term of the contract;

WHEREAS, System Agency desires to add funds to the Contract for authorized services to be provided by Grantee;

WHEREAS, the Parties desire to revise the budget; and

WHEREAS, the Parties desire to update certain Contract terms and conditions.

NOW, THEREFORE, the Parties hereby amend and modify the Contract as follows:

1. **SECTION III** of the contract, **DURATION**, is hereby amended to reflect a new termination date of **August 31, 2027**.
2. **SECTION V** of the contract, **BUDGET**, is hereby amended to add funding in the amount of **\$125,000.00**. The section is revised to read as follows:
The total amount of this Contract shall not exceed **\$250,000.00**. Grantee is not required to provide matching funds.

The total not-to-exceed amount of this Contract includes the following:

Total Federal Funds: **\$0.00**
Total State Funds: **\$250,000.00**

All expenditures under the Contract shall be in accordance with **ATTACHMENT B-1, BUDGET (FY26 – FY27)**.

If System Agency approves or acknowledges an updated indirect cost rate, the Contract will be amended to incorporate an updated rate (and the new indirect cost rate letter, if applicable) and the Contract budget will be revised accordingly.

3. **ATTACHMENT A – STATEMENT OF WORK** is hereby supplemented with **ATTACHMENT A-1 – FY27 STATEMENT OF WORK**.

4. **ATTACHMENT B – BUDGET** is hereby deleted in its entirety and replaced with **ATTACHMENT B-1 – BUDGET (FY26 – FY27)**.
5. **ATTACHMENT C – HHS CONTRACT AFFIRMATIONS** is hereby deleted in its entirety and replaced with **ATTACHMENT C-1 – CONTRACT AFFIRMATIONS, VERSION 2.9**.
6. This Amendment No. 1 shall be effective immediately upon the date of the last signature. Operations and funding for State Fiscal Year 2027 begin September 1, 2026.
7. Except as amended and modified by this Amendment No. 1, all terms and conditions of the Contract shall remain in full force and effect.
8. Any further revisions to the Contract shall be by written agreement of the Parties.
9. Each Party represents and warrants that the person executing this Amendment on its behalf has full power and authority to enter into this Amendment.

SIGNATURE PAGE FOLLOWS

**SIGNATURE PAGE FOR AMENDMENT NO. 1
DEPARTMENT OF STATE HEALTH SERVICES
CONTRACT NO. HHS001579200005**

DEPARTMENT OF STATE HEALTH SERVICES

**THE CITY OF LAREDO PUBLIC HEALTH
DEPARTMENT**

By: _____

By: _____

Name: _____

Name: _____

Title: _____

Title: _____

Date of Execution: _____

Date of Execution: _____

**THE FOLLOWING ATTACHMENTS ARE ATTACHED AND INCORPORATED AS PART OF THE
CONTRACT:**

- ATTACHMENT A-1 – FY27 STATEMENT OF WORK**
- ATTACHMENT B-1 – BUDGET (FY26 – FY27)**
- ATTACHMENT C-1 – CONTRACT AFFIRMATIONS, VERSION 2.9**

**ATTACHMENT A-1
FY27 STATEMENT OF WORK**

I. Purpose

The purpose of this Contract is to expand access to diabetes self-management education and support (DSMES) programs and National Diabetes Prevention Program (National DPP) lifestyle change programs (LCPs) to underserved populations.

II. Grantee Responsibilities

A. Staffing Plan and Sustainability Plan

1. Develop a staffing plan and a sustainability plan that outlines how continuity of services shall be ensured in the event of staffing or funding changes.
2. These plans shall be submitted via the online Performance Management and Tracking System (PMATS).

B. DSMES Class Series Implementation

1. Implement a minimum of five series of DSMES classes using evidence-based curriculum.
2. Classes shall be conducted with underserved populations in community-based settings throughout the Webb County and surrounding areas with limited access to DSMES.
3. Conduct baseline and post-intervention evaluation on templates developed by DSHS, unless otherwise approved.
4. Provide an implementation plan that outlines the proposed number of participants, retention rates, times, dates, and locations. This information shall be provided in the class implementation plan template developed by DSHS, unless otherwise approved.
5. Submit program implementation data, including but not limited to participant demographics, number of participants, and a narrative of activities conducted in each class of the series. This data shall be submitted monthly in the Intervention Form located on PMATS.
6. Submit participant-level and biometric outcomes data.

1. Participant-level data must include demographics, diabetes diagnosis, comorbidities, attitudes and beliefs (e.g., changes in self-efficacy), and additional health behaviors.
2. Biometric data must include height, weight, body mass index, blood pressure, A1c level, and waist circumference.
3. This data shall be submitted monthly in the DSMES Evaluation Form located on PMATS.

C. National DPP Class Series Implementation

1. Implement a minimum of three series of National DPP classes using a curriculum that aligns with the Centers for Disease Control and Prevention (CDC) standards.
2. Classes shall be conducted primarily with underserved populations in community-based settings with limited access to National DPPs, in the Webb County and surrounding areas.
3. Conduct baseline and post-intervention evaluation on templates developed by DSHS, unless otherwise approved.
4. Provide an implementation plan that outlines the proposed number of participants, retention rates, times, dates, and locations. This information shall be provided in the class implementation plan template developed by DSHS, unless otherwise approved.
5. Submit program implementation data, including but not limited to participant demographics, number of participants, and a narrative of activities conducted in each class of the series. This data shall be submitted monthly in the Intervention Form located on PMATS.
6. Submit participant-level and biometric outcomes data.
 1. Participant-level data must include demographics, diabetes diagnosis, comorbidities, attitudes and beliefs (e.g., changes in self-efficacy), and additional health behaviors.
 2. Biometric data must include height, weight, body mass index, blood pressure, A1c level, and waist circumference.
 3. This data shall be submitted monthly in the Diabetes Prevention Evaluation Form located on PMATS.

D. Referrals to DSMES or National DPP LCPs

1. Implement a new collaboration with a local health system during this contract term for systematic identification and referral of patients with prediabetes, those at high risk for Type 2 diabetes, or those with diabetes to a DSMES program or National DPP LCP.
2. Track the number of care coordination, DSMES, and DPP referrals monthly.
3. Provide feedback to local healthcare providers about their patients' participation in DSMES programs and National DPP LCPs.
4. Submit monthly referral data under the Information and Referral Form located on PMATS. Months with no referral activity shall be reported on PMATS, indicating no referrals were received.

E. Accreditation & Recognition

1. Pursue accreditation or recognition for Diabetes Self-Management Education and Support (DSMES) program or National Diabetes Prevention Program (National DPP) by taking steps toward formal approval through an appropriate national accredited body (e.g., ADCES, ADA or CDC). If already accredited/recognized, ensure accreditation/recognition is maintained.
2. Initiate the accreditation/recognition process during the contract term and demonstrate progress toward meeting the required standards.
3. Provide a quarterly summary of progress in the Administration and Capacity Building Form located on PMATS. Additional supporting documentation shall be submitted to DSHS upon request in the Supplemental Report Form located on PMATS.

F. Reports and Collaboration with DSHS

1. Submit Quarterly Reports summarizing activities performed during each fiscal year quarter. The reports shall be submitted in the Quarterly Reports Form located on PMATS.
2. Submit the End of Year Report summarizing all activities performed during the fiscal year. The report shall be submitted in the End of Year

Report Form located on PMATS, using a template developed by DSHS, unless otherwise approved.

3. Participate in monthly conference calls with DSHS staff to provide an update on activities and technical assistance needs, unless otherwise approved by DSHS.

G. State Engagement Call & Network

1. Participate in quarterly State Engagement Calls hosted by DSHS to learn from subject matter experts and connect with other contracted partners, unless otherwise approved by DSHS.

III. Performance Measures

DSHS shall monitor Grantee’s performance of its requirements under this Statement of Work and its compliance with the terms and conditions of the Contract.

Grantee shall provide all services under this Contract at an acceptable quality level and in a manner consistent with acceptable industry standard, custom, and practice.

IV. Reporting

Grantee shall submit documents identified below via PMATS by the due dates set forth in Table 1 below.

Table 1. Required Reports and Activities

Report or Activity	Due Date
Staffing Plan and Sustainability Plan	September 30, 2026
DSMES and DPP Class Implementation Plan	September 30, 2026
PMATS Submissions	Monthly
PMATS Outcomes Submissions	Within 30 days after the last class in each series. If the 30th day is a weekend or holiday, the due date is the following business day.
Quarterly Reports	Quarter 1 Report (9/1/26-11/30/26) Due December 10, 2026

	Quarter 2 Report (12/1/26-2/28/27) Due March 10, 2027
	Quarter 3 Report (3/1/27-5/31/27) Due June 10, 2027
	Quarter 4 Report (6/1/27-8/31/27) Due September 10, 2027
End of Year Report	September 10, 2027

V. Invoice and Payment

- A. Grantee shall submit invoices monthly. Invoices and all supporting documentation must be emailed to Invoices@dshs.texas.gov and CMSInvoices@dshs.texas.gov simultaneously. For each monthly invoice, Grantee shall submit (1) the B-13 Voucher, and (2) the Voucher Support Form (VSF) provided by DSHS.
- B. The Grantee shall submit Financial Status Reports (FSRs) twice per year by email to Invoices@dshs.texas.gov and FSRGrants@dshs.texas.gov in accordance with the due dates set forth in Table 2 (FSR Deadlines).

Table 2. FSR Deadlines

Period Covered	Due Date
9/1/26-2/28/27	3/30/27
3/1/27-8/31/27	9/30/27

- C. Grantee shall submit a final close-out invoice and final Financial Status Report no later than thirty (30) calendar days following the end of the Contract term. Invoices received more than thirty (30) calendar days after the end of the Contract term are subject to denial of payment.
- D. DSHS reserves the right to redirect funds in the event of financial shortfall. DSHS shall monitor Grantee’s expenditures on a biannual basis. If Grantee expenditures are below projections, System Agency, in its sole discretion, may reduce the Grantee’s budget for the remainder of the Contract term. System Agency also may reduce Grantee’s budget if Grantee has vacant positions existing for more than ninety (90) consecutive calendar days.
- E. Grantee shall maintain an inventory of equipment, supplies defined as Controlled Assets, and real property. Grantee shall submit an annual cumulative report of the equipment and other property on HHS System Agency Grantee’s Property Inventory Report by email to FSOequip@dshs.texas.gov not later than October 15 of each year. Controlled Assets include firearms, regardless of the acquisition

cost, and the following assets with an acquisition cost of \$500.00 or more, but less than \$10,000.00: desktop and laptop computers (including notebooks, tablets and similar devices), non-portable printers and copiers, emergency management equipment, communication devices and systems, medical and laboratory equipment, and media equipment. Controlled Assets are considered Supplies.

- F. Grantee shall provide advance notification of budget transfers. Grantee shall submit to the designated DSHS Contract Manager (1) a Budget Change Request (BCR) form, as provided by the DSHS Contract Manager, and (2) a revised Categorical Budget, highlighting the areas affected by the budget transfer. DSHS Contract Manager shall review the request and provide written notification of the determination.
1. If the budget transfer(s) involves changes to categories other than the Equipment or Indirect Cost categories and is equal to or less than twenty-five (25) percent of the total amount of the respective budget period, alone or cumulatively, then, if approved by DSHS, the DSHS Contract Representative shall provide written notification to Grantee, upon receipt of which, the revised budget becomes part of the Contract file.
 2. If the budget transfer(s) involves changes to the Equipment or Indirect Cost categories or exceeds twenty-five (25) percent of the total amount of the respective budget period, alone or cumulatively, the revised funding allocation is not effective until an amendment incorporating the changes is executed.

**ATTACHMENT B-1
BUDGET (FY26 – FY27)**

Budget Categories	FY26	FY27	Total
Personnel	\$60,510.00	\$53,295.00	\$113,805.00
Fringe Benefits	\$37,798.00	\$30,338.00	\$68,136.00
Travel	\$3,870.00	\$3,330.00	\$7,200.00
Equipment	\$0.00	\$0	\$0.00
Supplies	\$5,516.00	\$9,735.00	\$15,251.00
Contractual	\$3,000.00	\$5,970.00	\$8,970.00
Other	\$14,306.00	\$22,332.00	\$36,638.00
Total Direct	\$125,000.00	\$125,000.00	\$250,000.00
Indirect Costs	\$0.00	\$0.00	\$0.00
Total	\$125,000.00	\$125,000.00	\$250,000.00

HEALTH AND HUMAN SERVICES
Contract Number HHS001579200005

Attachment C-1 CONTRACT AFFIRMATIONS

For purposes of these Contract Affirmations, HHS includes both the Health and Human Services Commission (HHSC) and the Department of State Health Services (DSHS). System Agency refers to HHSC, DSHS, or both, that will be a party to this Contract. These Contract Affirmations apply to all Contractors and Grantees (referred to as “Contractor”) regardless of their business form (e.g., individual, partnership, corporation).

By entering into this Contract, Contractor affirms, without exception, understands, and agrees to comply with the following items through the life of the Contract:

- 1.** Contractor represents and warrants that these Contract Affirmations apply to Contractor and all of Contractor's principals, officers, directors, shareholders, partners, owners, agents, employees, subcontractors, independent contractors, and any other representatives who may provide services under, who have a financial interest in, or otherwise are interested in this Contract and any related Solicitation.

- 2. Complete and Accurate Information**

Contractor represents and warrants that all statements and information provided to HHS are current, complete, and accurate. This includes all statements and information in this Contract and any related Solicitation Response.

- 3. Public Information Act**

Contractor understands that HHS will comply with the Texas Public Information Act (Chapter 552 of the Texas Government Code) as interpreted by judicial rulings and opinions of the Attorney General of the State of Texas. Information, documentation, and other material prepared and submitted in connection with this Contract or any related Solicitation may be subject to public disclosure pursuant to the Texas Public Information Act. In accordance with Section 2252.907 of the Texas Government Code, Contractor is required to make any information created or exchanged with the State pursuant to the Contract, and not otherwise excepted from disclosure under the Texas Public Information Act, available in a format that is accessible by the public at no additional charge to the State.

- 4. Contracting Information Requirements**

Contractor represents and warrants that it will comply with the requirements of Section 552.372(a) of the Texas Government Code. Except as provided by Section 552.374(c) of the Texas Government Code, the requirements of Subchapter J (Additional Provisions Related to Contracting Information), Chapter 552 of the Government Code, may apply to the Contract and the Contractor agrees that the Contract can be terminated if the Contractor knowingly or intentionally fails to comply with a requirement of that subchapter.

5. Assignment

- A. Contractor shall not assign its rights under the Contract or delegate the performance of its duties under the Contract without prior written approval from System Agency. Any attempted assignment in violation of this provision is void and without effect.
- B. Contractor understands and agrees the System Agency may in one or more transactions assign, pledge, or transfer the Contract. Upon receipt of System Agency's notice of assignment, pledge, or transfer, Contractor shall cooperate with System Agency in giving effect to such assignment, pledge, or transfer, at no cost to System Agency or to the recipient entity.

6. Terms and Conditions

Contractor accepts the Solicitation terms and conditions unless specifically noted by exceptions advanced in the form and manner directed in the Solicitation, if any, under which this Contract was awarded. Contractor agrees that all exceptions to the Solicitation, as well as terms and conditions advanced by Contractor that differ in any manner from HHS' terms and conditions, if any, are rejected unless expressly accepted by System Agency in writing.

7. HHS Right to Use

Contractor agrees that HHS has the right to use, produce, and distribute copies of and to disclose to HHS employees, agents, and contractors and other governmental entities all or part of this Contract or any related Solicitation Response as HHS deems necessary to complete the procurement process or comply with state or federal laws.

8. Release from Liability

Contractor generally releases from liability and waives all claims against any party providing information about the Contractor at the request of System Agency.

9. Dealings with Public Servants

Contractor has not given, has not offered to give, and does not intend to give at any time hereafter any economic opportunity, future employment, gift, loan, gratuity, special discount, trip, favor, or service to a public servant in connection with this Contract or any related Solicitation, or related Solicitation Response.

10. Financial Participation Prohibited

Under Section 2155.004, Texas Government Code (relating to financial participation in preparing solicitations), Contractor certifies that the individual or business entity named in this Contract and any related Solicitation Response is not ineligible to receive this Contract and acknowledges that this Contract may be terminated and payment withheld if this certification is inaccurate.

11. Prior Disaster Relief Contract Violation

Under Sections 2155.006 and 2261.053 of the Texas Government Code (relating to convictions and penalties regarding Hurricane Rita, Hurricane Katrina, and other disasters), the Contractor certifies that the individual or business entity named in this Contract and any related Solicitation Response is not ineligible to receive this Contract

and acknowledges that this Contract may be terminated and payment withheld if this certification is inaccurate.

12. Child Support Obligation

Under Section 231.006(d) of the Texas Family Code regarding child support, Contractor certifies that the individual or business entity named in this Contract and any related Solicitation Response is not ineligible to receive the specified payment and acknowledges that the Contract may be terminated and payment may be withheld if this certification is inaccurate. If the certification is shown to be false, Contractor may be liable for additional costs and damages set out in 231.006(f).

13. Suspension and Debarment

Contractor certifies that it and its principals are not suspended or debarred from doing business with the state or federal government as listed on the *State of Texas Debarred Vendor List* maintained by the Texas Comptroller of Public Accounts and the *System for Award Management (SAM)* maintained by the General Services Administration. This certification is made pursuant to the regulations implementing Executive Order 12549 and Executive Order 12689, Debarment and Suspension, 2 C.F.R. Part 376, and any relevant regulations promulgated by the Department or Agency funding this project. This provision shall be included in its entirety in Contractor's subcontracts, if any, if payment in whole or in part is from federal funds.

14. Excluded Parties

Contractor certifies that it is not listed in the prohibited vendors list authorized by Executive Order 13224, "*Blocking Property and Prohibiting Transactions with Persons Who Commit, Threaten to Commit, or Support Terrorism*," published by the United States Department of the Treasury, Office of Foreign Assets Control.'

15. Foreign Terrorist Organizations

Contractor represents and warrants that it is not engaged in business with Iran, Sudan, or a foreign terrorist organization, as prohibited by Section 2252.152 of the Texas Government Code.

16. Executive Head of a State Agency

In accordance with Section 669.003 of the Texas Government Code, relating to contracting with the executive head of a state agency, Contractor certifies that it is not (1) the executive head of an HHS agency, (2) a person who at any time during the four years before the date of this Contract was the executive head of an HHS agency, or (3) a person who employs a current or former executive head of an HHS agency.

17. Human Trafficking Prohibition

Under Section 2155.0061 of the Texas Government Code, Contractor certifies that the individual or business entity named in this Contract is not ineligible to receive this Contract and acknowledges that this Contract may be terminated and payment withheld if this certification is inaccurate.

18. Franchise Tax Status

Contractor represents and warrants that it is not currently delinquent in the payment of any franchise taxes owed the State of Texas under Chapter 171 of the Texas Tax Code.

19. Debts and Delinquencies

Contractor agrees that any payments due under this Contract shall be applied towards any debt or delinquency that is owed to the State of Texas.

20. Lobbying Prohibition

Contractor represents and warrants that payments to Contractor and Contractor's receipt of appropriated or other funds under this Contract or any related Solicitation are not prohibited by Sections 556.005, 556.0055, or 556.008 of the Texas Government Code (relating to use of appropriated money or state funds to employ or pay lobbyists, lobbying expenses, or influence legislation).

21. Buy Texas

Contractor agrees to comply with Section 2155.4441 of the Texas Government Code, requiring the purchase of products and materials produced in the State of Texas in performing service contracts.

22. Disaster Recovery Plan

Contractor agrees that upon request of System Agency, Contractor shall provide copies of its most recent business continuity and disaster recovery plans.

23. Computer Equipment Recycling Program

If this Contract is for the purchase or lease of computer equipment, then Contractor certifies that it is in compliance with Subchapter Y, Chapter 361 of the Texas Health and Safety Code related to the Computer Equipment Recycling Program and the Texas Commission on Environmental Quality rules in 30 TAC Chapter 328.

24. Television Equipment Recycling Program

If this Contract is for the purchase or lease of covered television equipment, then Contractor certifies that it is compliance with Subchapter Z, Chapter 361 of the Texas Health and Safety Code related to the Television Equipment Recycling Program.

25. Cybersecurity Training

- A. Contractor represents and warrants that it will comply with the requirements of Section 2063.104 of the Texas Government Code relating to cybersecurity training and required verification of completion of the training program.
- B. Contractor represents and warrants that if Contractor or Subcontractors, officers, or employees of Contractor have access to any state computer system or database, the Contractor, Subcontractors, officers, and employees of Contractor shall complete cybersecurity training pursuant to and in accordance with Government Code, Section 2063.104.

26. Restricted Employment for Certain State Personnel

Contractor acknowledges that, pursuant to Section 572.069 of the Texas Government Code, a former state officer or employee of a state agency who during the period of state service or employment participated on behalf of a state agency in a procurement or contract negotiation involving Contractor may not accept employment from Contractor before the second anniversary of the date the Contract is signed or the procurement is terminated or withdrawn.

27. No Conflicts of Interest

- A. Contractor represents and warrants that it has no actual or potential conflicts of interest in providing the requested goods or services to System Agency under this Contract or any related Solicitation and that Contractor's provision of the requested goods and/or services under this Contract and any related Solicitation will not constitute an actual or potential conflict of interest or reasonably create an appearance of impropriety.
- B. Contractor agrees that, if after execution of the Contract, Contractor discovers or is made aware of a Conflict of Interest, Contractor will immediately and fully disclose such interest in writing to System Agency. In addition, Contractor will promptly and fully disclose any relationship that might be perceived or represented as a conflict after its discovery by Contractor or by System Agency as a potential conflict. System Agency reserves the right to make a final determination regarding the existence of Conflicts of Interest, and Contractor agrees to abide by System Agency's decision.

28. Fraud, Waste, and Abuse

Contractor understands that HHS does not tolerate any type of fraud, waste, or abuse. Violations of law, agency policies, or standards of ethical conduct will be investigated, and appropriate actions will be taken. Pursuant to Texas Government Code, Section 321.022, if the administrative head of a department or entity that is subject to audit by the state auditor has reasonable cause to believe that money received from the state by the department or entity or by a client or contractor of the department or entity may have been lost, misappropriated, or misused, or that other fraudulent or unlawful conduct has occurred in relation to the operation of the department or entity, the administrative head shall report the reason and basis for the belief to the Texas State Auditor's Office (SAO). All employees or contractors who have reasonable cause to believe that fraud, waste, or abuse has occurred (including misconduct by any HHS employee, Grantee officer, agent, employee, or subcontractor that would constitute fraud, waste, or abuse) are required to immediately report the questioned activity to the Health and Human Services Commission's Office of Inspector General. Contractor agrees to comply with all applicable laws, rules, regulations, and System Agency policies regarding fraud, waste, and abuse including, but not limited to, HHS Circular C-027.

A report to the SAO must be made through one of the following avenues:

- SAO Toll Free Hotline: 1-800-TX-AUDIT
- SAO website: <http://sao.fraud.state.tx.us/>

All reports made to the OIG must be made through one of the following avenues:

- OIG Toll Free Hotline 1-800-436-6184
- OIG Website: ReportTexasFraud.com
- Internal Affairs Email: InternalAffairsReferral@hhsc.state.tx.us
- OIG Hotline Email: OIGFraudHotline@hhsc.state.tx.us.
- OIG Mailing Address: Office of Inspector General
Attn: Fraud Hotline
MC 1300
P.O. Box 85200
Austin, Texas 78708-5200

29. Antitrust

The undersigned affirms under penalty of perjury of the laws of the State of Texas that:

- A. in connection with this Contract and any related Solicitation Response, neither I nor any representative of the Contractor has violated any provision of the Texas Free Enterprise and Antitrust Act, Tex. Bus. & Comm. Code Chapter 15;
- B. in connection with this Contract and any related Solicitation Response, neither I nor any representative of the Contractor has violated any federal antitrust law; and
- C. neither I nor any representative of the Contractor has directly or indirectly communicated any of the contents of this Contract and any related Solicitation Response to a competitor of the Contractor or any other company, corporation, firm, partnership or individual engaged in the same line of business as the Contractor.

30. Legal and Regulatory Actions

Contractor represents and warrants that it is not aware of and has received no notice of any court or governmental agency proceeding, investigation, or other action pending or threatened against Contractor or any of the individuals or entities included in numbered paragraph 1 of these Contract Affirmations within the five (5) calendar years immediately preceding execution of this Contract or the submission of any related Solicitation Response that would or could impair Contractor's performance under this Contract, relate to the contracted or similar goods or services, or otherwise be relevant to System Agency's consideration of entering into this Contract. If Contractor is unable to make the preceding representation and warranty, then Contractor instead represents and warrants that it has provided to System Agency a complete, detailed disclosure of any such court or governmental agency proceeding, investigation, or other action that would or could impair Contractor's performance under this Contract, relate to the contracted or similar goods or services, or otherwise be relevant to System Agency's consideration of entering into this Contract. In addition, Contractor acknowledges this is a continuing disclosure requirement. Contractor represents and warrants that Contractor shall notify System Agency in writing within five (5) business days of any changes to the representations or warranties in this clause and understands that failure to so timely update System Agency shall constitute breach of contract and may result in immediate contract termination.

31. No Felony Criminal Convictions

Contractor represents that neither Contractor nor any of its employees, agents, or representatives, including any subcontractors and employees, agents, or representative of such subcontractors, have been convicted of a felony criminal offense or that if such a conviction has occurred Contractor has fully advised System Agency in writing of the facts and circumstances surrounding the convictions.

32. Unfair Business Practices

Contractor represents and warrants that it has not been the subject of allegations of Deceptive Trade Practices violations under Chapter 17 of the Texas Business and Commerce Code, or allegations of any unfair business practice in any administrative hearing or court suit and that Contractor has not been found to be liable for such practices in such proceedings. Contractor certifies that it has no officers who have served as officers of other entities who have been the subject of allegations of Deceptive Trade Practices violations or allegations of any unfair business practices in an administrative hearing or court suit and that such officers have not been found to be liable for such practices in such proceedings.

33. Entities that Boycott Israel

Contractor represents and warrants that (1) it does not, and shall not for the duration of the Contract, boycott Israel or (2) the verification required by Section 2271.002 of the Texas Government Code does not apply to the Contract. If circumstances relevant to this provision change during the course of the Contract, Contractor shall promptly notify System Agency.

34. E-Verify

Contractor certifies that for contracts for services, Contractor shall utilize the U.S. Department of Homeland Security's E-Verify system during the term of this Contract to determine the eligibility of:

1. all persons employed by Contractor to perform duties within Texas; and
2. all persons, including subcontractors, assigned by Contractor to perform work pursuant to this Contract within the United States of America.

35. Former Agency Employees – Certain Contracts

If this Contract is an employment contract, a professional services contract under Chapter 2254 of the Texas Government Code, or a consulting services contract under Chapter 2254 of the Texas Government Code, in accordance with Section 2252.901 of the Texas Government Code, Contractor represents and warrants that neither Contractor nor any of Contractor's employees including, but not limited to, those authorized to provide services under the Contract, were former employees of an HHS Agency during the twelve (12) month period immediately prior to the date of the execution of the Contract.

36. Disclosure of Prior State Employment – Consulting Services

If this Contract is for consulting services,

A. In accordance with Section 2254.033 of the Texas Government Code, a Contractor providing consulting services who has been employed by, or employs an individual who has been employed by, System Agency or another State of Texas agency at any time during the two years preceding the submission of Contractor’s offer to provide services must disclose the following information in its offer to provide services. Contractor hereby certifies that this information was provided and remains true, correct, and complete:

1. Name of individual(s) (Contractor or employee(s));
2. Status;
3. The nature of the previous employment with HHSC or the other State of Texas agency;
4. The date the employment was terminated and the reason for the termination; and
5. The annual rate of compensation for the employment at the time of its termination.

B. If no information was provided in response to Section A above, Contractor certifies that neither Contractor nor any individual employed by Contractor was employed by System Agency or any other State of Texas agency at any time during the two years preceding the submission of Contractor’s offer to provide services.

37. Abortion Funding Limitation

Contractor understands, acknowledges, and agrees that, pursuant to Article IX of the General Appropriations Act (the Act), to the extent allowed by federal and state law, money appropriated by the Texas Legislature may not be distributed to any individual or entity that, during the period for which funds are appropriated under the Act:

1. performs an abortion procedure that is not reimbursable under the state’s Medicaid program;
2. is commonly owned, managed, or controlled by an entity that performs an abortion procedure that is not reimbursable under the state’s Medicaid program; or
3. is a franchise or affiliate of an entity that performs an abortion procedure that is not reimbursable under the state’s Medicaid program.

The provision does not apply to a hospital licensed under Chapter 241, Health and Safety Code, or an office exempt under Section 245.004(a)(2), Health and Safety Code. Contractor represents and warrants that it is not ineligible, nor will it be ineligible during the term of this Contract, to receive appropriated funding pursuant to Article IX.

38. Funding Eligibility

Contractor understands, acknowledges, and agrees that, pursuant to Chapter 2273 of the Texas Government Code, except as exempted under that Chapter, HHSC cannot (1) contract with (a) an abortion provider or an affiliate of an abortion provider; or (b) an abortion assistance entity for the purpose of providing an abortion or abortion assistance;

or (2) contract or appropriate or spend money to provide any person logistical support for the express purpose of assisting a woman with procuring an abortion or the services of an abortion provider. Respondent certifies that it is not ineligible to contract with System Agency under the terms of Chapter 2273 of the Texas Government Code and certifies that the contract is not a taxpayer resource transaction, appropriation, or expenditure of money prohibited by Chapter 2273 of the Texas Government Code.

39. Gender Transitioning and Gender Reassignment Procedures and Treatments for Certain Children – Prohibited Use of Public Money; Prohibited State Health Plan Reimbursement.

Contractor understands, acknowledges, and agrees that, pursuant to Section 161.704 of the Texas Health and Safety Code (eff. Sept. 1, 2023), public money may not directly or indirectly be used, granted, paid, or distributed to any health care provider, medical school, hospital, physician, or any other entity, organization, or individual that provides or facilitates the provision of a procedure or treatment to a child that is prohibited under Section 161.702 of the Texas Health and Safety Code. Contractor also understands, acknowledges, and agrees that, pursuant to Section 161.705 of the Texas Health and Safety Code (eff. Sept. 1, 2023), HHSC may not provide Medicaid reimbursement and the child health plan program established under Chapter 62 may not provide reimbursement to a physician or health care provider for provision of a procedure or treatment to a child that is prohibited under Section 161.702 of the Texas Health and Safety Code. Contractor certifies that it is not ineligible to contract with System Agency under the terms of Chapter 161, Subchapter Y, of the Texas Health and Safety Code.

40. Prohibition on Certain Telecommunications and Video Surveillance Services or Equipment (2 CFR 200.216)

Contractor certifies that the individual or business entity named in this Response or Contract is not ineligible to receive the specified Contract or funding pursuant to 2 CFR 200.216.

41. COVID-19 Vaccine Passports

Pursuant to Texas Health and Safety Code, Section 161.0085(c), Contractor certifies that it does not require its customers to provide any documentation certifying the customer’s COVID-19 vaccination or post-transmission recovery on entry to, to gain access to, or to receive service from the Contractor’s business. Contractor acknowledges that such a vaccine or recovery requirement would make Contractor ineligible for a state-funded contract.

42. Entities that Boycott Energy Companies

Pursuant to Section 2276.002 of the Texas Government Code (relating to prohibition on contracts with companies boycotting certain energy companies), Contractor represents and warrants that: (1) it does not, and will not for the duration of the Contract, boycott energy companies or (2) the verification required by Section 2276.002 of the Texas Government Code does not apply to the Contract. If circumstances relevant to this

provision change during the course of the Contract, Contractor shall promptly notify System Agency.

43. Entities that Discriminate Against Firearm and Ammunition Industries

In accordance with Senate Bill 19, Acts 2021, 87th Leg., R.S., pursuant to Section 2274.002 of the Texas Government Code (relating to prohibition on contracts with companies that discriminate against firearm and ammunition industries), Contractor verifies that: (1) it does not, and will not for the duration of the Contract, have a practice, policy, guidance, or directive that discriminates against a firearm entity or firearm trade association or (2) the verification required by Section 2274.002 of the Texas Government Code does not apply to the Contract. If circumstances relevant to this provision change during the course of the Contract, Contractor shall promptly notify System Agency.

44. Security Controls for State Agency Data

In accordance with Senate Bill 475, Acts 2021, 87th Leg., R.S., pursuant to Texas Government Code, Section 2054.138, Contractor understands, acknowledges, and agrees that if, pursuant to this Contract, Contractor is or will be authorized to access, transmit, use, or store data for System Agency, Contractor is required to meet the security controls the System Agency determines are proportionate with System Agency's risk under the Contract based on the sensitivity of System Agency's data and that Contractor must periodically provide to System Agency evidence that Contractor meets the security controls required under the Contract.

45. Cloud Computing State Risk and Authorization Management Program (TX-RAMP)

Pursuant to Texas Government Code, Section 2063.408, Contractor acknowledges and agrees that, if providing cloud computing services for System Agency, Contractor must comply with the requirements of the state risk and authorization management program and that System Agency may not enter or renew a contract with Contractor to purchase cloud computing services for the agency that are subject to the state risk and authorization management program unless Contractor demonstrates compliance with program requirements. If providing cloud computing services for System Agency that are subject to the state risk and authorization management program, Contractor certifies it will maintain program compliance and certification throughout the term of the Contract.

46. Contract for Professional Services of Physicians, Optometrists, and Registered Nurses

In accordance with Senate Bill 799, Acts 2021, 87th Leg., R.S., if Texas Government Code, Section 2254.008(a)(2) is applicable to this Contract, Contractor affirms that it possesses the necessary occupational licenses and experience.

47. Foreign-Owned Companies in Connection with Critical Infrastructure

If Texas Government Code, Section 2275.0102(a)(1) (relating to prohibition on contracts with certain foreign-owned companies in connection with critical infrastructure) is applicable to this Contract, pursuant to Government Code Section 2275.0102, Contractor certifies that neither it nor its parent company, nor any affiliate of Contractor or its parent company, is: (1) majority owned or controlled by citizens or governmental entities of

China, Iran, North Korea, Russia, or any other country designated by the Governor under Government Code Section 2275.0103 or (2) headquartered in any of those countries.

48. Critical Infrastructure Subcontracts

For purposes of this Paragraph, the designated countries are China, Iran, North Korea, Russia, and any countries lawfully designated by the Governor as a threat to critical infrastructure. Pursuant to Section 117.002 of the Business and Commerce Code, Contractor shall not enter into a subcontract that will provide direct or remote access to or control of critical infrastructure, as defined by Section 117.001 of the Texas Business and Commerce Code, in this state, other than access specifically allowed for product warranty and support purposes to any subcontractor unless (i) neither the subcontractor nor its parent company, nor any affiliate of the subcontractor or its parent company, is majority owned or controlled by citizens or governmental entities of a designated country; and (ii) neither the subcontractor nor its parent company, nor any affiliate of the subcontractor or its parent company, is headquartered in a designated country. Contractor will notify the System Agency before entering into any subcontract that will provide direct or remote access to or control of critical infrastructure, as defined by Section 117.001 of the Texas Business & Commerce Code, in this state.

49. Enforcement of Certain Federal Firearms Laws Prohibited

In accordance with House Bill 957, Acts 2021, 87th Leg., R.S., if Texas Government Code, Section 2.101 is applicable to Contractor, Contractor certifies that it is not ineligible to receive state grant funds pursuant to Texas Government Code, Section 2.103.

50. Prohibition on Abortions

Contractor understands, acknowledges, and agrees that, pursuant to Article II of the General Appropriations Act, (1) no funds shall be used to pay the direct or indirect costs (including marketing, overhead, rent, phones, and utilities) of abortion procedures provided by contractors of HHSC; and (2) no funds appropriated for Medicaid Family Planning, Healthy Texas Women Program, or the Family Planning Program shall be distributed to individuals or entities that perform elective abortion procedures or that contract with or provide funds to individuals or entities for the performance of elective abortion procedures. Contractor represents and warrants that it is not ineligible, nor will it be ineligible during the term of this Contract, to receive appropriated funding pursuant to Article II.

51. Hardening of State Government

Pursuant to Executive Order GA-48, relating to hardening of state government, issued November 19, 2024, Contractor certifies it is not and, if applicable, any of its holding companies or subsidiaries is not:

- a. Listed in Section 889 of the 2019 National Defense Authorization Act (NDAA); or
- b. Listed in Section 1260H of the 2021 NDAA; or

- c. Owned by the government of a country on the U.S. Department of Commerce’s foreign adversaries list under 15 C.F.R. § 791.4; or
- d. Controlled by any governing or regulatory body located in a country on the U.S. Department of Commerce’s foreign adversaries list under 15 C.F.R. § 791.4.

52. Artificial Intelligence Disclosure.

Contractor certifies that it has a continuing obligation to disclose in writing to System Agency each artificial intelligence system it may use to complete any deliverable or a portion of any deliverable under the Contract. “Artificial intelligence system” means a machine-based system that for explicit or implicit objectives infers from provided information a method to generate outputs, such as predictions, content, recommendations, or decisions, to influence a physical or virtual environment with varying levels of autonomy and adaptiveness after deployment. Contractor certifies that it is in compliance with all applicable laws and regulations regarding the use of artificial intelligence systems.

53. Surveillance, Intimidation, and Related Acts.

Contractor certifies that it (and its subcontractors) have not, and if awarded a contract, will not, either directly or indirectly through a third party, engage in surveillance targeting or engage in an act of intimidation, coercion, extortion, undue influence, or other similar conduct intended to influence, silence, or retaliate against:

- (1) a member of the state legislature or person employed to support the state legislature in any capacity;
- (2) a family member of a person described by (1);
- (3) a state agency employee; or
- (4) an individual making a complaint or raising concerns regarding state agency operations or contracting.

Contractor certifies that it and its subcontractors have not, and if awarded a contract will not, either directly or indirectly through a third party, use private or confidential information to manipulate or influence a state contracting decision or proceeding. Contractor acknowledges that it, its executives and directors, and other associated entities and individuals could be terminated, barred from state contracts, and penalized up to \$2 million for a violation of Government Code, Section 2261.302.

54. False Representation

Contractor understands, acknowledges, and agrees that any false representation or any failure to comply with a representation, warranty, or certification made by Contractor is subject to all civil and criminal consequences provided at law or in equity including, but not limited to, immediate termination of this Contract.

55. False Statements

Contractor represents and warrants that all statements and information prepared and submitted by Contractor in this Contract and any related Solicitation Response are current, complete, true, and accurate. Contractor acknowledges any false statement or material misrepresentation made by Contractor during the performance of this Contract or any related Solicitation is a material breach of contract and may void this Contract. Further, Contractor understands, acknowledges, and agrees that any false representation or any failure to comply with a representation, warranty, or certification made by Contractor is subject to all civil and criminal consequences provided at law or in equity including, but not limited to, immediate termination of this Contract.

56. Permits and License

Contractor represents and warrants that it will comply with all applicable laws and maintain all permits and licenses required by applicable city, county, state, and federal rules, regulations, statutes, codes, and other laws that pertain to this Contract.

57. Equal Employment Opportunity

Contractor represents and warrants its compliance with all applicable duly enacted state and federal laws governing equal employment opportunities.

58. Federal Occupational Safety and Health Law

Contractor represents and warrants that all articles and services shall meet or exceed the safety standards established and promulgated under the Federal Occupational Safety and Health Act of 1970, as amended (29 U.S.C. Chapter 15).

59. Signature Authority

Contractor represents and warrants that the individual signing this Contract Affirmations document is authorized to sign on behalf of Contractor and to bind the Contractor.

Signature Page Follows

Authorized representative on behalf of Contractor must complete and sign the following:

City of Laredo

Legal Name of Contractor

City of Laredo Public Health Department

Assumed Business Name of Contractor, if applicable (d/b/a or ‘doing business as’)

N/A

Texas County(s) for Assumed Business Name (d/b/a or ‘doing business as’)

Attach Assumed Name Certificate(s) filed with the Texas Secretary of State and Assumed Name Certificate(s), if any, for each Texas County Where Assumed Name Certificate(s) has been filed.

Signature of Authorized Representative

Date Signed

**Printed Name of Authorized Representative
First, Middle Name or Initial, and Last Name**

Title of Authorized Representative

1110 Houston St.

Laredo, TX 78040

Physical Street Address

City, State, Zip Code

P. O. Box 579

Laredo, TX 78040

Mailing Address, if different

City, State, Zip Code

956-791-7302

956-791-7498

Phone Number

Fax Number

jneeb@ci.laredo.tx.us

618150460

Email Address

DUNS Number

74-6001573

174-6001573-2021

Federal Employer Identification Number

Texas Identification Number (TIN)

N/A

N/A

Texas Franchise Tax Number

**Texas Secretary of State Filing
Number**

HWX7C56NNUV1

SAM.gov Unique Entity Identifier (UEI)

Certificate Of Completion

Envelope Id: FCC3CE89-1C91-45BF-A9C6-E019DFD6E15A
 Subject: Please Docusign: HHS001579200005 Laredo DPCP A1.pdf
 Source Envelope:
 Document Pages: 24
 Certificate Pages: 2
 AutoNav: Enabled
 Envelopeld Stamping: Enabled
 Time Zone: (UTC-06:00) Central Time (US & Canada)

Status: Sent

Envelope Originator:
 CMS Internal Routing Mailbox
 11493 Sunset Hills Road
 #100
 Reston, VA 20190
 CMS.InternalRouting@dshs.texas.gov
 IP Address: 167.137.1.18

Record Tracking

Status: Original
 4/20/2026 8:13:21 AM
 Holder: CMS Internal Routing Mailbox
 CMS.InternalRouting@dshs.texas.gov
 Location: DocuSign

Signer Events

Richard Chamberlain
 rchamberla@ci.laredo.tx.us
 Health Director
 City of Laredo
 Security Level: Email, Account Authentication
 (None)

Signature

Completed
 Using IP Address: 198.135.47.6

Timestamp

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 Resent: 5/20/2026 10:19:40 AM
 Viewed: 5/21/2026 8:55:37 AM
 Signed: 5/21/2026 9:05:01 AM

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

Joseph Neeb
 jneeb@ci.laredo.tx.us
 City of Laredo
 Security Level: Email, Account Authentication
 (None)

Sent: 4/20/2026 8:20:06 AM
 Resent: 5/6/2026 2:11:55 PM
 Resent: 5/21/2026 9:05:03 AM

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

Susana Garcia
 Susana.Garcia@dshs.texas.gov
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

Patty Melchior
 Patty.Melchior@dshs.texas.gov
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

Manda Hall
 manda.hall@dshs.texas.gov
 Security Level: Email, Account Authentication
 (None)

Electronic Record and Signature Disclosure:
 Not Offered via Docusign

In Person Signer Events

Signature

Timestamp

Editor Delivery Events

Status

Timestamp

Agent Delivery Events	Status	Timestamp
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Intermediary Delivery Events	Status	Timestamp
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Certified Delivery Events	Status	Timestamp
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Carbon Copy Events	Status	Timestamp
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Homero Cantu hcantu@ci.laredo.tx.us Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign Matthew Welter Matthew.Welter@dshs.texas.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign CMS Internal Routing Mailbox CMS.InternalRouting@dshs.texas.gov Security Level: Email, Account Authentication (None) Electronic Record and Signature Disclosure: Not Offered via DocuSign	<div style="border: 2px solid blue; padding: 5px; display: inline-block;">COPIED</div>	Sent: 4/20/2026 8:20:05 AM
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Witness Events	Signature	Timestamp
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Notary Events	Signature	Timestamp
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Envelope Summary Events	Status	Timestamps
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Envelope Sent	Hashed/Encrypted	4/20/2026 8:20:05 AM
Envelope Updated	Security Checked	5/20/2026 10:19:16 AM
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Envelope Updated	Security Checked	5/20/2026 10:19:17 AM
Envelope Updated	Security Checked	5/20/2026 10:19:17 AM

Payment Events	Status	Timestamps
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A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, AUTHORIZING THE CITY MANAGER TO ACCEPT AND ENTER INTO A CONTINUATION CONTRACT FROM THE DEPARTMENT OF STATE SERVICES FOR THE DIABETES PREVENTION AND CONTROL PROGRAM GRANT, FOR A TOTAL AWARD OF \$125,000.00, WITH NO MATCH FOR THE CITY OF LAREDO PUBLIC HEALTH DEPARTMENT FOR THE TERM PERIOD FROM SEPTEMBER 01, 2026 THROUGH AUGUST 31, 2027. FUNDS WILL BE ACCOUNTED FOR IN THE LAREDO PUBLIC HEALTH DEPARTMENT FUND – DIABETES PREVENTION AND CONTROL PROGRAM GRANT.

WHEREAS, The City of Laredo Public Health Department is continuing its contract with Department of State Health Services for the Diabetes Prevention and Control Grant. Through this agreement, the Public Health Department will continue to implement diabetes self-management education and diabetes prevention support classes, using a culturally-appropriate, evidence-based curriculum targeting underserved populations in Webb County. Through this award, the Laredo Public Health Department is able to maintain a bidirectional internal referral system and engage key stakeholders to provide input on services and outcomes.

NOW, THEREFORE BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: The City Manager is hereby authorized to accept and enter into a continuation contract from the Department of State Health Services for the Diabetes Prevention and Control Program Grant, for a total award of \$125,000.00, with no match for the City of Laredo Public Health Department for the term period from September 01, 2026 through August 31, 2027. Funding is available in the Diabetes Prevention and Control Program Grant.

Section 2: Funding is available in revenue account 226-0000-323-4021 and the expenditure division is 226-6044 with project number HEDP07.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS _____ DAY OF _____, 2026.

**DR. VICTOR D. TREVINO
MAYOR**

ATTEST:

MARIO I. MALDONADO JR.
CITY SECRETARY

APPROVED AS TO FORM
DOANH T. NGUYEN, CITY ATTORNEY

AMBER R. HOLMES
ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 50.

SUBJECT

A resolution authorizing the City Manager to submit a grant application to the American Conversation Project for the American Conversation Project for Libraries, in the estimated total amount of \$500.00 per six (6) month term, with no match for the City of Laredo Public Library Department for a six (6) month term, from June 19, 2026, through November 30, 2026, for a total estimated amount not to exceed \$500.00; and further authorizing the City Manager to execute all documents resulting from the award of this grant. Any funding as a result of this application will be appropriated in the Laredo Public Library Department - General Fund.

PREVIOUS COUNCIL ACTION

Click or tap here to enter text.

BACKGROUND

The American Conversation Project is a nonpartisan initiative designed to engage communities in a new kind of conversation.

The American Conversation Project is a nonpartisan initiative led by the National Conference on Citizenship.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies): Goal 10.1 Support the improvement of the education system of Laredo through coordination of efforts across all agencies.

Summary of alignment: This initiative teaches librarians and public servants to have meaningful conversations and express wants, needs, and desires of its constituents. These stories and conversations will allow the Laredo Public Libraries further insight into what its community wants and needs from its city.

COMMITTEE RECOMMENDATION

The Committee supports the approval this application.

STAFF RECOMMENDATION

Staff recommend the approval of this application.

Fiscal Impact

Fiscal Year:

Click or tap here to enter text.

Budgeted Y/N?:

Click or tap here to enter text.

Source of Funds: [Click or tap here to enter text.](#)
Account #: [Click or tap here to enter text.](#)
Change Order: Exceeds 25% Y/N: [Click or tap here to enter text.](#)

FINANCIAL IMPACT:

No financial impact until grant is awarded.

Bring The American Conversation Project to your community: Interest Form

<https://www.americanconversations.org/libraries>

As America marks 250 years, invite your community to a new kind of conversation. Fill out this form to express interest in hosting ACP conversations at your library this Civic Season. It takes about 5 minutes.

About the program:

No surveys. No comment box. Instead, a real conversation — with your neighbors, in your community, about the things that matter most.

As America marks 250 years, the American Conversation Project (ACP) is bringing people together across the country to share stories, listen deeply, and strengthen the bonds that hold us together. This summer — during Civic Season, June 19 through July 4 — libraries across the country will host recorded small-group conversations where neighbors share what's on their minds: what they love about where they live, what feels broken, what they hope for, and how they want to take action.

Those stories don't disappear when the conversation ends. Using a combination of human listening and AI-assisted tools, ACP works with Cortico to surface insights from communities across the country and share them back — so people can hear not just what their neighbors are saying, but what Americans everywhere are thinking and feeling. [*See an example of this work in action.*]

ACP is a nonpartisan initiative led by the National Conference on Citizenship, in partnership with Cortico and a growing coalition of civic, cultural, education, faith, and media organizations.

After you submit your interest, we'll follow up within 5 business days to confirm your spot and share a link to sign up for a facilitator orientation to get you started!

1. What is the name of your library?

Laredo Public Library

2. What is your library's website?

www.laredolibrary.org

3. Library Location

1120 Calton Rd., Laredo, TX, 78041, United States

4. Approximately how many staff members does your library have?

52

5. Library Type

Urban

6. If applicable, what is your library system or consortium name?

Laredo Public Library

Primary Contact and Facilitators

7. Who is the primary contact for this application?* Please include name and title.
Analiza Perez-Gomez, Librarian IV

8. What is the primary contact's email address?*

Agomez3@ci.laredo.tx.us

9. Please list the name(s) and role(s) of staff or community volunteers you are nominating to facilitate these ACP conversations (if different from primary contact).*

Self

10. Are the facilitator nominees library staff, community volunteers, or both?*

Library Staff

Conversation Commitment

11. How many ACP conversations are you planning to host?*

Convening partner (3-4: \$500)

12. Do you have an existing program or gathering you'd like to weave this into?*

Yes. Adult book Clubs and Adult Craft and Art Programs

13. Why is ACP a good fit for your community right now?* 2–3 sentences is fine.

The Laredo Public Library has seen an increase in both the number of adult programs offered and attendance in these programs. In addition, patrons have expressed satisfaction in the quality of the programs and the opportunity to connect with others.

Logistics

14. How did you hear about ACP?*

Social Media

15. Are you interested in the optional AI Sensemaking Certificate opportunity?* If you indicate your interest, you / someone from your team will explore and curate meaningful moments from the conversations you collect using Cortico's platform — lifting up voices and sharing stories with a wider audience. We will support your participation with a stipend of \$75 per conversation.

Time commitment: Variable depending on # of conversations between August – November 2026.

What's involved: Listening back to your recorded conversations and using Cortico's platform to explore what was said, surface resonant moments, and share them with a wider audience. Cortico will provide full initial training and ongoing support.

Tools & skills needed: A computer and reliable internet connection; no prior research or data experience required.

Yes.

Submitted via Google Forms on 05/06/26

RESOLUTION # 2026-R-

AUTHORIZING THE CITY MANAGER TO SUBMIT AN APPLICATION TO THE AMERICAN CONVERSATION PROJECT FOR THE AMERICAN CONVERSATION PROJECT FOR LIBRARIES, IN THE ESTIMATED TOTAL AMOUNT OF \$500.00 PER SIX (6) MONTH TERM, WITH NO MATCH FOR THE CITY OF LAREDO PUBLIC LIBRARY DEPARTMENT FOR A SIX (6) MONTH TERM, FROM JUNE 19, 2026, THROUGH NOVEMBER 30, 2026, FOR A TOTAL ESTIMATED AMOUNT NOT TO EXCEED \$500.00; AND FURTHER AUTHORIZING THE CITY MANAGER TO EXECUTE ALL DOCUMENTS RESULTING FROM THE AWARD OF THIS GRANT. ANY FUNDING AS A RESULT OF THIS APPLICATION WILL BE APPROPRIATED IN THE LAREDO PUBLIC LIBRARY DEPARTMENT - GENERAL FUND.

WHEREAS, the City of Laredo Public Libraries wish to apply for this funding opportunity for the American Conversations Project Through this award, the City of Laredo Public Libraries will be able to engage in small-group conversations about what is on the community’s mind: what they love about where they live, what needs improvement, what their hopes are, and how they would like to act. These conversations will be utilizing a combination of human and AI-assisted tools.

WHEREAS, the Assistant Library Director recommends the approval of this submission.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

SECTION 1: The City Manager is hereby authorized to submit a grant application to the American Conversation Project for the American Conversation Project for Libraries, in the estimated total amount of \$500 per six (6) month term, with no match for the City of Laredo Public Library Department for a six (6) month term, from June 19, 2026, through November 30, 2026, for a total estimated amount not to exceed \$500.00; and further authorizing the City Manager to execute all documents resulting from the award of this grant. Any funding as a result of this application will be appropriated in the Laredo Public Library Department – General Fund.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

JOAQUIN A. RODRIGUEZ
FIRST ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 51.

SUBJECT

Consideration to authorize the purchase contract with Motorola Solutions in the amount of \$155,000.00 for the purchase of pole camera system hardware, software and operational services. This purchase shall be made using Sourcewell Mobile Video Contract No. 101223-MOT. Funding is available in the Financial Task Force Fund.

PREVIOUS COUNCIL ACTION

None

BACKGROUND

Authorization is requested to purchase pole camera system hardware, software and operational services from Motorola Solutions. This is a multi-agency project, ensuring that multiple departments and public safety entities will benefit from the system's capabilities.

Upfront Costs - \$143,988.35

Yr. 2 Fee - \$3,499.23

Yr. 3 Fee - \$3,499.23

Yr. 4 Fee - \$3,499.23

Yr. 5 Fee - \$513.98

Total System Price - \$155,000.00

COMMITTEE RECOMMENDATION

None

STAFF RECOMMENDATION

It is recommended that this purchase be authorized.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Grant
Account #:	223-2308
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Funding is available in the Financial Task Force Fund. Project# FTF25



LAREDO POLICE DEPT, CITY OF

Laredo PD, International Bridge Project, Combined Bridges 1,2 and 3

05/04/2026

Billing Address:
 LAREDO POLICE DEPT, CITY OF
 4712 MAHER AVE
 LAREDO, TX 78041
 US

Shipping Address:
 LAREDO POLICE DEPT, CITY OF
 4712 MAHER AVE
 LAREDO, TX 78041
 US

Quote Date:05/04/2026
 Expiration Date:07/28/2026
 Quote Created By:
 Kevin Lamel
 Kevin.Lamel@
 motorolasolutions.com

End Customer:
 LAREDO POLICE DEPT, CITY OF
 Ernesto Martel
 emartel@ci.laredo.tx.us
 (956) 489-9416

Contract: 36874 - SOURCEWELL MOBILE
 VIDEO-101223-MOT
 Freight Terms:FREIGHT PREPAID
 Payment Terms:30 NET

Line #	Item Number	APC	Description	Qty	Term	List Price	Ext. Sale Price
	Fixed / Dual LPR System Purchase		Gateway to the Americas, Bridge 1				
1	VSM-L6D-7IR	0650	CAM, L6D, LPR, 730NM	2		\$7,495.00	\$8,110.76
2	VSD-PLMT	0650	POLE MOUNT FOR LRGE PENDT WLMT-1001, L6D	2		Included	Included
3	VSM-5GHUB-4	0650	CAM, COMMS, 5G, 4 CAMERAS	1		\$3,195.00	\$1,728.74
4	BCAH1WW	0692	VIGILANT FIXED CAMERA COMMUNICATIONS BOX - EXTENDED HARDWARE WARRANTY - FOR ADDITIONAL YEAR	1	4 YEARS	Included	Included
5	CDFS-HWW	0692	FIXED CAMERA LPR SYSTEM EXTENDED HARDWARE WARRANTY - VALID FROM STANDARD WARRANTY EXPIRATION	2	4 YEARS	\$1,680.00	\$1,818.02
6	VS-DLF-01	0693	DEVICE LICENSE FEE	2	5 YEAR	\$2,374.80	\$2,569.90
7	PDS-LPR-IO	0665	PROJECT DELIVERY SERVICES-LPR	1		\$1,818.03	\$747.74
8	HRDWR-INST-IO	0665	INSTALLATION AND UPS	1		\$9,106.03	\$9,106.03



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.
 Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 - #: 36-1115800

Line #	Item Number	APC	Description	Qty	Term	List Price	Ext. Sale Price
	Fixed / Dual LPR System Purchase		Juarez-Lincoln International Bridge, Bridge 2				
9	VSF-50876	0650	VSF-025-L5F-L5F 25MM FXD KIT W CBL	12		\$6,495.00	\$38,508.36
10	VSD-36450	9944	VS-FX-DUAL-BRKT-ASSY-DUAL CAM BRKT ASSY	6		\$400.00	\$602.52
11	CDFS-HWW	0692	FIXED CAMERA LPR SYSTEM EXTENDED HARDWARE WARRANTY - VALID FROM STANDARD WARRANTY EXPIRATION	12	4 YEARS	\$1,680.00	\$10,122.96
12	VS-DLF-01	0693	DEVICE LICENSE FEE	12	1 YEAR	\$474.96	\$14,309.52
13	PDS-LPR-IO	0665	PROJECT DELIVERY SERVICES-LPR	1		\$4,490.00	\$3,106.64
14	HRDWR-INST-IO	0665	HARDWARE INSTALLATION	1		\$13,031.25	\$12,510.00
	Fixed / Dual LPR System Purchase		Laredo Columbia Solidarity Bridge, Bridge 3				
15	VSM-L6D-7IR	0650	CAM, L6D, LPR, 730NM	3		\$7,495.00	\$12,047.73
16	VSD-PLMT	0650	POLE MOUNT FOR LRGE PENDT WLMT-1001, L6D	3		Included	Included
17	VSM-5GHUB-4	0650	CAM, COMMS, 5G, 4 CAMERAS	1		\$3,195.00	\$2,875.50
18	BCAH1WW	0692	VIGILANT FIXED CAMERA COMMUNICATIONS BOX - EXTENDED HARDWARE WARRANTY - FOR ADDITIONAL YEAR	1	4 YEARS	Included	Included
19	CDFS-HWW	0692	FIXED CAMERA LPR SYSTEM EXTENDED HARDWARE WARRANTY - VALID FROM STANDARD WARRANTY EXPIRATION	3	4 YEARS	\$1,680.00	\$4,536.00
20	VS-DLF-01	0693	DEVICE LICENSE FEE	3	5 YEAR	\$2,374.80	\$6,411.96
21	PDS-LPR-IO	0665	PROJECT DELIVERY SERVICES-LPR	1		\$4,375.00	\$4,375.00
22	HRDWR-INST-IO	0665	HARDWARE INSTALLATION	1		\$3,531.25	\$3,531.26
	L6Q Quick-Deploy System Purchase						
23	VSF-61-984	0650	KIT, L6Q 25MM AND SOLAR PANEL CAT 1 18AH	2		\$6,495.00	\$11,691.00
24	VS-DLF-01	0693	DEVICE LICENSE FEE	2	5 YEAR	\$2,374.80	\$4,274.64



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.
Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 - #: 36-1115800

Line #	Item Number	APC	Description	Qty	Term	List Price	Ext. Sale Price
25	CDFS-L6Q-HWW-01	0692	FIXED L6Q CAMERA SYSTEM EXTENDED HARDWARE WARRANTY - VALID FROM STANDARD WARRANTY EXPIRATION	2	4 YEARS	\$1,119.84	\$2,015.72

Subtotal \$226,669.36

Total Discount Amount \$71,669.36

Grand Total \$155,000.00(USD)



Pricing Summary

	Sale Price
Upfront Costs for Hardware, Accessories and Implementation (if applicable)	\$143,988.35
Year 2 Subscription Fee	\$3,499.23
Year 3 Subscription Fee	\$3,499.23
Year 4 Subscription Fee	\$3,499.23
Year 5 Subscription Fee	\$513.98
Grand Total System Price (Inclusive of Upfront and Annual Costs)	\$155,000.00

**Upfront costs include the cost of Hardware, Accessories and Implementation, where applicable.*

- The Pricing Summary is a breakdown of costs and does not reflect the frequency at which you will be invoiced.



L6D SOLUTION DESCRIPTION

L6D DUAL PURPOSE LPR CAMERA

The L6D Dual Purpose License Plate Recognition (LPR) Camera for law enforcement provides purpose-built LPR and video streaming all in one. Set it up with your mobile phone and use zoom for easy installation. The camera provides two lane high-accuracy detections and alerts of plate, state, make, model, color, direction of travel and speed.



Key features and benefits:

- **Global Shutter Sensors** - scan across two lanes with high accuracy.
- **Dual Zoom Lenses** - for deployments 30 to 250 feet.
- **Onboard Analytics** - make, model, color, plate, state, direction and speed.
- **VehicleManager** - a seamless experience from camera to software backend.
- **ONVIF Profile S** - compatible with your video management system (VMS) for video recording.
- **Comprehensive Data Management:** to easily create and manage hotlists and receive immediate notifications and alerts. VehicleManager simplifies system management and provides comprehensive searching and reporting capabilities, making it easier to locate vehicles of interest.
- **Advanced Software Integration:** seamlessly pair the L6D with VehicleManager for law enforcement and VehicleManager Enterprise for enterprise solutions. These software integrations offer advanced vehicle location analytics, secure data sharing, and third-party integration, maximizing the utility of your LPR data.



Purchase Order Checklist NA OM

Marked as PO/ Contract/ Notice to Proceed on Company Letterhead (PO will not be processed without this)
PO Number/ Contract Number
PO Date
Vendor = Motorola Solutions, Inc.
Payment (Billing) Terms/ State Contract Number
Bill-To Name on PO must be equal to the <i>Legal</i> Bill-To Name
Bill-To Address
Ship-To Address (If we are shipping to a MR location, it must be documented on PO)
Ultimate Address (If the Ship-To address is the MR location then the Ultimate Destination address must be documented on PO)
PO Amount must be equal to or greater than Order Total
Non-Editable Format (Word/ Excel templates cannot be accepted)
Tax Exemption Status
Signatures (As required)

NOTE: When an email order is submitted a confirmation is sent from Motorola AutoNotify referencing a **case number**.

Once checklist is complete, order still must go through **Order Validation/Credit Approval**

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 52.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to accept a grant in the amount of \$1,602,116.00 from the Office of The Governor, Homeland Security Grants Division (HSGD) for the purpose of funding the 2025 Operation Stonegarden Grant (OPSG). This funding will be used for the purchase of patrol vehicles, equipment, and overtime expenses used for Stonegarden Operations. No local match is required. Funding is accounted for in the Special Police Fund.

PREVIOUS COUNCIL ACTION

Resolution 2026-R-076 to submit grant application was approved by Council on March 16, 2026.

BACKGROUND

The US. Border Patrol, Laredo Sector, Webb County Sheriff's Office (WCSO) and Laredo Police Department (LPD) will combine efforts to bolster Homeland Security related efforts in the Laredo Sector Area of Responsibility (AOR).

Historically, WCSO and LPD have diligently coordinated their efforts with the Office of Border Patrol Laredo Sector to safeguard the country's borders. In the first Operation Stonegarden, WCSO and LPD participated in joint ventures to increase visibility in pursuit of an elevated level of homeland security. This year, LPD and WCSO will continue to provide 2nd-Tier, force-multiplier assets to work in partnership with the Laredo Sector Border Patrol Stations. Operation Laredo Region Stonegarden encompasses the core elements of the National Border Patrol Strategy.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Recommends that City Council approve this resolution.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Special Police
Account #:	229-2359
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Funding is available in the Special Police Fund. Project OPST26, OPDI26, OPMA26, and OPEQ26.

RESOLUTION 2026-R-137

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS, AUTHORIZING THE CITY MANAGER TO ACCEPT A GRANT IN THE AMOUNT OF \$1,602,116.00 FROM THE OFFICE OF THE GOVERNOR, HOMELAND SECURITY GRANTS DIVISION (HSGD) FOR THE PURPOSE OF FUNDING THE 2025 OPERATION STONEGARDEN GRANT (OPSG). THIS FUNDING WILL BE USED FOR THE PURCHASE OF PATROL VEHICLES, EQUIPMENT, AND OVERTIME EXPENSES USED FOR STONEGARDEN OPERATIONS. NO LOCAL MATCH IS REQUIRED. FUNDING IS ACCOUNTED FOR IN THE SPECIAL POLICE FUND.

Whereas, the City of Laredo finds it in the best interest of the citizens of Laredo that the 2025 Operation Stonegarden be operated for the March 01, 2026 to February 28, 2027 grant year; and

Whereas, the City of Laredo use these funds to execute special operations related to homeland security; and

Whereas, the City of Laredo has agreed that in the event of loss or misuse of the Office of the Governor funds, the City of Laredo assures that the funds will be returned to the Office of the Governor in full; and

Whereas, the City of Laredo designates the City Manager as the grantee's authorized official. The authorized official is given the power to apply for, accept, reject, alter or terminate this grant on behalf of the applicant agency; and

Whereas, the City of Laredo designates the Financial Services Administrator as the grantee's financial officer. The financial officer is given the power to submit financial reports or alter a grant on behalf of the applicant agency.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Authorizing the City Manager to accept a grant in the amount of \$1,602,116.00 from the Office of The Governor, Homeland Security Grants Division (HSGD) for the purpose of funding the 2025 Operation Stonegarden Grant (OPSG). This funding will be used for the purchase of patrol vehicles, equipment, and overtime expenses used for Stonegarden Operations. No local match is required. Funding is accounted for in the Special Police Fund.

Section 2: It authorizes the City Manager to execute all necessary forms and documents to obtain said grant and to effectuate its terms.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

Grant Number: 3075311

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

JOAQUIN A. RODRIGUEZ
FIRST ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 53.

SUBJECT

Consideration and possible action to approve an amended resolution clarifying language contained in the Whereas clauses of the previously approved resolution #2026-R-96, a Resolution of the City Council of the City of Laredo, Texas, authorizing the City Manager to submit a grant application in the estimated amount of \$2,406,945.00 to the Texas Motor Vehicle Crime Prevention Authority (MVCPA) for the FY27 SB224 Catalytic Converter Grant for the period of September 1, 2026 through August 31, 2027. The purpose of this grant program is to provide additional funding for the Laredo Auto Theft Task Force/Laredo Police Department for the detection and prevention of catalytic converter theft. This grant will pay for the salaries of a Public Information Specialist, a full-time Assistant District Attorney, technology, training, and overtime. The city's cash match will be \$503,270.00 for a total grant amount of \$2,910,216.00. If awarded, funding will be appropriated in the Auto Theft Task Force Fund.

PREVIOUS COUNCIL ACTION

City Council approved Resolution #2026-R-96 on April 20, 2026.

BACKGROUND

The Motor Vehicle Crime Prevention Authority (MVCPA) has authorized the issuance of the Fiscal Year 2027 (FY27) Request for Applications (RFA). Senate Bill 224 (SB) 224 provides that "The money deposited to the credit of the general revenue fund for coordinated regulatory and law enforcement activities intended to detect and prevent catalytic converter theft in this state may be appropriated to the Authority for the activities required by this section." To implement SB 224, the MVCPA is providing grants to local law enforcement taskforces and agencies to combat Catalytic Converter Theft.

COMMITTEE RECOMMENDATION

None.

STAFF RECOMMENDATION

Recommends the approval of this Resolution.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Grant
Account #:	222-2348
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

Funding will be available in the Auto Theft Task Force Fund.

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 54.

SUBJECT

A Resolution authorizing the City Manager to enter into and execute a Memorandum of Understanding (MOU) between the City of Laredo Police Department (LPD); and the Webb County Sheriff's Office (WCSO); Webb & Zapata County District Attorney's Office (WZCDAO); Department of Public Safety of the State of Texas, South Texas Region (DPS); U.S. Department of Justice, Bureau of Alcohol, Tobacco, Firearms, and Explosives, San Antonio Field Division (ATF); U.S. Department of Justice, Drug Enforcement Administration, Laredo Division (DEA); U.S. Department of Justice, Federal Bureau of Investigation, San Antonio Division (FBI); U.S. Department of Homeland Security, Immigration and Customs Enforcement, Homeland Security Investigations, San Antonio Field Office (HSI); U.S. Department of Homeland Security, Customs and Border Protection, Office of Field Operations, Laredo Division (OFO); U.S. Department of Justice, United States Attorney's Office, Southern District of Texas (USAO); U.S. Department of Homeland Security, Customs and Border Protection, Border Patrol, Laredo Sector (USBP); U.S. Marshal's Service, Southern District of Texas (USM); and Laredo Independent School District Police (LISD Police) for the purpose of continuing the Laredo Texas Anti-Gang Center (TAG Center) that was funded and established in FY2022. The main purpose of the TAG Center is to combat the shared threat of criminal organizations operating in and affecting the region.

PREVIOUS COUNCIL ACTION

On March 21, 2022, the Laredo City Council authorized the City Manager to enter into and execute a Memorandum of Understanding establishing the Laredo Texas Anti-Gang Center in FY2022 after the City of Laredo had been awarded a grant from the Office of the Governor's Public Safety Office.

BACKGROUND

The Laredo Texas Anti-Gang Center (TAG Center) is a state-of-the-art facility in which representatives from participating agencies (LPD, WCSO, WZCDAO, DPS, ATF, DEA, FBI, HSI, OFO, USAO, USBP, USM, and LISD Police) co-locate to cooperate and collaborate more efficiently and effectively on intelligence, investigatory, and operational activities related to combating the shared threat of criminal organizations operating in and affecting the region surrounding and including Laredo, Texas. Cooperation among these different law enforcement agencies in addressing the threat posed by criminal organizations further the ability of these agencies to fulfill their mission, which consequently, furthers the public good.

COMMITTEE RECOMMENDATION

None.

STAFF RECOMMENDATION

Recommends the approval of this Resolution.

Fiscal Impact

Fiscal Year: 2026
Budgeted Y/N?: N/A
Source of Funds: N/A
Account #: N/A
Change Order: Exceeds 25% Y/N: N/A

FINANCIAL IMPACT:

No financial impact.

MEMORANDUM OF UNDERSTANDING
AMONG THE CONSTITUENT
ORGANIZATIONS OF THE
LAREDO
TEXAS ANTI-GANG CENTER

I. Background and Purpose

Due to various factors, the region surrounding and including Laredo, Texas is a primary center for gangs and other organizations engaged in serious criminal activity. Multiple law enforcement agencies at the federal, state, and local level are responsible for the investigation and prosecution of these criminal organizations. Cooperation among these different law enforcement agencies in addressing the threat posed by criminal organizations furthers the ability of these agencies to fulfill their mission, which, consequently, furthers the public good. The agencies listed in this MOU previously agreed to establish the Laredo, Texas Anti-Gang Center (TAG Center). The TAG Center is a state-of-the-art facility in which representatives from these law enforcement agencies co-locate to cooperate and collaborate more efficiently and effectively on intelligence, investigatory, and operational activities related to combating the shared threat of criminal organizations operating in and affecting the region.

II. Mission Statement

The mission of the TAG Center is to further the ability of law enforcement agencies to identify, deter, disrupt, and dismantle criminal organizations operating in or affecting Laredo, Texas and the surrounding region.

III. Structure

A. Constituent Organizations

- (1) City of Laredo Police Department (LPD);
- (2) Webb County Sheriff's Office (WCSO);
- (3) Webb & Zapata County District Attorney's Office (WZCDAO);
- (4) Department of Public Safety of the State of Texas, South Texas Region (DPS);
- (5) U.S. Department of Justice, Bureau of Alcohol, Tobacco, Firearms, and Explosives (ATF), Houston Field Division;
- (6) U.S. Department of Justice, Drug Enforcement Administration, Laredo Division (DEA);
- (7) U.S. Department of Justice, Federal Bureau of Investigation, San Antonio Division (FBI);
- (8) U.S. Department of Homeland Security, Immigration and Customs Enforcement, Homeland Security Investigations, San Antonio Field Office (HSI);

- (9) U.S. Department of Homeland Security, Customs and Border Protection, Office of Field Operations, Laredo Division (OFO);
- (10) U.S. Department of Justice, United States Attorney's Office, Southern District of Texas (USAO);
- (11) U.S. Department of Homeland Security, Customs and Border Protection, Border Patrol, Laredo Sector (USBP);
- (12) U.S. Department of Justice, U.S. Marshals Service, Southern District of Texas (USM) (non-voting member);
- (13) Laredo Independent School District, Police Department (LISD) (non-voting member).

B. TAG Components

- (1) Executive Board. The TAG Center is governed by an executive board (Board) made up of a representative of each of the Constituent Organizations, each having an equal vote on all matters before the Board. Only the Board has authority to take any action with respect to the TAG Center as long as the action complies with this MOU and applicable law. The Board meets quarterly, or as needed. Quorum is three-fourths of all Constituent Organizations. When possible, the Board prefers to approve decisions through unanimous consent, but may approve matters before it by a two-thirds vote of members present. An individual member of the Board may participate in meetings by designating a specific individual to serve as a proxy for that member. The proxy has the same authority as the member to act on behalf of the Constituent Organization.
- (2) Supervisors' Working Group. A Supervisors' Working Group is made up of the first and second-line supervisors for each Constituent Organization working at the TAG Center. The purpose of the Supervisors' Working Group is to provide an established forum to address issues related to the interaction of the Constituent Organizations on an informal basis. The Supervisors' Working Group does not have authority to make a binding decision on behalf of the TAG Center, but may make recommendations to the Board. The Supervisors' Working Group meets at least monthly.
- (3) Informal Working Groups. To facilitate a productive and organized working environment, the Constituent Organizations may choose to form other informal working groups to discuss issues of common interest. Informal working groups may be formed without the approval of the Board. Informal working groups do not have authority to make a binding decision on behalf of the TAG Center. Informal working groups may make recommendations to the Board.

- C. Administrator. Subject to the availability of funding, the TAG Center will have an administrator. The Administrator is responsible for ensuring the day-to-day functioning of the TAG Center, including overseeing facilities, equipment, and security. The Administrator will oversee all reporting in connection with grant awards and have administrative authority to coordinate meetings and satisfy grant requirements. The Administrator will perform any other duties assigned by the Board. The Administrator will not have any operational or command authority over any of the Constituent Organizations or any employee or contractor. The Board will recommend the selection of the Administrator. LPD, who holds the fiduciary responsibility of the TAG grant, in conjunction with the Board, will oversee the Administrator's performance. LPD, as the fiduciary, will have final authority on all parties regarding the performance and selection of the Administrator.

- D. Agency Personnel. Each Constituent Organization will be entitled to have its employees or contractors working at the TAG Center as long as they are approved by the Board. Individuals working at the TAG Center remain as employees, task force officers, or contractors of the Constituent Organization, and are subject to the Constituent Organization's exclusive control. Any Constituent Organization may include individuals who are employees or contractors of another governmental entity that is not a Constituent Organization only if those individuals are detailed to that Constituent Organization or subject to the control of that Constituent Organization as part of a joint task force or Multi- agency operational unit and if permitted under a separate agreement for purposes related to the mission of the TAG Center. In such cases, that Constituent Organization will be responsible for those individuals to the same extent as the Constituent Organization's employees.

IV. Commitments of the Constituent Organizations

Each Constituent Organization commits to further the mission of the TAG Center by acting with a general spirit of cooperation and collaboration with the other Constituent Organizations on matters related to the TAG Center, and specifically by:

- A. Identifying and pursuing opportunities to improve the sharing of information in its possession that is related to the mission of the TAG Center with other Constituent Organizations;
- B. Identifying and pursuing opportunities to collaborate with other Constituent Organizations on the gathering, analysis and reporting of intelligence related to criminal organizations operating in or affecting the region; and
- C. Identifying and pursuing opportunities to coordinate with other Constituent Organizations on the prioritization, planning, execution, and review of investigations and operational activities related to the mission of the TAG Center. The goal is to maximize the disruption of activities that pose a danger to the public, ensure the successful prosecution of those committing criminal offenses, and increase intelligence sharing on criminal organizations operating in or affecting the region.

V. Activities

Constituent Organizations' conduct and activity related to the mission of the TAG Center is performed exclusively under the respective Constituent Organizations' independent authorities. This MOU does not transfer or bestow any legal authority to any individual or entity, provide for the deputization of any individual or entity, or establish any unified or shared chain-of- command. Nothing in this MOU authorizes any Constituent Organization, or any group of Constituent Organizations, to require any other Constituent Organization to undertake any operational, investigatory, or intelligence-related activity.

VI. Information Management

- A. Further Dissemination of Information. Unless otherwise provided for by law or separate agreement, Constituent Organizations may not disseminate any information shared at or in connection with the TAG Center by any of the Constituent Organizations without the written consent of the Constituent Organization from which the information originated.
- B. Information Requests. Each Constituent Organization remains individually responsible for processing any external requests for information related to the TAG Center that is directed to it whether such request is

regarding the legal release of federal or state public information, discovery in the context of legal proceedings, or otherwise. To the extent that such requests encompass information that originated from another Constituent Organization, the Constituent Organization processing that request will consult with the Constituent Organization from which the information originated prior to releasing the information, Constituent Organizations must notify the Administration of all information requests it receives related to the TAG Center.

- C. Media Communications. The Board may designate one of the Constituent Organizations or a specific individual to serve as the primary media point-of-contact for the TAG Center. The Board may make a designation on a case-by-case basis to correspond with specific activities. Any statements or releases of information to the media or responses to media inquiries on behalf of the TAG Center will be made exclusively by the Board's designated point-of-contact, or, if none, by LPD. Each Constituent Organization, however, may independently make a statement or release of information to the media to respond to media inquiries with respect to any activities of the respective organization that relate to the TAG Center.

VII. Facilities, Equipment, and Supplies

- A. Use and Control. The Board will specify terms or conditions regarding the use and disposition of any facilities, equipment or supplies that are provided for common use by the Constituent Organizations at the TAG Center, subject, however, to any existing legal rights regarding the ownership or control of any such facilities, equipment, or supplies. Nothing in this MOU authorizes any Constituent Organization to exercise any control over the property of another Constituent Organization without consent merely because such property is located at the TAG Center.
- B. Security of the TAG Facility. Dissemination of any sensitive confidential information by the Constituent Organizations of details regarding the TAG Center that could compromise the security of law enforcement personnel or law enforcement activity, including dissemination of the TAG Center's location, security features, and technological capabilities, should be limited to those individuals with a mission-related need-to-know basis. No Constituent Organization may receive any mail, parcels, or packages at the TAG Center. No Constituent Organization may allow the physical presence of any arrestees, suspects, informants, witnesses, or victims at the TAG Center. The Board will specify procedures for admitting guests to the common areas of the TAG Center.

VIII. Funding

- A. TAG Center. Grant funds awarded to LPD, as the fiscal agent, from the Texas Office of the Governor's Criminal Justice Division (CJD) is the source of the funding for the TAG Center. Except as otherwise provided in this MOU, no Constituent Organization is obligated to provide funding in support of the TAG Center.
- B. Personnel, Activities and Basic Equipment. Individuals working at the TAG Center remain as employees or contractors of their respective Constituent Organization. The Constituent Organization retains full responsibility for providing any compensation and benefits owed to its personnel for work performed in connection with the TAG Center. Each Constituent Organization will bear its own costs in performing any activity related to the TAG Center, and will not seek reimbursement from any other Constituent Organization, unless it is travel that has been previously approved by LPD. Each Constituent Organization remains responsible for providing, at its own expense, any basic equipment or supplies to its personnel

working at the TAG Center that are necessary for those individuals to perform their duties, to the extent such equipment or supplies are not otherwise provided.

- C. Enhanced Security or Specialized Equipment. To the extent any Constituent Organization requires its allotted physical space at the TAG Center to be enhanced with additional security features or requires any specialized equipment or supplies beyond that which is provided to all Constituent Organizations, the Constituent Organization requiring such enhancements or additional materials will be solely responsible for all costs.

- D. Compliance with Funding Terms. The funds for the TAG Center are to be utilized under the applicable rules of the grant award, to which rules are specifically stated under the CJD's Guide to Grants produced by the Governor's Office. Therefore, the Board may not directly utilize TAG funding unless the Board goes through the existing rules that are applicable to the Constituent Organization holding fiduciary responsibility, currently LPD.

IX. Liability and Indemnification

Each Constituent Organization is responsible for its own actions, including that of its personnel or contractors that are performed in connection with the TAG Center. Any liability arising from the actions of the Constituent Organization will be borne solely by the Constituent Organization that performed the action creating the liability.

X. Lead Organization

Any actions that must be performed on behalf of the TAG Center and that are not clearly the responsibility of any individual Constituent Organization and cannot be performed by the Administrator will be, unless otherwise provided by the Board, the responsibility of LPD as the fiscal agent.

XI. Effective Date and Termination

This MOU replaces the existing TAG Center MOU including Addendums and takes effect upon full execution. This MOU terminates four years after the date of execution.

XII. Amendments

All Constituent Organizations must mutually agree to any amendments in writing.

XIII. Addition to and Withdrawal from the TAG Center

- A. Additions. Additional agencies may be invited or request to have a physical presence at the TAG Center with the majority approval (two-thirds) of Constituent Organizations. If that additional agency requesting a physical presence is also invited to serve on the Board and become a Constituent Organization, unanimous Board approval is required. Any additions to the list of Constituent Organizations provided in this MOU may occur by a written amendment signed by all Constituent Organizations then existing and the joining organization. In the event any additional agencies agree and are approved to become a Constituent Organization of the TAG Center, the joining organization will be considered a Constituent Organization for purposes of this MOU, any reference to "Constituent Organizations" in this MOU will be construed as including the joining organization, and any policies or procedures previously adopted and applicable to all Constituent Organizations will be equally applicable to the joining organization. Should the joining Constituent Organization offer any additional resources, assets, or personnel belonging to the

joining Constituent Organization, the joining Constituent Organization will check with the TAG Administrator for space availability and infrastructure support availability.

- B. Withdrawal. Any of the Constituent Organizations may withdraw from the TAG Center upon 30 days' written notice to the Board. Upon the effective date of the withdrawal, the TAG Center will no longer consider the withdrawing organization a Constituent Organization for purposes of this MOU. Any reference to "Constituent Organizations" in this MOU will be construed as not including the withdrawn organization. Any withdrawing organization must return or surrender to the TAG Center any TAG Center provided equipment or supplies upon the effective date of the withdrawal.

XIV. Duration of the TAG Center

The TAG Center continues in effect until dissolved by any of the following actions:

- A. Written agreement signed by all Constituent Organizations;
- B. Operation of law; or
- C. Loss of funding for the TAG Center.

City of Laredo Police Department (LPD)

BY: _____
Signature

Printed Name / City Manager

Date

BY: _____
Signature

Printed Name / Chief of Police

Attested:

BY: _____
Signature

Printed Name / City Secretary

Approved as to form:

BY: _____
Signature

Printed Name / City Attorney

Webb County Sheriff's Office (WCSO)

BY: _____
Signature

Printed Name / Title

Webb and Zapata County District Attorney's Office (WZCDAO)

BY: _____
Signature

Printed Name / Title

Department of Public Safety of the State of Texas, South Texas Region (DPS)

BY: _____
Signature

Printed Name / Title

**U.S. Department of Justice, Bureau of Alcohol, Tobacco, Firearms and Explosives, Houston Field Division
(ATF)**

BY: _____
Signature

Printed Name / Title

U.S. Department of Justice, Drug Enforcement Administration, Laredo Division (DEA)

BY: _____
Signature

Printed Name / Title

U.S. Department of Justice, Federal Bureau of Investigation, San Antonio Field Division (FBI)

BY: _____
Signature

Printed Name / Title

U.S. Department of Homeland Security, Immigration and Customs Enforcement, Homeland Security Investigations San Antonio Field Office (HSI)

BY: _____
Signature

Printed Name / Title

**U.S. Department of Homeland Security, Customs and Border Protection, Office of Field Operations,
Laredo Division (OFO)**

BY: _____
Signature

Printed Name / Title

U.S. Department of Justice, United States Attorney's Office, Southern District of Texas (USAO)

BY: _____
Signature

Printed Name / Title

U.S. Department of Homeland Security, Customs and Border Protection, Border Patrol, Laredo Sector (USBP)

BY: _____
Signature

Printed Name / Title

U.S. Department of Justice, U.S. Marshals Service, Southern District of Texas (USM)

BY: _____
Signature

Printed Name / Title

Laredo Independent School District Police Department (LISD Police)

BY: _____
Signature

Printed Name / Title

RESOLUTION NO. 2026-R-141

AUTHORIZING THE CITY MANAGER TO ENTER INTO AND EXECUTE A MEMORANDUM OF UNDERSTANDING (MOU) BETWEEN THE CITY OF LAREDO POLICE DEPARTMENT (LPD) AND THE WEBB COUNTY SHERIFF'S OFFICE (WCSO), WEBB & ZAPATA COUNTY DISTRICT ATTORNEY'S OFFICE (WZCDAO); DEPARTMENT OF PUBLIC SAFETY OF THE STATE OF TEXAS, SOUTH TEXAS REGION (DPS); U.S. DEPARTMENT OF JUSTICE, BUREAU OF ALCOHOL, TOBACCO, FIREARMS, AND EXPLOSIVES, SAN ANTONIO FIELD DIVISION (ATF); U.S. DEPARTMENT OF JUSTICE, DRUG ENFORCEMENT ADMINISTRATION, LAREDO DIVISION (DEA); U.S. DEPARTMENT OF JUSTICE, FEDERAL BUREAU OF INVESTIGATION, SAN ANTONIO DIVISION (FBI); U.S. DEPARTMENT OF HOMELAND SECURITY, IMMIGRATION AND CUSTOMS ENFORCEMENT, HOMELAND SECURITY INVESTIGATIONS, SAN ANTONIO FIELD OFFICE (HSI), U.S. DEPARTMENT OF HOMELAND SECURITY, CUSTOMS AND BORDER PROTECTION, OFFICE OF FIELD OPERATIONS, LAREDO DIVISION (OFO); U.S. DEPARTMENT OF JUSTICE, UNITED STATES ATTORNEY'S OFFICE, SOUTHERN DISTRICT OF TEXAS (USAO); U.S. DEPARTMENT OF HOMELAND SECURITY, CUSTOMS AND BORDER PROTECTION, BORDER PATROL, LAREDO SECTOR (USBP), US MARSHAL'S SERVICE, SOUTHERN DISTRICT OF TEXAS (USM); AND LAREDO INDEPENDENT SCHOOL DISTRICT POLICE (LISD POLICE). FOR THE PURPOSE OF CONTINUING THE LAREDO TEXAS ANTI-GANG CENTER (TAG CENTER) THAT WAS FUNDED AND ESTABLISHED IN FY2022. THE MAIN PURPOSE OF THE TAG CENTER IS TO COMBAT THE SHARED THREAT OF CRIMINAL ORGANIZATIONS OPERATING IN AND AFFECTING THE REGION.

Whereas, there is evidence that gangs and other organizations engage in serious criminal activity in the city and the surrounding region; and

Whereas, the TAG Center utilizes a collaborative working network of collocated multi-jurisdictional anchor agencies and resources; and

Whereas, the TAG Center maintains an Executive Committee through a cooperative working agreement (CWA); and

Whereas, the Chief of Police recommends the approval of this memorandum of understanding.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Authorizing the City Manager to enter into and execute a Memorandum of Understanding (MOU) between the City of Laredo Police Department (LPD) and the Webb County Sheriff's Office (WCSO); Webb & Zapata County District Attorney's Office (WZCDAO); Department of Public Safety of the State of Texas, South Texas Region (DPS); U.S. Department of Justice, Bureau of Alcohol, Tobacco, Firearms, and Explosives, San Antonio Field Division (ATF); U.S. Department of Justice, Drug Enforcement Administration, Laredo Division (DEA); U.S. Department of Justice, Federal Bureau of Investigation, San Antonio Division (FBI); U.S. Department of

Homeland Security, Immigration and Customs Enforcement, Homeland Security Investigations, San Antonio Field Office (HSI); U.S. Department of Homeland Security, Customs and Border Protection, Office of Field Operations, Laredo Division (OFO); U.S. Department of Justice, United States Attorney's Office, Southern District of Texas (USAO); U.S. Department of Homeland Security, Customs and Border Protection, Border Patrol, Laredo Sector (USBP); U.S. Marshal's Service, Southern District of Texas (USM); and Laredo Independent School District Police (LISD Police). For the purpose of continuing the Laredo Texas Anti-Gang Center (TAG Center) that was funded and established in FY2022. The main purpose of the TAG Center is to combat the shared threat of criminal organizations operating in and affecting the region.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VICTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

DOANH "ZONE" T. NGUYEN
CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Resolution 55.

SUBJECT

A Resolution of the City Council of the City of Laredo, Texas authorizing the City Manager to ratify the acceptance of a grant in the amount of \$29,999.96 from the Texas Department of Transportation for the enforcement of Vehicle Occupant Protection during the "Click It or Ticket" (CIOT) Campaign. The grant period for FY2026 CIOT will begin May 15, 2026 through June 04, 2026. This grant funding is to pay overtime salaries for officers to conduct intense occupant protection enforcement in order to increase occupant restraint use in all passenger vehicles and trucks. The city will be responsible for a required match of \$9,229.95, from the General Fund, for a project total of \$39,299.95. Funding is available in the Special Police Fund.

PREVIOUS COUNCIL ACTION

Resolution 2026-R-67 to submit grant application was approved by Council on March 16, 2026.

BACKGROUND

The Texas Department of Transportation has made a grant entitled "Click it or Ticket" (CIOT) available to the Laredo Police Department. These grant funds will intensify enforcement through overtime that places primary emphasis on increasing the number of citations for non-use of occupant restraints during the annual 'Click It or Ticket' Campaign mobilization. The rationale of this project is to increase occupant restraint use in all passenger vehicles and trucks by conducting and intense occupant protection enforcement and public information and education effort during the grant performance period.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Recommends that Council approves this resolution.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Special Police
Account #:	229
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

The Texas Department of Transportation FY2026 CIOT grant will be in the amount of \$29,999.96 with

a required match of \$9,299.99 for a total project amount of \$39,299.95.

Funding is available in the Special Police Fund.

RESOLUTION 2026-R-144

AUTHORIZING THE CITY MANAGER TO RATIFY THE ACCEPTANCE OF A GRANT IN THE AMOUNT OF \$29,999.96 FROM THE TEXAS DEPARTMENT OF TRANSPORTATION FOR THE ENFORCEMENT OF VEHICLE OCCUPANT PROTECTION DURING THE “CLICK IT OR TICKET” (CIOT) CAMPAIGN. THE GRANT PERIOD FOR FY2026 CIOT WILL BEGIN MAY 15, 2026 THROUGH JUNE 03, 2026. THIS GRANT FUNDING IS TO PAY OVERTIME SALARIES FOR OFFICERS TO CONDUCT INTENSE OCCUPANT PROTECTION ENFORCEMENT IN ORDER TO INCREASE OCCUPANT RESTRAINT USE IN ALL PASSENGER VEHICLES AND TRUCKS. THE CITY WILL BE RESPONSIBLE FOR A REQUIRED MATCH OF \$9,299.95, FROM GENERAL FUND, FOR A PROJECT TOTAL OF \$39,299.95. FUNDING IS AVAILABLE IN THE SPECIAL POLICE FUND.

Whereas, there is available to the City of Laredo a grant entitled "Click It or Ticket" from the Texas Department of Transportation for a program which would pay for overtime salaries and fringe benefits for off duty police officers for the enforcement of the seat belt law; and

Whereas, the City Council finds that such application should be made and will be beneficial to the City of Laredo; and

Whereas, in order to ensure compliance and funding eligibility of said grant the Laredo Police Department is required to implement and fully comply with the requirements of our internal ethics and compliance program required by Title VI Texas Administrative Code Section 10.51 prior to award and/or disbursement of grant funds.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO THAT:

Section 1: Authorizing the City Manager to ratify the acceptance of a grant in the amount of \$29,999.96 from the Texas Department of Transportation for the enforcement of Vehicle Occupant Protection during the “Click It or Ticket” (CIOT) Campaign. The grant period for FY2026 CIOT will begin May 15, 2026 through June 03, 2026. This grant funding is to pay overtime salaries for officers to conduct intense occupant protection enforcement in order to increase occupant restraint use in all passenger vehicles and trucks. The city will be responsible for a required match of \$9,299.95, from the General Fund, for a project total of \$39,299.95. Funding is available in the Special Police Fund.

Section 2: It authorizes the City Manager to execute all necessary documents to achieve said grant and to effectuate its terms.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2026.

DR. VÍCTOR D. TREVIÑO
MAYOR

ATTEST:

MARIO I. MALDONADO, JR.
CITY SECRETARY

APPROVED AS TO FORM:

JOAQUIN A. RODRIGUEZ
FIRST ASSISTANT CITY ATTORNEY

City of Laredo

City Council

Meeting Date: 6/15/2026

Consent Agenda 56.

SUBJECT

Consideration to authorize the purchase of (5) five John Deere Zero-Turn Commercial Lawn Mowers from John Deere Company totaling \$130,485.42. The purchase of this equipment shall be made utilizing Sourcewell Contract #112624-DAC for grounds maintenance. The servicing agent will be United Ag & Turf, Waco, Texas which is one of the John Deere dealers in this area. Funding is available in the Environmental and Solid Waste Services Fund - 2019 CO Bond.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies): Policy 6.4.15

Summary of alignment: Plan for adequate and sustainable environmental and solid waste management practices such as composting, harvesting, irrigation and ground maintenance in all of the creeks.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

This purchase is for the (5) five Zero-Turn Commercial Lawn Mowers much needed for the daily irrigation and grounds maintenance operations in the Chacon, Manadas and Zacate Creek as well as in the COL Landfill and Ponderosa Landfill.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

It is recommended that this purchase be awarded.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Yes
Source of Funds:	Environmental & Solid Waste Funds
Account #:	249-9874-545-90-04 556-9874-535-90-04
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

The purpose of this purchase is for the irrigation and grounds maintenance equipment needed for the daily operations in the Chacon, Manadas and Zacate Creek as well as in the COL Landfill and Ponderosa Landfill.

Selling Equipment

Quote # 2168452
 Customer CITY OF LAREDO ENVIRONMENTAL SERVICES

Z997R DIESEL NA

QTY In Group : 1

Hours	---	Suggested List
Serial Number	---	\$34,232.91
Stock Number	---	Selling Price
Contract	Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)	\$26,031.52
Price Effective Date	31-May-2026	Discount Amount
PUK Parent Serial #		(\$8,201.39)

Equipment Summary

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
091STC	Z997R DIESEL NA	1	\$30,269.00	23.0%	(\$6,961.87)	\$23,307.13

Base / Options

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
001A	United States /Canada	1	\$0.00	23.0%	\$0.00	\$0.00
1151	26x12N12 Michelin X Tweel Turfs	1	\$1,763.00	23.0%	(\$405.49)	\$1,357.51
1506	72 In. 7-Iron PRO Side Discharge Mower Deck	1	\$750.00	23.0%	(\$172.50)	\$577.50
Total Base / Options			\$32,782.00		(\$7,539.86)	\$25,242.14

Dealer Attachments

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
BUC11047	CANOPY, COMPLETE ASSEMBLY - Z997 Serial Number: --- Stock Number: ---	1	\$1,450.91	23.0%	(\$333.71)	\$1,117.20
Total Dealer Attachments			\$1,450.91		(\$333.71)	\$1,117.20

Customer Discounts

Description	Discount Amount
Multi Unit Discount	(\$327.82)
Total Discounts	(\$327.82)

Prepared For

CITY OF LAREDO
ENVIRONMENTAL SERVICES

619 REYNOLDS ST

LAREDO, TX 780404016

(956) 635-7703

CTIBARRA@CI.LAREDO.TX.US

Prepared By

David Reeh

United Ag & Turf

4000 West 2nd Street

Taylor, TX 76574

512-352-5296

davidreeh@unitedagt.com

Quote Id 2168452

Creation Date 01-Jun-2026

Expiration Date 01-Jul-2026

Customer Notes

SOURCEWELL Account # 20319 Make All Payments To: United Ag & Turf 7736 Central Park Dr. Waco, TX 76712

Quote Summary

Equipment Summary	Suggested List	Selling Price	QTY In Group	Extended
Z997R DIESEL NA Contract: Sourcewell Grounds Maint 112624-DAC (PG BT CG 76) Price Effective Date: 31-May-2026	\$34,232.91	\$26,031.52	1	\$26,031.52
Z997R DIESEL NA Contract: Sourcewell Grounds Maint 112624-DAC (PG BT CG 76) Price Effective Date: 31-May-2026	\$34,232.91	\$26,031.52	1	\$26,031.52
Z997R DIESEL NA Contract: Sourcewell Grounds Maint 112624-DAC (PG BT CG 76) Price Effective Date: 31-May-2026	\$34,232.91	\$26,031.52	1	\$26,031.52
Z997R DIESEL NA Contract: Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)	\$34,232.91	\$26,031.52	1	\$26,031.52

Equipment Total **\$104,126.08**

Quote Summary

Total Selling Price	\$104,126.08
Sub-total	\$104,126.08
Balance Due	\$104,126.08

Salesperson : X _____

Accepted By : X _____

Z997R DIESEL NA

QTY In Group : 1

Hours	---	Suggested List
Serial Number	---	\$34,232.91
Stock Number	---	Selling Price
Contract	Sourcwell Grounds Maint 112624-DAC (PG BT CG 76)	\$26,031.52
Price Effective Date	31-May-2026	Discount Amount
PUK Parent Serial #		(\$8,201.39)

Equipment Summary

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
091STC	Z997R DIESEL NA	1	\$30,269.00	23.0%	(\$6,961.87)	\$23,307.13

Base / Options

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
001A	United States /Canada	1	\$0.00	23.0%	\$0.00	\$0.00
1151	26x12N12 Michelin X Tweel Turfs	1	\$1,763.00	23.0%	(\$405.49)	\$1,357.51
1506	72 In. 7-Iron PRO Side Discharge Mower Deck	1	\$750.00	23.0%	(\$172.50)	\$577.50
Total Base / Options			\$32,782.00		(\$7,539.86)	\$25,242.14

Dealer Attachments

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
BUC11047	CANOPY, COMPLETE ASSEMBLY - Z997 Serial Number: --- Stock Number: ---	1	\$1,450.91	23.0%	(\$333.71)	\$1,117.20
Total Dealer Attachments			\$1,450.91		(\$333.71)	\$1,117.20

Customer Discounts

Description	Discount Amount
Multi Unit Discount	(\$327.82)
Total Discounts	(\$327.82)
Selling Price Subtotal	\$26,031.52
Total Selling Price	\$34,232.91 (\$8,201.39) \$26,031.52



Selling Price Subtotal			\$26,031.52
Total Selling Price	\$34,232.91	(\$8,201.39)	\$26,031.52

Z997R DIESEL NA

QTY In Group : 1

Hours	---	Suggested List
Serial Number	---	\$34,232.91
Stock Number	---	Selling Price
Contract	Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)	\$26,031.52
PUK Parent Serial #		Discount Amount
		(\$8,201.39)

Equipment Summary

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
091STC	Z997R DIESEL NA	1	\$30,269.00	23.0%	(\$6,961.87)	\$23,307.13

Base / Options

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
001A	United States /Canada	1	\$0.00	23.0%	\$0.00	\$0.00
1151	26x12N12 Michelin X Tweel Turfs	1	\$1,763.00	23.0%	(\$405.49)	\$1,357.51
1506	72 In. 7-Iron PRO Side Discharge Mower Deck	1	\$750.00	23.0%	(\$172.50)	\$577.50
Total Base / Options			\$32,782.00		(\$7,539.86)	\$25,242.14

Dealer Attachments

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
BUC11047	CANOPY, COMPLETE ASSEMBLY - Z997 Serial Number: --- Stock Number: ---	1	\$1,450.91	23.0%	(\$333.71)	\$1,117.20
Total Dealer Attachments			\$1,450.91		(\$333.71)	\$1,117.20

Customer Discounts

Description	Discount Amount
Multi Unit Discount	(\$327.82)
Total Discounts	(\$327.82)
Selling Price Subtotal	\$26,031.52
Total Selling Price	\$34,232.91 (\$8,201.39) \$26,031.52

Z997R DIESEL NA

QTY In Group : 1

Hours	---	Suggested List
Serial Number	---	\$34,232.91
Stock Number	---	Selling Price
Contract	Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)	\$26,031.52
Price Effective Date	31-May-2026	Discount Amount
PUK Parent Serial #		(\$8,201.39)

Equipment Summary

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
091STC	Z997R DIESEL NA	1	\$30,269.00	23.0%	(\$6,961.87)	\$23,307.13

Base / Options

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
001A	United States /Canada	1	\$0.00	23.0%	\$0.00	\$0.00
1151	26x12N12 Michelin X Tweel Turfs	1	\$1,763.00	23.0%	(\$405.49)	\$1,357.51
1506	72 In. 7-Iron PRO Side Discharge Mower Deck	1	\$750.00	23.0%	(\$172.50)	\$577.50
Total Base / Options			\$32,782.00		(\$7,539.86)	\$25,242.14

Dealer Attachments

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
BUC11047	CANOPY, COMPLETE ASSEMBLY - Z997 Serial Number: --- Stock Number: ---	1	\$1,450.91	23.0%	(\$333.71)	\$1,117.20
Total Dealer Attachments			\$1,450.91		(\$333.71)	\$1,117.20

Customer Discounts

Description	Discount Amount
Multi Unit Discount	(\$327.82)
Total Discounts	(\$327.82)
Selling Price Subtotal	\$26,031.52
Total Selling Price	\$34,232.91 (\$8,201.39) \$26,031.52

Selling Equipment

Quote # 2168632
Customer CITY OF LAREDO SOLID WASTE

Z997R DIESEL NA		QTY In Group : 1
Hours	---	Suggested List
Serial Number	---	\$34,232.91
Stock Number	---	Selling Price
Contract	Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)	\$26,359.34
Price Effective Date	31-May-2026	Discount Amount
PUK Parent Serial #		(\$7,873.57)

Equipment Summary

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
091STC	Z997R DIESEL NA	1	\$30,269.00	23.0%	(\$6,961.87)	\$23,307.13

Base / Options

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
001A	United States /Canada	1	\$0.00	23.0%	\$0.00	\$0.00
1151	26x12N12 Michelin X Tweel Turfs	1	\$1,763.00	23.0%	(\$405.49)	\$1,357.51
1506	72 In. 7-Iron PRO Side Discharge Mower Deck	1	\$750.00	23.0%	(\$172.50)	\$577.50
Total Base / Options			\$32,782.00		(\$7,539.86)	\$25,242.14

Dealer Attachments

Code	Description	Qty	List Price	Discount %	Discount \$	Adjusted Selling Price
BUC11047	CANOPY, COMPLETE ASSEMBLY - Z997 Serial Number: --- Stock Number: ---	1	\$1,450.91	23.0%	(\$333.71)	\$1,117.20
Total Dealer Attachments			\$1,450.91		(\$333.71)	\$1,117.20
Selling Price Subtotal						\$26,359.34
Total Selling Price			\$34,232.91		(\$7,873.57)	\$26,359.34

Prepared For

CITY OF LAREDO SOLID WASTE
6912 STATE HIGHWAY 359
LAREDO, TX 780434787
(956) 795-2510
CTIBARRA@CI.LAREDO.TX.US

Prepared By

David Reeh
United Ag & Turf
4000 West 2nd Street
Taylor, TX 76574
512-352-5296
davidreeh@unitedagt.com

Quote Id 2168632

Creation Date 01-Jun-2026

Expiration Date 01-Jul-2026

Customer Notes

SOURCEWELL Account # 20319 Make All Payments To: United Ag & Turf 7736 Central Park Dr. Waco, TX 76712

Quote Summary

Equipment Summary	Suggested List	Selling Price	QTY In Group	Extended
Z997R DIESEL NA	\$34,232.91	\$26,359.34	1	\$26,359.34

Contract: Sourcewell Grounds Maint 112624-DAC (PG BT CG 76)

Price Effective Date: 31-May-2026

Equipment Total **\$26,359.34**

Quote Summary

Total Selling Price	\$26,359.34
Sub-total	\$26,359.34
Balance Due	\$26,359.34

Salesperson : X _____

Accepted By : X _____


Deere and Company

Grounds maintenance

#112624-DAC

Maturity Date: 1/31/2029

Website: Deere.com/Sourcewell 

Products & Services 

Products & Services

Sourcewell contract 112624-DAC gives access to the following types of goods and services:

- Lawn and garden tractors
- Lawn and garden attachments
- Professional zero-turn mowers
- Commercial walk-behind mowers
- Commercial front- and wide-area mowers
- Utility vehicles (UTV)
- Compact utility tractors and loaders
- Rotary cutters
- Golf and turf equipment
- Frontier equipment

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(nongovernment site)

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Have questions about a contract or cooperative purchasing?

Contact our dedicated team online or call 877-585-9706.

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City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 57.

SUBJECT

Staff report with possible action to approve the recommendation for the next City of Laredo Poet Laureate, Xiomarra Milann. This is a two-year appointment. Funding for the \$1,500 honorarium is available in General Fund-Library Department.

PREVIOUS COUNCIL ACTION

City Council approved the Fine Arts & Culture Commission's 2024 Poet Laureate recommendation, Ms. Raquel Valle-Senties on March 18, 2024.

On August 19, 2019 the City of Laredo approved the Fine Arts & Culture Commission initiation of a City of Laredo Poet Laureate Program.

BACKGROUND

The Poet Laureate is an honorary position whose role is to promote the literary arts and literacy within the community and create a greater appreciation of the poetic arts through the reading and writing of poetry.

The individual selected will serve a two-year term and will receive an honorarium of \$1,500 per year.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies): Goal 10.1 Support the improvement of the education system of Laredo through coordination of efforts across all agencies.

Summary of alignment: This initiative will support literary arts at a Citywide level, through community workshops, events, and activities between the public and private sector.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends the approval the recommendation.

Fiscal Impact

Fiscal Year:	26-27
Budgeted Y/N?:	Y
Source of Funds:	General Fund
Account #:	101-3510-553.55-78
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

The individual selected will serve a two-year term and will receive an honorarium of \$1,500 per year. Funding is available in the Library's General Fund line item 101-3510-553-5578 (Special events). Funding for future years will be contingent on availability of budget funds.

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 58.

SUBJECT

Discussion with possible action to approve the employee and retiree health insurance plan design and premium contribution structure for FY 2026-2027.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

In response to rising healthcare expenditures and evolving member needs, the City's benefits consultants, local insurance broker and City staff conducted a comprehensive review of the current medical compensation plan. Their analysis considered factors including increased medical and prescription drug costs, higher member utilization, and the growing frequency of high-cost claims. Based on this evaluation, the consultants recommended a series of strategic amendments to the City's existing medical compensation plan to ensure its continued affordability, sustainability, and competitiveness.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommends Council approve the changes to the medical health plan as presented.

Fiscal Impact

Fiscal Year:	2027
Budgeted Y/N?:	N/A
Source of Funds:	Health & Benefits
Account #:	660
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

No financial impact at this time.

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 59.

SUBJECT

Discussion with possible action to approve the temporary closure of International Bridge 1 (“Gateway to the Americas”) at the request of the Consulado General de Mexico en Laredo, submitted by Consul General Juan Carlos Mendoza Sanchez, in order to hold the 1st Annual Celebration of the 250th Anniversary of the United States.

PREVIOUS COUNCIL ACTION

Bridge Closure Resolution 2025-R-224 approved by City Council on October 6, 2025.

BACKGROUND

The Secretaria de Relaciones Exteriores is respectfully requesting your valuable support so that, if possible, vehicular traffic north bound and south bound on International Bridge I, “Gateway to the Americas,” may be suspended for (30) thirty minutes.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating:

Supporting goal(s)/policy(ies):

Summary of alignment:

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Staff recommends the approval of this request.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

N/A



CITY OF LAREDO

Laredo Bridge Department

BRIDGE CLOSURE REQUEST FORM

Name of Organization/Agency: Consulado General de Mexico en Laredo

Address: 1612 Farragut Street

City: Laredo State: Texas Zip: 78040

Person initiating request (print): Juan Carlos Mendoza

Title: Consul General de Mexico

Bridge Closure:

Date: July 2, 2026 Time: 9:00 a.m. to 9:30 a.m.

Location: Bridge 1 () Bridge 2 () Bridge 3 () Bridge 4 ()

Southbound () Northbound () Both ()

Purpose of Request:

To request authorization to temporary suspend north and south bound traffic on International Bridge I "Puente de las Americas" for approximately 30 minutes in order to celebrate the 250th anniversary of the Declaration of independence. This event will be hosted by the Mayor of Laredo and the Consul General de Mexico.

* EVENT COORDINATOR *

Name (print): Consul Juan Carlos Mendoza Phone: 956 723 0990 office

Liability and Indemnity

The Organization or Agency assumed for any damages, losses, or injuries that may occur as a result of its use or occupancy of the Premises. It agrees to indemnify and protect The City of Laredo against any claims, costs, or liabilities that arise from the usage, unless such claims, costs, or liabilities that arise from this usage, unless such claims are due to the negligence or willful misconduct of The City of Laredo.

This form must be submitted at least sixty (60) days before the requested date. Submitting this form does not imply that your request has been approved. Approval will depend on department policies, procedures, and availability.

FOR OFFICE USE ONLY

APPROVED () DENIED ()

SIGNATURE: [Signature] DATE: May 19, 2026

COMMENTS:

Request a letter prior for event request, add to June 15, 2026 council meeting.
Has bridge location been requested by another entity for the same day/time? no
Yes _____ No no

If yes, please make a copy and attach for director's review.

Bridge Director Signature: [Signature] Date: 5-20-2026

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 60.

SUBJECT

Staff report presentation with possible action regarding the Municipal Hospital Ad-Hoc Committee, including discussion and possible direction on membership structure, policy considerations, and related matters for the City of Laredo.

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

The Healthcare & Hospital Ad Hoc Committee was established to provide recommendations and facilitate collaboration on matters related to healthcare access, hospital services, public health initiatives, and healthcare system improvements within the City of Laredo. To continue advancing these efforts, the City is reactivating the committee and seeking appointments from City Council members to fill the designated positions.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating: Strong

Supporting goal(s)/policy(ies):

- **Goal 7.1:** Improve access to health services for all residents.
- **Policy 7.1.1:** Expand access to healthcare services and resources throughout the community.
- **Policy 7.1.4:** Support partnerships that improve access to specialized and hospital-based healthcare services.
- **Goal 7.5:** Strengthen public health systems and community partnerships.
- **Policy 7.5.4:** Foster collaboration among healthcare providers, public agencies, educational institutions, and community organizations to address local health needs.
- **Goal 7.6:** Promote strategic planning and coordination to improve community health outcomes.

Summary of alignment: The reactivation of the Municipal Hospital Ad Hoc Committee aligns with the Viva Laredo Comprehensive Plan by providing a collaborative forum to evaluate healthcare access, hospital services, and public health priorities affecting the community. The committee will facilitate coordination among healthcare stakeholders, support informed policy development, and identify opportunities to strengthen healthcare infrastructure and services. These efforts advance the City's goals of improving access to care, enhancing public health outcomes, and fostering strategic partnerships that address current and future healthcare needs in Laredo.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

N/A

Fiscal Impact

Fiscal Year:	2027
Budgeted Y/N?:	N/A
Source of Funds:	N/A
Account #:	N/A
Change Order: Exceeds 25% Y/N:	N/A

FINANCIAL IMPACT:

No financial impact at the moment.

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 61.

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 62.

City of Laredo

City Council

Meeting Date: 6/15/2026

Staff Report 63.

City of Laredo

City Council

Meeting Date: 6/15/2026

Closed Session 64.

SUBJECT

Request for Executive Session pursuant to Texas Government Code § 551.071(1)(A) to consult with City Attorney regarding matters concerning anticipated litigation involving former employee of El Metro Transit, Monica Garcia.

PREVIOUS COUNCIL ACTION

Click or tap here to enter text.

BACKGROUND

Click or tap here to enter text.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Click or tap here to enter text.

Fiscal Impact

Fiscal Year:	Click or tap here to enter text.
Budgeted Y/N?:	Click or tap here to enter text.
Source of Funds:	Click or tap here to enter text.
Account #:	Click or tap here to enter text.
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.

City of Laredo

City Council

Meeting Date: 6/15/2026

Closed Session 65.

SUBJECT

Request for Executive Session pursuant to Texas Government Code 551.071(1)(A) to consult with City Attorney concerning status of collective bargaining negotiations with the City of Laredo Police and Fire Departments, and any other matters incident thereto.

VIVA LAREDO PLAN ALIGNMENT

Alignment Rating:

Supporting goal(s)/policy(ies):

Summary of alignment:

PREVIOUS COUNCIL ACTION

Click or tap here to enter text.

BACKGROUND

Click or tap here to enter text.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Click or tap here to enter text.

Fiscal Impact

Fiscal Year:

Click or tap here to enter text.

Budgeted Y/N?:

Click or tap here to enter text.

Source of Funds:

Click or tap here to enter text.

Account #:

Click or tap here to enter text.

Change Order: Exceeds 25% Y/N:

Click or tap here to enter text.

FINANCIAL IMPACT:

Click or tap here to enter text.

City of Laredo

City Council

Meeting Date: 6/15/2026

Laredo Mass Transit Board 66.

SUBJECT

Authorizing City Manager to execute a contract by and between Raydo Advertising Company, LLC, a Texas limited Liability Company and Laredo Transit Management Inc., El Metro for installing, maintaining, and operating a comprehensive street furniture of two hundred (200) donated benches and selling third party advertising thereon, and desires to install benches at LTMI bus stops in the City to operate exclusive third-party advertising. The term of the agreement shall be for ten (10) years with the option to renew an additional ten (10) years, commencing on July 1, 2026.

PREVIOUS COUNCIL ACTION

n/a

BACKGROUND

Raydo Advertising LLC is a Domestic Limited-Liability Company organized to operate, install, and maintain comprehensive street furniture and advertising program.

COMMITTEE RECOMMENDATION

Click or tap here to enter text.

STAFF RECOMMENDATION

Staff recommends approval of this motion.

Fiscal Impact

Fiscal Year:	2026
Budgeted Y/N?:	Y
Source of Funds:	Revenue
Account #:	558 0000 339 2001
Change Order: Exceeds 25% Y/N:	Click or tap here to enter text.

FINANCIAL IMPACT:

This is a revenue contract, amounts received from contractor shall be deposited in the Advertising Account 558 000 339 2001.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 67.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 68.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 69.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 70.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 71.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 72.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 73.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 74.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 75.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 76.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 77.

City of Laredo

City Council

Meeting Date: 6/15/2026

Council Item 78.

rate of \$8,112.00 per month. Payments for fiscal year 2026 will commence on April 1, 2026 and end on September 1, 2026 for a total rent payment for fiscal year 2026 of \$48,672.00.

Full monthly rent payments of \$8,112.00 per month for the remaining two years of the agreement will be made from October 1, 2026 through September 1, 2028.

All payments shall be made to the City of Laredo, with reference to:

City of Laredo Public Health Department
2600 Cedar Avenue
Laredo, TX 78040
Re: UT Health San Antonio - Dentistry, Lease

WARRANTIES and COVENANTS:

LESSEE warrants it has the power and authority to execute this lease agreement with LESSOR and to perform and observe all the terms and provisions on its part to be performed or observed. LESSEE represents to LESSOR the execution, delivery, and performance of this lease agreement by LESSEE, which has been duly and validly authorized by all necessary action on its part and constitutes a valid and binding agreement enforceable in accordance with its terms.

UTILITIES, SECURITY, MAINTENANCE, and REMOVAL of DEBRIS:

LESSEE agrees to pay charges resulting from LESSEE'S use of the leased premises, including telephone, cable television, internet, or any other utility services. LESSEE hereby also agrees to pay all such charges promptly before they become delinquent.

LESSOR agrees to pay charges resulting from overall building use including electricity, water, wastewater, and natural gas.

At its own expense, LESSEE shall maintain janitorial services and remove all garbage and waste from the leased premises to the designated garbage truck pickup areas. LESSOR shall be responsible for the removal of all garbage and rubbish on the leased premises from the designated garbage truck pickup area. The premises shall be free of trash and maintained in a sanitary manner and in compliance with all City ordinances. Security of the premises and its content shall be LESSEE's sole responsibility.

TAXES:

Upon receipt of written notice of any taxes, impositions, and surcharges, LESSEE agrees to pay and discharge promptly, before delinquency, any and all such taxes, impositions, and surcharges imposed by taxing agencies against any personal property, tools, equipment, furniture, fixtures, and inventory belonging to LESSEE and placed on the premises.

ASSIGNMENT and SUBLEASING:

Neither the leased premises nor any portion thereof shall be sublet, nor shall this lease or any interest therein be assigned, hypothecated, or mortgaged by LESSEE, and any attempted assignment, subletting, hypothecation, or mortgaging of this lease shall be of no force effect, and shall confer no rights upon any assignee, sublease, mortgagee or pledgee, but shall constitute a material breach of this contract by LESSEE.

BANKRUPTCY:

In the event that LESSEE shall become bankrupt or insolvent, or be dissolved, or should a trustee or receiver be appointed to administer LESSEE'S business or affairs, neither this lease nor any interest herein shall become an asset of the trustee or receiver, and this lease shall immediately terminate and end.

WARRANTY OF TITLE:

LESSOR hereby represents and warrants that it is the owner in fee simple absolute of the leased premises, subject to any covenants, conditions, restrictions, easements, and other matters of record.

ARTICLE II: REPAIRS, ALTERATIONS AND INSURANCE

REPAIRS AND MAINTENANCE:

LESSEE hereby declares itself fully familiar with the physical condition of the leased premises and the improvements, fixtures, and equipment leased herein and hereby declares that said premises were in good condition when possession of same was accepted and that there were no latent defects in the facilities as those facilities are deemed vital to the use of the premises for their intended purpose.

Throughout the term of this lease, LESSEE shall take good care of the leased area and the fixtures and appurtenances therein.

LESSEE, upon written approval by LESSOR, may update the painting of interior and exterior walls when needed, floor covering, and other interior maintenance and repairs.

LESSOR is responsible for maintenance and repairs including, roof, parking lot, windows, doors, plumbing, electrical, light fixtures, plumbing fixtures, air conditioning system as deemed necessary by LESSOR upon written notice by LESSEE.

LESSOR is entitled to reimbursement from the LESSEE for any and all expenses incurred in connection with any maintenance, repair, or replacement resulting from the negligence or fault of the LESSEE or of the LESSEE'S agents, servants, or employees. This reimbursement shall be due within thirty (30) days.

LESSEE agrees to maintain the premises to include, in part, routine maintenance of leased premises and pest control.

LESSEE herein agrees to notify LESSOR within (24) hours of any accident or any defects in the utility system or structure, including, but not limited to, water pipes, drainage pipes, and air conditioning ducts.

The LESSOR or its designee is expressly granted the right of access to any such utility system or structure and the right to enter the leased area to inspect and repair, if necessary, any such system(s) or structures for its inspection, work, or repair.

LESSEE shall maintain the leased premises and keep them free from waste or nuisance throughout the lease term. At the termination of the lease, LESSEE shall surrender and deliver the leased premises to LESSOR in a good state of repair and condition as they were at the time.

ALTERATIONS:

LESSEE is granted the right to make limited improvements, additions, or alterations to the leased area other than structural alterations at LESSEE'S sole cost and expense, subject to the following terms and conditions.

LESSEE must first obtain LESSOR's written consent. LESSOR must approve all interior designs or future changes thereof in writing. LESSOR reserves the right to reject any proposed extension, repair, or alteration, any particular contractor or each subcontractor, or the complete project. LESSEE shall provide LESSOR with a master plan, architectural model, and drawing for all proposed interior renovations, alterations, and modifications to the leased space.

Ultimate title to an improvement, addition, or alteration properly consented to in writing by LESSOR will vest with LESSOR immediately upon its completion and will remain in LESSOR'S possession at the termination of LESSEE'S tenancy. LESSOR may, however, require that LESSEE, at their expense, remove any or all alterations, additions, or improvements installed or made by LESSEE and any other property placed in the premises by LESSEE upon termination of the lease.

LESSEE shall not, without first obtaining LESSOR's written consent and permission, erect or install shelves, bins, machinery, or other trade fixtures, signs, or displays on any portion of the leased premises, including the exterior walls.

Trade fixtures, moveable furniture, and other service equipment of LESSEE peculiar to LESSEE'S non-profit business that is not to be included as additions, improvements, or alterations must be removed by LESSEE upon the termination of the lease, provided LESSEE is not in default of lease obligations. Any trade fixtures not removed by LESSEE at the termination of this lease shall be deemed abandoned by LESSEE and shall automatically become the property of the LESSOR.

LESSOR reserves the right to demand that LESSEE reasonably restore the premises to the same condition before making such alterations, in a manner acceptable to LESSOR, and to demand that LESSEE pay all costs of such restoration.

LESSEE further agrees to repair expeditiously any damages caused by the installation or removal of trade fixtures at LESSEE'S sole expense upon written notice by LESSOR.

LESSOR maintains and reserves the right to make alterations and remodeling changes, provided said

work does not interfere with LESSEE'S day-by-day operations and business.

INSURANCE:

LESSOR acknowledges that LESSEE is an agency of the State of Texas and has only such authority to obtain insurance from third parties as is granted to LESSEE by state law or as may be reasonably implied by such law. LESSEE shall have no obligation under this Lease to obtain policies of insurance and shall have the right, in LESSEE's sole discretion, to determine whether LESSEE will maintain policies of insurance, operate programs of self-insurance, or utilize any other program of risk-protection in connection with LESSEE's operations. LESSEE, pursuant to State regulations, shall self-insure. LESSOR acknowledges that because LESSOR is an agency of the State of Texas, liability for the tortious conduct of the agents and employees of LESSOR or for injuries caused by conditions of tangible state property is provided for solely by the provisions of the Texas Torts Claims Act, *Texas Civil Practices and Remedies Code*, Chapter 101, as amended from time to time. Workers compensation insurance coverage for employees of LESSEE will be provided by LESSEE as mandated by the provisions of the *Texas Labor Code*, Chapter 503, as amended from time to time.

ARTICLE III: DEFAULT, HOLDING OVER, AND ABANDONMENT

LESSEE'S DEFAULT:

The following events (individually, an "Event of Default" and collectively, "Events of Default") constitute defaults under this lease:

- (a) LESSEE should fail to timely pay the full amount of rent and fees provided for herein;
- (b) LESSEE defaults in the performance of any of the covenants, conditions, or agreements provided for herein to be kept and performed by LESSEE, including, but not limited to, the provisions for carrying required Insurance;
- (c) LESSEE permits the leased premises to be used for any unauthorized or unlawful business or purpose or use consistent with the terms of this Agreement;
- (d) LESSEE assigns or subleases or otherwise transfers this lease;
- (e) LESSEE files a voluntary petition of bankruptcy to make a general assignment for the benefit of creditors and
- (f) LESSEE abandons the premises or leaves the premises vacant or unoccupied for thirty (30) consecutive days.

Then, and in any event, the LESSOR may, at its options and without waiving any other rights that the LESSOR has under this contract, at any time after such default, give notice of this specific default or failure of performance and demand immediate correction of such default or failure of performance by the LESSEE. In the event that LESSEE fails to remedy the default or to correct the failure of performance within thirty (30) days after service of such written notice, the LESSOR shall have the right to:

Immediately terminate the lease, re-enter the leased premises, and remove all persons and any and all personal property therefrom, and LESSEE hereby agrees to surrender the premises to LESSOR without waiving LESSOR'S right to past and future rents due hereunder. In such event, LESSOR may re-let the premises to other prospective LESSEES for the remainder of the term of this lease, and LESSEE shall be liable for any loss to LESSOR incurred in such re-letting for the terms of this lease, including rent and attorneys' fees, if any.

Notwithstanding any provision as to notice in this lease contained, if, in the LESSOR'S reasonable judgment, the continuation of any default by the LESSEE for the full period of the notice otherwise provided for herein will jeopardize the leased area or the rights of LESSOR, the LESSOR may, without notice, elect to perform those acts in respect to which LESSEE is in default, at LESSEE'S sole cost and expense, and LESSEE shall thereupon reimburse the LESSOR within ten (10) days of written request by LESSOR to LESSEE for such reimbursement. Failure of the LESSEE to reimburse in these circumstances shall mean that the LESSOR has the immediate right to terminate this lease.

INSPECTION BY LESSOR:

LESSEE shall permit LESSOR AND LESSOR'S agents, representatives, and employees to enter into and on the leased premises at all reasonable times for the purpose of inspection, maintenance, making repairs or alterations to the premises, or any other purpose necessary to protect LESSOR'S interest in the leased premises or to perform LESSORS duties under the terms and provisions of this lease.

LESSOR'S REPRESENTATION AND WAIVER:

Any representations by LESSOR regarding LESSEE'S leasehold interest are embodied in this writing. The waiver by LESSOR to LESSEE of the performance of any provision of this agreement shall not amount to a future waiver of strict performance of such provision or any other provision(s) of this agreement. Any waiver of this lease agreement shall be in writing and approved by the LESSOR.

ANTI-DISCRIMINATION CLAUSES:

TITLE VI OF THE CIVIL RIGHTS ACT OF 1964: The LESSEE for itself, its agents, servants, employees, successors, and assigns, as a part of the consideration hereof, does hereby covenant and agree to a covenant running with the land that:

No person on the grounds of race, color, religion, national origin, or disability shall be excluded from participating in, denied the benefits of, or be otherwise subjected to discrimination in the use of said facilities;

That is the construction of any improvements on, under such land and the furnishing of services thereon, no person on the grounds of race, color, or national origin shall be excluded from participation in, denied the benefits of, or otherwise be subject to discrimination;

That in the event of a breach of any of the preceding non-discrimination covenants, the LESSOR shall have the right to take such action to enforce this non-discrimination covenant; and

That in the event of a breach of any of the proceeding's non-discrimination covenants, the LESSOR shall have the right to terminate the license, lease, permit, etc., and hold the same as if said lease had never been made and issued.

ARTICLE IV: MISCELLANEOUS

DAMAGE OR DESTRUCTION OF PREMISES

If the leased premises or any structures or improvements on the leased premises should be damaged or destroyed by fire, tornado, or another casualty, LESSEE shall give immediate written notice of the damage or destruction to LESSOR, including a description of the damages and to the extent known to LESSEE, the cause of the damage.

MECHANIC'S LIEN

LESSEE shall not permit a mechanic's lien or other lien to be placed upon the leased premises or upon improvements on the premises.

NON-EXCLUSIVE USE:

It is understood that nothing herein contained shall be construed to grant or authorize an exclusive right unless specifically identified herein.

CAPTIONS:

Articles and headings are inserted only as a matter of convenience and for reference and in no way define, limit, or describe the scope or intent of any provision hereof, nor are they meant to bind the LESSOR or LESSEE to the meaning of such heading.

CONSTRUED PURSUANT TO TEXAS LAW:

This agreement shall be construed under and in accordance with the laws of the State of Texas and is to be performed in Laredo, Webb County, Texas.

RE-ENTRY:

No re-entry, repossession, or operations of the premises or of fixtures and equipment shall be construed as an election by LESSOR to terminate this lease unless a written notice of such intention to

terminate is given by LESSOR to LESSEE and notwithstanding any such operation without terminating this lease, LESSOR may at any time thereafter elect to terminate this lease.

NON-EXCLUSIVE USE OF PARKING AREA:

LESSEE, its employees, agents, clients, and guests shall have reasonable use of designated parking areas immediately adjacent to the leased premises, subject to the rights of LESSOR to change such designation and to impose reasonable rules and regulations for the use of such areas.

BINDING AGREEMENT:

Subject to the provisions herein, all agreements, terms, obligations, covenants, and conditions of this lease shall be binding upon and inure to the benefit of the parties hereto and their respective employees, agents, servants, legal representatives, successors, and assigns unless otherwise prohibited or otherwise noted in this agreement.

NOTICES:

Any notices which are required hereunder, or which either LESSOR or LESSEE may desire to serve upon the other shall be in writing and served when deposited in the United States mail, postage prepaid, return receipt requested, addressed to LESSOR and LESSEE as follows:

LESSEE: LAREDO CENTER FOR URBAN AGRICULTURE AND SUSTAINABILITY
Jose Moreno

LESSOR: CITY OF LAREDO, TEXAS
C/O City Manager's Office
1110 Houston Street
Laredo, TX 78040

OUTSIDE STORAGE PROHIBITED:

Storage of vehicles, equipment, supplies, or other items outside the leased premises is prohibited.

COMPLIANCE WITH STATE AND LOCAL LAWS:

Further, LESSEE will keep and maintain the leased area in a clean and healthful condition and comply with the laws, ordinances, orders, rules, and regulations (State, Municipal, and other agencies or bodies having any jurisdiction hereof) with reference to use, conditions, or occupancy of the leased area.

PREMISES LEASED “AS IS”:

Premises are leased AS IS, and there is no expressed or implied warranty on the condition or suitability of the building.

PROVISIONS:

Any provision in this Lease that proves to be invalid, void, or illegal shall in no way affect, impair, or invalidate any other provision hereof, and the remainder of this lease shall remain in full force and effect.

ENTIRE AGREEMENT:

This Agreement sets forth the entire Agreement of the parties on the subject matter hereof and may not be changed, modified, discharged, or extended except by a dated written instrument duly executed by the LESSOR and LESSEE, and this agreement shall supersede any prior agreements, understandings or written or oral agreements between the parties regarding the subject matter of this agreement.

LESSEE agrees that no representations or grant of rights or privileges shall be binding upon the LESSOR unless expressed in writing pursuant to this Agreement.

RIGHTS AND REMEDIES CUMULATIVE:

The rights and remedies provided by the lease agreements are cumulative, and the use of any one right or remedy by either party shall not preclude or waive its rights to use any or all other remedies provided by law. These rights and remedies are given in addition to any other rights the parties may have by law, statute, ordinance, or otherwise.

Executed on the days and dates set forth herein below, to be effective for all purposes as of the first day of the Term.

(SIGNATURES AND ACKNOWLEDGEMENTS ON FOLLOWING PAGE)

SIGNATURES:

City of Laredo

**The University of Texas Health Science
Center at San Antonio**

Joseph W. Neeb
City Manager
Date: _____

DocuSigned by:
Shan Zhao Reeves
F5B77386DDFB4D5...
Shan Zhao Reeves, MBA, FACHE
Vice Dean, Finance and Administration
School of Dentistry
Date: 4/15/2026

Richard A. Chamberlain DrPH, MPH, CPHA,
CPM, CHW, RS
Health Director
Date: _____

Signed by:
Kenneth Hargreaves
0186AE01AF154EE...
Ken Hargreaves, DDS, PhD
Dean, School of Dentistry
Date: 4/15/2026

APPROVED AS TO FORM
Doanh T. Nguyen, City Attorney

Signed by:
Ginny Gomez-Leon
8A5856D76EF9466...
Ginny Gomez-Leon, MBA, CPA
Senior Vice-President and Chief Financial
Officer
Date: 4/17/2026

Amber R. Holmes
Assistant City Attorney
Date _____

Jose A. Valdez, Jr.
City Secretary
Date _____