

City of Laredo

REGULAR MEETING AGENDA

Thursday, November 13, 2025

12:00 PM

**City of Laredo City Hall
City Council Chambers
1110 Houston Street
Laredo, Texas 78040**

Historic District / Landmark Board

City of Laredo
Historic District/ Landmark Board
1110 Houston Street
November 13, 2025
12:00 P.M.

- 1. Call to Order
- 2. Roll Call
- 3. Pledge of Allegiance
- 4. Approval Of Minutes Of:

4A Regular Meeting of August 14, 2025 [25-2253](#)

5. Citizen Comments

Citizens are required to fill out a witness card and submit it to a City Planner, or designee, no later than 5:45 p.m. and identify themselves at the microphone. Comments are limited to three (3) minutes per speaker. No more than three (3) persons will be allowed to speak on any side of an issue. Should there be more than three (3) people who wish to speak on a particular issue, they need to select not more than three (3) representatives to speak for them and the presiding officer may limit the public comments further in the interest of an orderly meeting. Speakers may not pass their minutes to any other speaker. Comments should be relevant to City business and delivered in a professional manner. No derogatory remarks will be permitted

6. Public Hearing and Consideration of the Following:

6A Public Hearing and Consideration of a motion to consider façade improvements to the Plaza Theater, which includes exterior alterations, new construction, demolition, and restoration on Lots 2, 8, 9, and the west one third of Lot 3 (approximately 2,057.75 square feet), Block 46, Western Division, located at 1018 and 1012 ½ Hidalgo Street and 1013 and 1017 Farragut Street. This property is within the Old Mercado Historic District. [25-2284](#)

HD-001-2026
District VIII

6B Public Hearing and consideration of a motion to consider façade repair and restoration on Block 10, Western Division, located at 217 San Agustin Ave. This property is within the San Agustin De Laredo Historic District. [25-2296](#)

HD-002-2026
District VIII

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- 6C** Amending Chapter 28 of the City of Laredo Code of Ordinances, [25-2254](#)
Article II to prohibit illuminated signage for all properties located
along all Right-of-Ways (ROW) abutting designated historic plazas;
providing a severability; establishing an effective date; and
providing for publication.

7. Adjournment

This notice was posted at the Municipal Government Office, 1110 Houston Street, Laredo, Texas 78040, at a place of convenient and readily accessible to the public at all time. Said notice was posted on Thursday, November 13, 2025, by 6:00 P.M.

City of Laredo

Historic District / Landmark Board

Meeting Date: 11/13/2025

Action Item 4A

CITY OF LAREDO

HISTORIC DISTRICT/LANDMARK BOARD

MINUTES OF REGULAR MEETING OF AUGUST 14, 2025

The Historic District/Landmark Board of the City of Laredo convened in a regular meeting on Thursday, August 14, 2025 at 12:00 noon, at the City Council Chambers at City Hall at 1110 Houston St., in Laredo, Texas 78040, to consider the following:

1. CALL TO ORDER

Chair Narvaez called the meeting to order at 12:14 p.m.

2. ROLL CALL

Laura Garza, Planner, called roll and verified **quorum** existed.

Members present:	Johnny Narvaez	
	Jorge Santana	(1 st Meeting)
	Teresa Barker	
	Wayne Nance	
	Francisco Barrientos	
	Priscilla Iglesias	

Members absent:	Sara V. Garza	
	Council District IV	(Vacant)
	Marc Gonzalez	

Staff present:	Laura Garza
	Vanessa Fresnillo

Others present:	Arturo Garcia	Michael Haynes
	Raul Treviño	Mario Gonzalez
	Juan Fernando Rodriguez	Alicia Gonzalez
	Eduardo Quiroga	Manuel Gonzalez
	Steve Tillotson	Erika Blanco
	Brian Manning	Carmen de la Rosa

Chair Narvaez requested a motion to excuse Members not present.

Board Member (Bm.) Nance made a motion to **excuse** Members not present.

Second:	Bm. Iglesias
For:	6
Against:	0

Abstain: 0

Motion carried unanimously

3. PLEDGE OF ALLEGIANCE

4. CONSIDER APPROVAL OF MINUTES OF:

A. Regular Meeting of May 8, 2025.

B. Regular Meeting of June 12, 2025.

C. Regular Meeting of June 25, 2025.

D. Regular Meeting of July 10, 2025.

Board Member (Bm.) Nance made a motion to **approve** the minutes of May 8, 2025, June 12, 2025, June 25, 2025 and July 10, 2025.

Second: Bm. Iglesias

For: 6

Against: 0

Abstain: 0

Motion carried unanimously

5. CITIZEN COMMENTS

None.

6. ELECTION OF OFFICERS

A. Election of Chairman

Bm. Nance made a motion to **appoint** Bm. Johnny Narvaez as Chairman of the Board.

Second: Bm. Iglesias

For: 6

Against: 0

Abstain: 0

Motion carried unanimously

B. Election of Vice-Chairman

Bm. Nance made a motion to **appoint** Bm. Francisco “Paco” Barrientos as Vice Chair of the Board.

Second:	Bm. Iglesias
For:	6
Against:	0
Abstain:	0

Motion carried unanimously

7. PUBLIC HEARING AND CONSIERATION OF THE FOLLOWING:

- A. Public hearing and consideration of a motion to consider the new construction of a covered stage, which includes a 16’x10’ primarily wooden structure with a galvanize steel roof, at rear of the property on Lot 8, Block, 26, Western Division, located at 811 Iturbide St. This property is within the San Agustin de Laredo Historic District.**

**HD-003-2025
District VIII**

Vanessa Fresnillo, Planning Staff, provided a brief overview on the item.

Staff Recommendation: Staff **supports** the proposed scope of work for the construction of a 16’x10’ wooden structured stage with a galvanize steel roof for the following reasons:

A. Historic Urban Design Guidelines

1. The addition of the stage on the rear property of the historic structure aligns with the City of Laredo Historic Design Guidelines as it does not alter the or detract from the primary historic façade and avoids disruption of the historic street facing character of the Border Vernacular.

- Location of Addition

The addition of the stage on the rear property of the historic structure aligns with the City of Laredo Historic Design Guidelines as it does not alter the or detract from the primary historic façade and avoids disruption of the historic street facing character of the Border Vernacular.

Reference: Chapter 4 - New Construction & Additions

“Locate additions to the rear of historic structures so that the primary façade and its defining features remain the dominant visual elements.”

- Compatibility of Design & Materials

The guidelines state that new structures or additions should be compatible in scale, materials, and character with the historic property but also differentiated enough to avoid creating a false sense of history. The proposed wood structure with a

galvanized metal roof is consistent with the property's existing wood and metal roof elements.

Reference: Chapter 4 - New Construction & Additions

“New additions should be compatible in materials, scale, and character with the historic building while being distinguishable from the original to avoid creating a false sense of history.”

- Preservation of Character-Defining Features

The guidelines emphasize preserving defining elements and ensuring new construction does not overwhelm them. Due to the stage being modest in size (16’x10’) and located at the rear, it preserves the prominence of these character-defining features on the primary façade.

Reference: Chapter 3 - Building Elements & Character-Defining Features

“Character-defining features of historic properties must be preserved, and new construction should not dominate or visually complete these features.”

B. Secretary of the Interior’s Standards for Rehabilitation

1. New additions are acceptable only when they do not destroy historic materials, features, or spatial relationships and are compatible in size, scale, materials, and massing while remaining differentiated from the historic building

Standard 9 - “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property...”

2. Placing additions on the rear or secondary elevations is recommended to ensure that the new work is subordinate to the historic building and does not dominate the historic character Standard 9 - “Placing an addition on the rear or on another secondary elevation helps to ensure that it will be subordinate to the historic building.”

3. The guidelines emphasize limiting size and scale so that additions remain secondary to the historic structure and do not overwhelm it

Standard 9 - “Constructing a new addition on a secondary or non-character-defining elevation and limiting its size and scale in relationship to the historic building.”

4. Using materials that are compatible but distinguishable from the historic structure (e.g., wood framing with a metal roof) aligns with the Standards’ direction that additions should not replicate the historic fabric but still harmonize with it

Standard 3 - “Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development... will not be undertaken.”

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.
2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.
3. It is recommended that all existed improvements utilize the following resources as a guide:
 - The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings
 - City of Laredo Historic Urban Design Guidelines
 - City of Laredo Historic Preservation Plan
4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.
5. As per the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure.

Chairman Narvaez opened the public hearing.

Arturo Garcia, Owner, provided the Board a brief explanation about the property, stating the property is currently being used as a bar and that the addition of the stage will provide more entertainment.

Bm. Nance asked Mr. Garcia for clarification regarding the existing stage.

Chairman Narvaez, requested a motion to close the public hearing and action for HD-003-2025.

Bm. Nance made a motion to close the public hearing and **approve** HD-003-2025. The motion includes the new construction of a covered stage, which includes a 16'x10' primarily wooden structure with a galvanize steel roof.

Second:	Bm. Iglesias
For:	6
Against:	0
Abstain:	0

Motion carried unanimously

- B. Public hearing and consideration of a motion to consider exterior alterations of the front façade, which includes the new construction of a balcony (upper level) and the addition of the new glass windows and door openings (upper and lower levels) on west 15.42 feet of Lot 7 and east 25.58 feet of Lot 8, Block 35, Western Division, located at 1108 Iturbide Street. This property is within the Old Mercado Historic District.**

**HD-004-2025
District VIII**

Laura Garza, Planning Staff, provided a brief overview on the item.

Staff Recommendation: Staff **does not support** the proposed scope of work, as it is inconsistent with both the Secretary of the Interior’s Standards for Rehabilitation and the City of Laredo’s Historic Urban Design Guidelines.

A. Secretary of the Interior’s Standards for Rehabilitation

1. The proposed scope of work is incompatible with the Secretary of the Interior’s Standards, as it significantly alters the historic façade, removes original materials, introduces non-historic features, and compromises the building’s overall integrity.

- **Destruction of Historic Materials and Features**

The proposed demolition of the existing brick façade to accommodate new window and door openings results in the irreversible loss of original materials and craftsmanship. This violates Standard 2 and Standard 5, which require the retention and preservation of distinctive historic materials, features, and finishes.

Standard 2 - “The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.”

Standard 5 - “Distinctive materials, features, finishes, and construction techniques... will be preserved.”

- **Loss of Historic Character and Integrity**

The proposed alterations-particularly the full reconstruction of the front façade with modern glass elements-compromise the historic character of the building. Standard 2 clearly states that alteration of features and spaces that characterize a property should be avoided.

Standard 2 - “The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.”

- **Introduction of Non-Historic Additions**

The upper-level balcony is a conjectural feature that never historically existed on the

building. Its addition creates a false sense of historical development, directly conflicting with Standard 3, which prohibits introducing elements that misrepresent a property's historic appearance.

Standard 3 - "Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development... will not be undertaken."

- **Failure to Preserve the Physical Record of Its Time**
By removing original materials and reconstructing large portions of the façade, the project disregards the building as a physical record of its time and place (Standard 3). The intervention eliminates defining characteristics that contribute to its historical significance.

Standard 3 - "Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development... will not be undertaken."

- **Incompatibility of New Construction**
The proposed balcony and glass openings significantly alter the form, scale, and materials of the front elevation. This is inconsistent with Standard 9, which states that new additions and alterations must be compatible with the historic property in size, scale, proportion, and materials, while also differentiated from the original.

Standard 9 - "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property..."

- **Loss of Spatial Relationships and Façade Composition**
The new balcony and openings disrupt the original architectural rhythm and spatial organization of the façade, undermining the visual and spatial relationships that characterize the building. This again violates Standard 9.

Standard 9 - "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property..."

- **No Preservation of Historic Features on the Lower Level**
The lower level is undergoing a complete transformation with no effort to preserve or integrate historic features. This conflicts with Standard 5, which emphasizes preserving features that characterize a property, and Standard 6, which promotes repair over replacement.

Standard 5 - "Distinctive materials, features, finishes, and construction techniques... will be preserved."

Standard 6 - “Where deterioration requires replacement, the new work will match the original in design, material, texture, and color-supported by documentary evidence.”

- Irreversible Alterations to the Building’s Integrity
The proposed work does not meet Standard 10, which requires new construction to be reversible and to maintain the essential form and integrity of the historic property. The extent and permanence of the proposed alterations would fundamentally destroy the historic structure’s identity

Standard 10 - “New additions... will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property... would be unimpaired.”

B. Historic Urban Design Guidelines

1. The proposed alterations are not consistent with the principles and specific guidance outlined in the Historic Urban Design Guidelines. The project involves the removal of historic materials, the addition of incompatible features, and a complete reconfiguration of the primary façade, all of which conflict with best practices for historic preservation.

- Removal of Original Masonry and Materials
The proposal involves demolishing original brick walls to create large glass openings, which results in the loss of historic materials that define the building’s architectural character. The guidelines emphasize preservation of original façade materials and discourage unnecessary replacement.

Reference: Chapter 3 - Building Rehabilitation, Section: Building Materials
“Preserve and repair original materials whenever possible. Avoid removing or covering up materials that contribute to the character of the building.”

- Inappropriate Storefront Alterations
The proposed lower-level changes eliminate traditional storefront components such as bulkheads, display windows, and recessed entries, replacing them with incompatible glass openings. The guidelines stress the importance of retaining or reconstructing storefronts in a historically appropriate manner.

Reference: Chapter 3 - Building Rehabilitation, Section: Storefronts
“Storefront alterations should preserve original elements. If replacement is necessary, use historical photographs or similar buildings as a guide. Do not install large, undivided glass walls or modern storefront systems that lack traditional elements.”

- Introduction of a Balcony That Never Historically Existed
The proposed upper-level balcony is not historically documented and represents a conjectural feature. The guidelines discourage introducing new architectural elements that were not part of the original building design.

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Reference: Chapter 3 - Building Rehabilitation, Section: Architectural Features
“Do not add features to a building that it never historically had, such as balconies or decorative elements, unless there is photographic or physical evidence of their existence.”

- Disruption of Façade Rhythm, Scale, and Proportions
Replacing significant portions of the masonry with large glass window and door openings alters the building’s historic rhythm of openings, proportion, and massing-key elements that define its visual identity.

Reference: Chapter 4 - Design Guidelines for New Construction and Alterations, Section: Façade Composition
“Respect the original rhythm and proportion of window and door openings. Maintain the solid-to-void ratio typical of historic façades.”

- Incompatibility of New Construction and Alterations
The new balcony and glass façade elements are not compatible in materials, scale, or character with the original building or surrounding historic context. New construction must be subordinate and complementary, not dominant or disruptive.

Reference: Chapter 4 - Design Guidelines for New Construction and Alterations, Section:
Compatibility
“New additions or alterations should be compatible with the scale, materials, and character of the original structure. Avoid designs that visually overpower or conflict with the historic building.”

- Loss of Historic Character and Architectural Integrity
The cumulative impact of the proposed work-extensive demolition, modern insertions, and new construction-compromises the historic identity of the building, resulting in the loss of its defining character.

Reference: Chapter 2 - Preservation Philosophy, Section: General Approach
“The goal is to retain the original architectural character of historic buildings. Major alterations that destroy significant historic features should be avoided.”

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.
2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.
3. It is recommended that all existed improvements utilize the following resources as a

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guide:

- The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings
 - City of Laredo Historic Urban Design Guidelines
 - City of Laredo Historic Preservation Plan
4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.
 5. As per the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure.

Chairman Narvaez opened the public hearing.

Bm. Santana stated that the alterations to the façade represented a dramatic change and reminded that the purpose of the Board is to preserve the historic character of Laredo's Historic District.

Raul Treviño, Applicant, informed the Board that their main goal is to contribute to downtown improvements and that their request seeks to enhance the building's appearance to make it more appealing.

Bm. Santana reiterated to the applicant that the proposed alterations significantly change the façade and do not preserve the district's historic character.

Juan Fernando Rodriguez asked the Board if there were alternative options and requested information on where to seek guidance for the building's remodeling.

Bm. Iglesias suggested contacting Laredo Main Street, noting that the organization could provide recommendations on colors and architectural styles appropriate for the downtown area.

Chairman Narvaez, requested a motion to close the public hearing and action for HD-004-2025.

Vice Chairman Barrientos explained to the applicant that it is important to preserve the historic and cultural character of downtown. He noted that allowing unrestricted changes to building façades would undermine the preservation of the historic district. In addition, Vice Chairman Barrientos informed the applicant that organizations such as Laredo Main Street and the Webb County Heritage Foundation are available to provide assistance.

Bm. Santana made a motion to close the public hearing and **deny** HD-004-2025.

Second: Vice Chair Barrientos
For: 6
Against: 0
Abstain: 0

Motion carried Unanimously

C. Public hearing and consideration of a motion to consider the proposed scope of work to the Juan Francisco Farias Residence which includes demolition, exterior alterations, new construction, and restoration on Lots 1, 9, and 10, Block 32, Western Division, located at 409 San Bernardo Avenue and 820 Iturbide Street. The property is within the Old Mercado Historic District.

**HD-005-2025
District VIII**

Laura Garza, Planning Staff, provided a brief overview on the item.

Bm. Barrientos stepped out of the meeting at 12:23 p.m.

Bm. Barrientos stepped back into the meeting at 12:25 p.m.

Staff Recommendation: Staff **supports** the proposed scope of work for the following reasons:

1. The project represents a comprehensive restoration and rehabilitation of a significant contributing structure within the historic district.
2. The proposed scope of work appropriately restores the historic building while incorporating sensitively designed new elements that do not compromise the character, materials, or spatial relationships of the property.
3. The project advances the goals of both the Secretary of the Interior's Standards and the Historic Urban Design Guidelines, and it contributes positively to the long-term preservation of the property.

A. Secretary of the Interior's Standards for Rehabilitation

- **Holistic Restoration Approach**
The applicant is undertaking a comprehensive rehabilitation of the structure, including restoration of architectural elements, masonry repair, reopening of historic openings, and appropriate material replication-demonstrating a strong commitment to preservation and long-term stewardship (Standards 2, 5, 6).

Standard 2 - "The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided."

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Standard 5 - “Distinctive materials, features, finishes, and construction techniques... will be preserved.”

Standard 6 - “Where deterioration requires replacement, the new work will match the original in design, material, texture, and color-supported by documentary evidence.

- **Compatibility of New Construction**

The proposed addition at the east rear of the building is modest in scale and located away from the primary façade. It will utilize materials that are compatible with the existing structure, ensuring differentiation while maintaining harmony with the original building (Standards 9 and 10).

Standard 9 - “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property...”

Standard 10 - “New additions... will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property... would be unimpaired.”

- **Removal of Non-Historic Elements**

The scope includes the demolition of non-historic structures in the south parking lot to enhance the site’s historic character and create landscaped pedestrian spaces, improving spatial relationships without impacting contributing features (Standards 2 and 9).

Standard 2 - “The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.”

Standard 9 - “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property...”

- **Reconstruction of Missing Features**

The porches (South, East, and Room 113) will be reconstructed to match historic components and profiles, based on documentary evidence, thereby restoring lost historic features and improving architectural integrity (Standard 6).

Standard 6 - “Where deterioration requires replacement, the new work will match the original in design, material, texture, and color-supported by documentary evidence.”

- **Restoration of Blocked Openings**

The reopening of original window and door openings that were previously infilled with CMU or boarded over will restore the historic façade rhythm and fenestration

patterns (Standards 2 and 5).

Standard 2 - “The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.”

Standard 5 - “Distinctive materials, features, finishes, and construction techniques... will be preserved.”

- Use of Historically Appropriate Materials
Restoration will involve the use of traditional materials such as lime-based plaster, mineral-based paint, replicated ashlar patterns, and rusticated stucco finishes-ensuring visual and physical compatibility (Standards 5 and 6).

Standard 5 - “Distinctive materials, features, finishes, and construction techniques... will be preserved.”

Standard 6 - “Where deterioration requires replacement, the new work will match the original in design, material, texture, and color-supported by documentary evidence.”

- Gentle and Reversible Treatments
The removal of paint and cement stucco will be performed with care, and treatments will use historically appropriate and minimally invasive methods to avoid damage to underlying materials (Standard 7).

Standard 7 - “Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.”

- Preservation of Craftsmanship
Historic decorative elements, such as rusticated lintels, pilasters, cornices, and precast hand-tooled units, are being carefully restored or replicated using compatible methods, preserving craftsmanship and aesthetic values (Standard 5).

Standard 5 - “Distinctive materials, features, finishes, and construction techniques... will be preserved.”

- Maintaining Historical Record and Reversibility
All new work, including additions and window/door modifications, is designed to be reversible without impairing the essential form and integrity of the historic property, in accordance with preservation best practices (Standard 10).

Standard 10 - “New additions... will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property... would be unimpaired.”

- Site Improvements That Support Historic Character

The landscaping, paving, lighting, and fencing are designed to complement the historic setting while removing incompatible elements, thereby enhancing the site's overall visual coherence and pedestrian accessibility (Standards 9 and 10).

Standard 9 - "New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property..."

Standard 10 - "New additions... will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property... would be unimpaired."

- Proposed Rear Service Yard

The service yard is located at the rear and will be visually unobtrusive. It preserves the spatial relationships of the building and avoids alteration of any character-defining features. The enclosure is differentiated, compatible, and reversible-meeting the intent of Standards 2, 9, and 10.

Standard 2: "The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features... will be avoided."

Standard 9: "New additions, exterior alterations... shall not destroy historic materials, features, and spatial relationships... The new work shall be differentiated from the old and shall be compatible..."

Standard 10: "New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity... would be unimpaired."

complies with recommendations to reestablish original fenestration where evidence exists.

Reference: Chapter 3 - Treatment of Character-Defining Features

"Preserve intact features with appropriate maintenance... Do not obscure features with coverings... Reconstruct only those portions that are damaged beyond repair."

Reference: Chapter 3 - Windows and Doors

"Windows and doors are among the most important character-defining features... Avoid altering original opening locations or dimensions."

- Compatible New Construction (East Rear Addition)

The addition for office space is at the rear, maintains compatible scale and materials, and is distinguishable-meeting design principles for new additions.

Reference: Chapter 3 - Additions to Historic Buildings

"An addition should be compatible in scale, materials and character... It should be set

back from the primary, character-defining façade... The addition should be subtly distinguishable in its design."

Reference: Chapter 3 - Alteration, Restoration, and Rehabilitation - Guideline #9
"Contemporary design for additions... shall not be discouraged... when compatible in size, scale, material, and character."

- Demolition of Non-Historic Structures

The removal of non-contributing elements from the site (e.g., in the south parking lot) enhances the historic setting and is supported when based on documented non-historic status.

Reference: Introduction - Goals for Treatment of Historic Properties

"Enhance the perception of the historic character... by removing non-contributing alterations."

- Use of Historically Appropriate Materials

The use of lime-based plaster, mineral paints, replicated stucco finishes, and matching brickwork meets the requirement to use materials compatible in appearance and composition.

Reference: Chapter 3 - Alteration, Restoration, and Rehabilitation - Guideline #6

"New material should reflect the material being replaced in composition, design, color, texture..."

Reference: Chapter 3 - Facade Materials

"Do not use synthetic materials that do not convey the appearance or durability of the historic material."

- Reconstruction of Porches and Architectural Features

Rebuilding porches (South, East, Room 113) based on historic documentation complies with the guidelines for restoring missing features.

Reference: Chapter 3 - Alteration, Restoration, and Rehabilitation - Guideline #6

"Repair or replacement of missing architectural features should be based on accurate duplications of features substantiated by historical, physical, and pictorial evidence."

- Landscape Improvements and Courtyard Restoration

The new pathways and courtyards maintain the spatial hierarchy of the historic site and support pedestrian use, which the guidelines encourage.

Reference: Chapter 2 - Landscaping

"The development of patios and courtyards in the rear of buildings is encouraged."

- Reversible Work that Protects Historic Integrity

The addition and new work are designed to be reversible, consistent with preservation principles to protect the building's long-term integrity.

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Reference: Chapter 3 - Alteration, Restoration, and Rehabilitation - Guideline #10
"Wherever possible, new additions... shall be done in such a manner that if removed, the essential form and integrity... would be unimpaired."

- Minimizing Visual Impact

The equipment will be screened from public view using a compatible wall that does not damage or obscure any historic materials. The location at the rear ensures that the equipment and wall remain secondary in prominence.

Reference: Chapter 2 - Mechanical Equipment and Utilities

"Minimize the visual impact of mechanical equipment. Screen equipment from view... Use low-profile mechanical units on rooftops that are not visible from the street... Locate standpipes and service equipment such that they do not damage historic façade materials."

Reference: Chapter 3 - Additions to Historic Buildings

"An addition should be compatible in scale, materials and character with the main building... It should be set back from the primary, character-defining façade... It should remain subordinate and be subtly distinguishable in its design."

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.
2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.
3. It is recommended that all existed improvements utilize the following resources as a guide:
 - The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings
 - City of Laredo Historic Urban Design Guidelines
 - City of Laredo Historic Preservation Plan
4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.
5. As per the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure

Chairman Narvaez opened the public hearing.

Ed Quiroga, Representative, provided the Board with a brief presentation on the project, which will house the Veterans Service Office and a Veterans Museum. Mr. Quiroga described the extensive research conducted for the project and discussed the property's historical background.

Steve Tillotson presented additional information regarding the development, site survey, and the property's historic significance. Mr. Quiroga added further details about the project's scope.

Brian Manning, representing Killam Development, informed the Commission that he would like downtown property owners to have access to resources supporting building restoration efforts.

Bm. Santana emphasized the need for educational materials for downtown property owners purchasing historic buildings, suggesting the inclusion of informational packets about each property. He also recommended reinstating paint restrictions and cited an example involving a mural painted on a historic structure.

Board Member Nance stepped out of the meeting at 12:53 p.m.

Mr. Manning agreed that real estate brokers should be knowledgeable when representing clients and expressed support for the idea of informational packets for historic properties.

Chairman Narvaez requested a motion to close the public hearing and take action on case HD-005-2025.

Laura Garza, Historic Preservation Officer, clarified that the auxiliary building would undergo repairs only but brought the matter to the Historic Board's attention for informational purposes, as the Board does not typically review repair work.

Bm. Santana made a motion to close the public hearing and **approve** HD-005-2025. The motion includes demolition, exterior alterations, new construction, and restoration to the Juan Francisco Farias Residence.

Second:	Vice Chair Barrientos
For:	5
Against:	0
Abstain:	0

Motion carried Unanimously

- D. Public hearing and consideration of a motion to consider the installation of an attached signage to the front façade of the building on Lot 5 and parts of Lots 3, 4, 6, 7 & 8, Block 1, Western Division, located at 1002 Grant Street. The property is within the San Agustin de Laredo Historic District.**

HD-006-2025

Minutes of the HDLB meeting of August 14, 2025

District VIII

Bm. Nance stepped back into the meeting at 12:57 p.m.

Vanessa Fresnillo, Planning Staff, provided a brief overview on the item.

Staff Recommendation: Staff **supports** the addition of proposed new signage on the existing façade, facing San Agustin Plaza as it is contingent on the sign's size, materials, and placement being compatible with the historic character of the building.

A. Historic Urban Design Guidelines

1. The signage complies with the Historic Urban Design Guidelines by respecting the building's scale, avoiding obstruction of architectural details, and maintaining compatibility with the streetscape.

- **Appropriate Placement & Scale**

The signage is appropriately scaled to the façade and positioned so that it does not obscure or damage any historic architectural features, aligning with the guidelines for maintaining the integrity of historic facades.

Reference: Chapter 5 - Signage

“New signs should be scaled to the building façade and placed so as not to obscure or damage historic architectural features. Signage should complement the building's proportions and rhythm.”

- **Location & Visibility**

The sign's placement on the south elevation facing San Agustin Plaza, enhances pedestrian interaction and contributes to the overall vitality and historic character of this prominent public space.

Reference: Chapter 5 - Signage

“Sign placement should enhance the pedestrian experience and contribute to the vitality of the streetscape, particularly on elevations facing public spaces.”

- **Number of Signs**

The proposed sign complies with the limit of signs per premises, ensuring consistency with signage density guidelines and maintaining visual clarity along the streetscape.

Reference: Chapter 5 - Signage

“Business signs in buildings shall be limited to one sign per premises for interior lots and two signs for corner lots.

- **Secretary of the Interior's Standards for Rehabilitation**

1. The proposed sign does not obscure or remove historic materials or features and respects the scale and design of the façade.

Standard 2 - “The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.”

2. The new sign is appropriately scaled and designed to complement the building’s historic storefront features, avoiding visual disruption.

Standard 9 - “New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.
2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.
3. It is recommended that all existed improvements utilize the following resources as a guide:
 - The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings City of Laredo Historic Urban Design Guidelines
 - City of Laredo Historic Preservation Plan
4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.
5. As per the Secretary of the Interior’s Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure.

Chairman Narvaez opened the public hearing.

Michael Haynes, speaking on behalf of his clients, provided a brief explanation of the project, stating that they intend to maintain the building’s façade while installing a new sign.

Mario Gonzalez requested clarification regarding the proposed sign colors.

Mr. Haynes clarified the sign’s design details, explaining that it aims to enhance both visibility and security.

Bm. Santana asked for clarification on the type of lighting. Mr. Haynes responded that LED lighting would be used but noted it would be toned down with frosted letters to avoid excessive brightness.

Vice Chairman Barrientos emphasized that the property is located in San Agustín Plaza—the jewel of downtown—and asked whether other options had been considered.

Mr. Haynes explained that the signage could be dimmed or turned off at night to avoid detracting from San Agustín Church.

Vice Chairman Barrientos and Bm. Santana expressed concerns about bright lighting in the middle of San Agustín Plaza and recommended using warm, adjustable lighting instead of bright LEDs. Mr. Haynes agreed to those adjustments.

Chairman Narvaez asked whether the lighting specifications should be included in the motion. Laura Garza, Historic Preservation Officer, confirmed that they should.

Bm. Iglesias noted that the property is part of the TIRZ and suggested that Mr. Haynes explore available resources through that program.

Chairman Narvaez, requested a motion to close the public hearing and action for HD-006-2025.

Bm. Santana made a motion to close the public hearing and **approve** HD-006-2025. The motion includes the approval of the installation of an attached signage to the front façade of the building with the condition that the brightness be lowered and the use of white light for the sign with a warm lighting around the building.

Second:	Bm. Nance
For:	6
Against:	0
Abstain:	0

Motion carried

Laura Garza, Historic Preservation Officer, welcomed Bm. Santana to the board, noting that he will represent District I as the historic appointee.

Vice Chairman Barrientos suggested improving outreach and communication efforts by coordinating with Laredo Main Street and the Webb County Heritage Foundation to ensure everyone is on the same page.

Bm. Santana and Vice Chairman Barrientos asked about the possibility of reverting the ordinance to allow restrictions on paint and what is the process to start the amendment.

Laura Garza, Historic Preservation Officer, commented that initiation would need to come from the council members.

8. ADJOURNMENT

Chairman Narvaez requested the meeting be adjourned at 1:15 p.m.

Bm. Nance made a **motion** to adjourn the meeting.

Second:	Bm. Iglesias
For:	6
Against:	0
Abstain:	0

Vanessa Guerra,
City Planning Director

Johnny Narvaez
HDLB Acting Chair

City of Laredo

Historic District / Landmark Board

Meeting Date: 11/13/2025

Action Item 6A

SUBJECT

Public Hearing and Consideration of a motion to consider façade improvements to the Plaza Theater, which includes exterior alterations, new construction, demolition, and restoration on Lots 2, 8, 9, and the west one third of Lot 3 (approximately 2,057.75 square feet), Block 46, Western Division, located at 1018 and 1012 ½ Hidalgo Street and 1013 and 1017 Farragut Street. This property is within the Old Mercado Historic District.

HD-001-2026
District VIII

BACKGROUND

Initiated by: City of Laredo, Owner; Joseph Neeb, City Manager, Applicant; Ricardo Solis, Representative

Previous Action:

On September 15, 2005, the Historic District Landmark Board (HDLB) approved a request for façade restoration and improvements to the Plaza Theater's lighting and marquee sign.

Proposed Scope of Work Includes:

- 1). Alterations, Renovations, and Repairs that will Alter the Existing Exterior Façade:
 1. Replacement of neon tube lighting with LED Primary Green Incision skeletonized lighting
 2. Replacement of chrome finish door hardware with Art Deco-style antique brass handles on existing front door handles.
 3. Reconstruction of the damaged canopy and tile walls on the north façade.
 4. Installation of a new stucco ceiling beneath the canopy.
 5. Reconstruction of the canopy roof with new TPO roofing and drainage.
 6. Replacement of existing light fixtures above north exit doors.

- 2). Repairs and Renovations that will not Alter the Exterior Façade:
 1. Cleaning, refinishing, and repair of existing wood doors, frames, tilework, terrazzo flooring, metal panels, and brick.
 2. Repointing brick mortar to match existing.
 3. Cleaning and repainting stucco, soffits, and metal components.
 4. Repainting existing wrought iron and storefront features for maintenance.

- 3). Partial Demolition of Building A (1012 ½ Hidalgo Street - building adjacent to the Plaza Theater):
 1. Removal of existing façade elements (brick, glass block, corrugated and TPO roofs) from Building A for a new expansion.

4). New Construction to the Rear of Building A (1012 ½ Hidalgo Street - building adjacent to the Plaza Theater):

1. Construction of a new building addition with stucco walls, metal coping, steel windows, and metal doors.

Building Type:

Plaza Theater:

As per the 1997 Historic Urban Design Guidelines:

- "The Plaza Theater was constructed in 1947 by the H.B. Zachary Construction Company of Laredo. This building belongs to the Art Moderne architectural style. The façade is a composition of horizontal and vertical, convex and concave elements. At the ground level is concave entrance which provides room for crowds, the entrance doors, and the protruding octagonal ticket booth. Above the entrance area is the marquee which is a bold horizontal element that hovers over the sidewalk. Above the marquee is a large concave space that holds a series of tall, vertical metal pieces. This area is capped by a cantilevered flat roof and circular element. There are two vertical elements that give coherence to the whole building. On the east side of the façade is a large concave cylinder the covers the whole vertical length of the building. At the west side is a tall solid, vertical piece which carries a vertical extruded element that spells out "PLAZA" in large letters. On top of this element is a tall cylindrical spire topped with a small sphere. There two vertical elements are tied together by the horizontal marquee element. Green tile is the predominant material that is used on the façade."

As per the 1996 Historic Preservation Plan:

- "The interior featured a large balcony with a beautiful canvas mural painted by Laredo artist, Manuel Gutierrez. The theater was fully air conditioned and contained 2, 400 feet of neon lighting. The Plaza is the only historic theater in Laredo which maintains its historic integrity."

Building A (1012 ½ Hidalgo Street - building adjacent to the Plaza Theater):

- A separate commercial building that is adjacent to the Plaza Theater.

Site: The property is an H-AE (Historic Arts and Entertainment District) zoning district. The Plaza Theater faces the Old Mercado Plaza.

Letters sent to the surrounding property owners: 22

For: 0

Against: 0

Granting or Denying an Application:

- As per the Laredo Land Development Code, Section 24.1.2.2(2), the Historic District Landmark Board shall utilize the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings; and the City of Laredo, Texas, Historic Urban Design Guidelines

Secretary of the Interior's Standards (Secretary of the Interior):

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.

2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will

be avoided.

3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION

*THE PURPOSE OF THIS APPLICATION REVIEW BEFORE THE HISTORIC DISTRICT/LANDMARK BOARD IS FOR HISTORIC COMPLIANCE ONLY. APPROVAL DOES NOT GUARANTEE APPROVAL OF A CONSTRUCTION PERMIT, OR ANY OTHER TYPE OF PERMIT THAT MIGHT BE REQUIRED FOR THIS PROJECT.

Staff supports the proposed scope of work for the following reasons:

- 1). Alterations, Renovations, and Repairs that will Alter the Existing Exterior Façade:
 - a. The replacement of skeletonized lighting, chrome hardware, canopy reconstruction, and lighting fixtures will reflect the Art Moderne architectural style. As per the Secretary of the Interior, the historic character of the Plaza Theater will be retained and preserved. (Standard 2: Historic Character)
 - b. The proposed scope of work appropriately restores the historic building while incorporating new materials such as stucco, a flat TPO roof, and metal that complement the existing character, materials, and spatial relationships of the property, as per the Secretary of the Interior. (Standard 9: New Additions)
- 2). Repairs and Renovations that will not Alter the Exterior Façade:
 - a. The proposed repairs, such as cleaning, replacement of grout, wood sanding/refinishing, repairing metal panels, are consistent with historic preservation standards and maintain the architectural integrity of the Plaza Theater. (Standard 2: Historic Character)
 - b. The proposed scope of work includes repair of teal tile, terrazzo flooring, and wood doors in a manner that maintains integrity and preserves all character-defining features, as per the Historic Urban Design Guidelines. (Chapter 3: Treatment of Character-Defining Features)

- 3). Partial Demolition of Building A (1012 ½ Hidalgo Street - building adjacent to the Plaza Theater)
 - a. The proposed partial demolition of Building A does not destroy historic materials, as the Plaza Theater will remain intact, as per the Secretary of the Interior. (Standard 9: New Additions)
 - b. The proposed partial demolition of Building A will maintain the streetscape and will preserve the façade materials of Building A, as per the Historic Urban Design Guidelines. (Chapter 3: Preserve Façade Materials)

- 4). New Construction to the Rear of Building A (1012 ½ Hidalgo Street - building adjacent to the Plaza Theater):
 - a. The new construction is compatible in scale, materials, and massing without creating a false historical appearance, as similar materials such as stucco, metal, and a flat TPO roof are being used, as per the Secretary of Interior. (Standard 9: New Additions)
 - b. The addition for the Plaza Theater expansion recedes approximately 15 feet from the street, is distinguishable from the existing historical environment, and remains visually compatible to the Plaza Theater as per the Historic Urban Design Guidelines. (Chapter 3: Additions to Historic Buildings)

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.

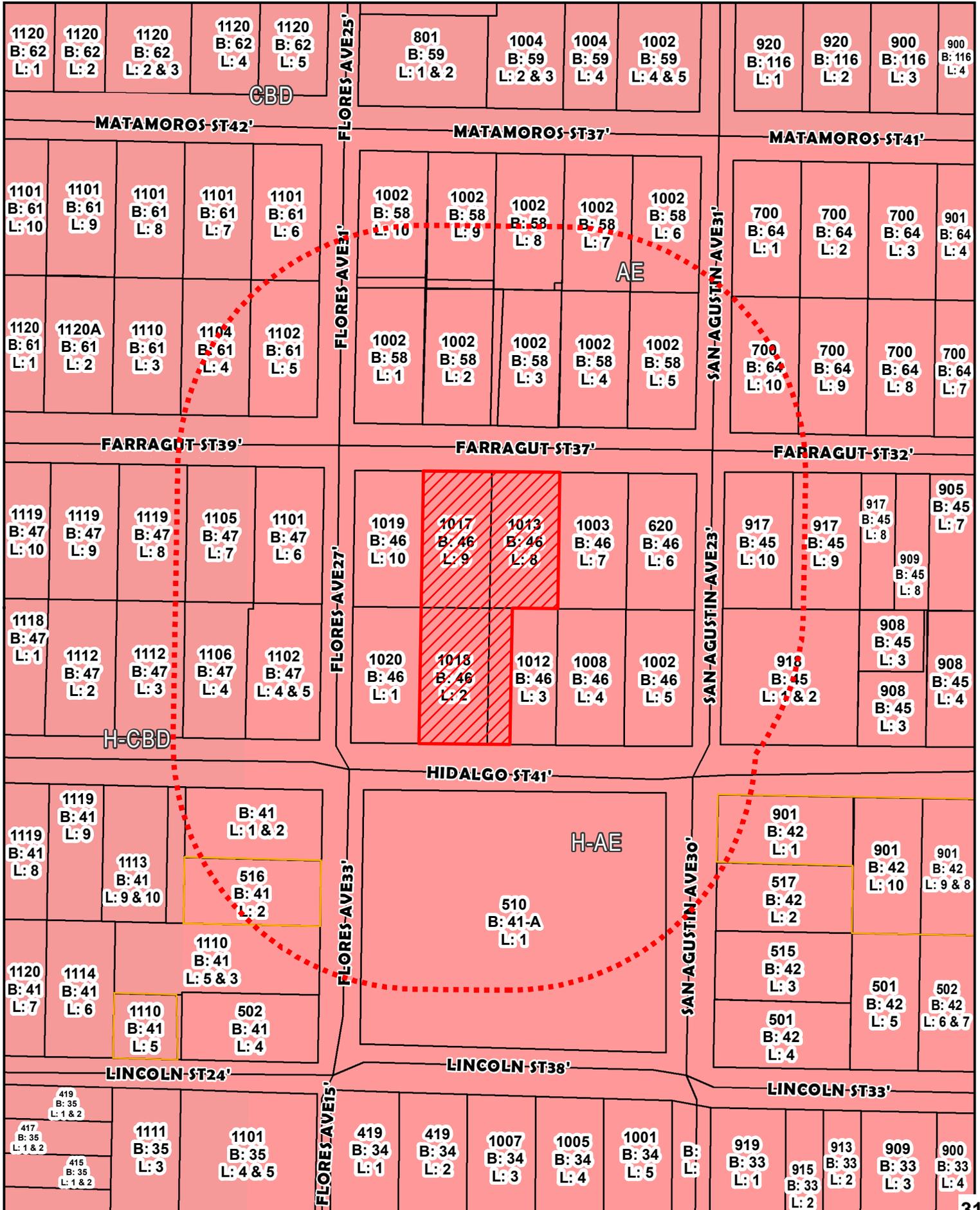
 2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.

 3. It is recommended that all existed improvements utilize the following resources as a guide:
 - The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings
 - City of Laredo Historic Urban Design Guidelines
 - City of Laredo Historic Preservation Plan

 4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.

 5. As per the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure
-









LOT 9
BLOCK 46

LOT 8
BLOCK 46
WESTERN DIVISION CITY
OF LAREDO

LOT 7
BLOCK 46

FIELD MEASURE:
S 88° 57' 24" E ~ 18.52'

VOLUME 1885, PAGE 468
P.R.W.C.T.

P.O.C.
F.I.R.

CITY OF LAREDO
"THEATER"
LOT 2, LOT 9, BLOCK 46
WESTERN DIVISION CITY
OF LAREDO
VOLUME 775, PAGE 623
P.R.W.C.T.

LOT 2
BLOCK 46

PROP.
COR.
P.O.B.

PROP.
COR.

N 88° 57' 24" W
55.56'

1012 1/2
HIDALGO ST.
W 1/3 OF
LOT 3,
BLOCK 46

0.8' (Approx.)

WESTERN
DIVISION CITY
OF LAREDO
VOLUME 4541
PAGE 174
O.P.R.W.C.T.

FIELD MEASURE:
N 01° 02' 36" E ~ 111.11'

FIELD MEASURE:
S 01° 02' 36" W ~ 111.11'

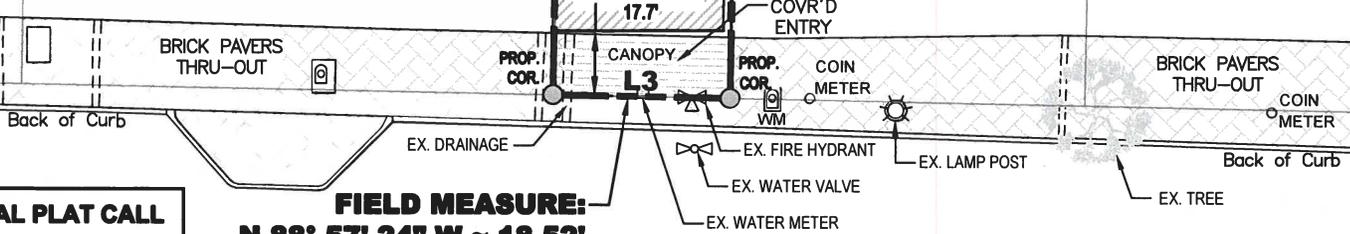
**EAST 2/3
OF LOT 3**
BLOCK 46

WESTERN DIVISION CITY
OF LAREDO
VOLUME 251, PAGE 734
O.P.R.W.C.T.

LOT 4
BLOCK 46

WESTERN DIVISION CITY
OF LAREDO
VOLUME 4778, PAGE 272
O.P.R.W.C.T.

TWO STORY
BRICK
STRUCTURE
1,866 SQ. FT.
BASED ON
1ST FLOOR
BLDG.
PERIMETER



FIELD MEASURE:
N 88° 57' 24" W ~ 18.52'

HIDALGO STREET
(55.56' R.O.W - 41' B/B)

ORIGINAL PLAT CALL		
LINE#	DIRECTION	LENGTH
L1	EAST	18.52'
L2	SOUTH	111.11'
L3	WEST	18.52'
L4	NORTH	111.11'

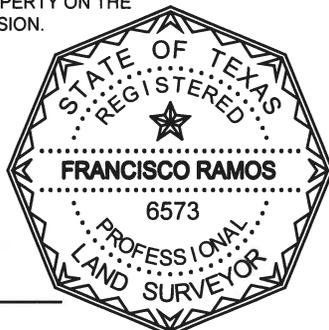
NOTES:

- ALL BEARINGS, DISTANCES, AND COORDINATE VALUES ARE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM 1983, TEXAS SOUTH ZONE, US SURVEY FEET.
- THIS SURVEY WAS DERIVED FROM GPS REAL TIME KINEMATIC OBSERVATIONS REFERENCED TO THE TEXAS COORDINATE SYSTEM, SOUTH ZONE, NAD-83 AND TIED TO OLD MERCY CONTROL.
- ORIGINAL PLAT CALLS SHOWN ON LINE TABLE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT; THEREFORE, EASEMENTS, RIGHT-OF-WAYS, AND OTHER FEATURES AFFECTING THIS PROPERTY MAY NOT BE SHOWN.
- THIS WORK DOES NOT REPRESENT A CHAIN OF TITLE EXAMINATION, SURFACE MINERAL FEE IN EITHER SUBJECT AND/OR ADJACENT TRACTS MAY NOT BE CURRENT AND/OR HISTORICALLY CORRECT AND IS SHOWN FOR INFORMATIONAL PURPOSE ONLY.

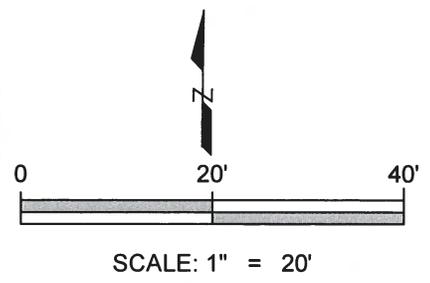
CERTIFICATE OF SURVEYOR

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY STATE THAT THE FOREGOING PLAT OF SURVEY WAS PREPARED FROM AN ACTUAL SURVEY OF THE SUBJECT PROPERTY ON THE GROUND UNDER MY SUPERVISION.

Francisco Ramos
9/13/2021



SEPTEMBER 13, 2021



LEGEND

- CONCRETE CURB & GUTTER
- PROPERTY LINE
- LOT LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- FENCE
- SEWER CLEANOUT
- MANHOLE
- TRAFFIC SIGN
- WATER VALVE
- PROPERTY CORNER
- FOUND IRON ROD

 S&B INFRASTRUCTURE 2120 BLAINE SUITE 100 LAREDO, TEXAS 78043 TELEPHONE: (956) 568-2561 SURVEYING #: 10193914		SURVEY OF: 1012 1/2 HIDALGO ST. WEST 1/3 OF LOT 3, BLOCK 46 WESTERN DIVISION CITY OF LAREDO WEBB COUNTY, TEXAS	
		DRAWN BY: F.G.J.	CHECKED BY: F.R.
DATE: 09-08-2021	PROJECT NO. U3263	SHEET: 1 OF 2	- 34



SURVEY OF

ALL OF THE WEST 1/3 OF LOT 3, BLOCK 46
WESTERN DIVISION OF THE CITY OF LAREDO
WEBB COUNTY, TEXAS

DATED: SEPTEMBER 13, 2021
SHEET: 2 OF 2

BEING A 2,057.75 SQUARE FOOT TRACT, BEING ALL OF THE WEST ONE THIRD OF LOT 3, BLOCK 46, WESTERN DIVISION OF THE CITY OF LAREDO, AS PER THE ORIGINAL PLAT OF THE CITY OF LAREDO, BEING THE SAME TRACT OF LAND DESCRIBED IN VOLUME 4541, PAGE 174, OFFICIAL PUBLIC RECORDS OF WEBB COUNTY TEXAS, WEBB COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT A FOUND IRON ROD, BEGIN THE COMMON CORNER OF LOT 3, LOT 4, LOT 7, AND LOT 8, OF BLOCK 46, WESTERN DIVISION OF THE CITY OF LAREDO, THENCE **N 88° 57' 24" W** A DISTANCE OF **55.56'** TO A POINT BEING COMMON CORNER OF LOT 2, LOT 3, LOT 8 AND LOT 9, OF BLOCK 46, WESTERN DIVISION OF THE CITY OF LAREDO, BEING THE **POINT OF BEGINNING** AND THE NORTHWEST CORNER HEREOF;

THENCE S 88° 57' 24" E, A DISTANCE OF **18.52'** TO A POINT BEING THE NORTHEAST CORNER HEREOF;

THENCE S 01° 02' 36" W, A DISTANCE OF **111.11'** TO A POINT BEING THE SOUTHEAST CORNER HEREOF;

THENCE N 88° 57' 24" W, A DISTANCE OF **18.52'** TO A POINT BEING THE SOUTHWEST CORNER HEREOF;

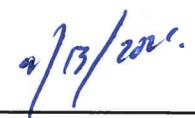
THENCE N 01° 02' 36" E, A DISTANCE OF **111.11'** TO THE **POINT OF BEGINNING** OF THIS TRACT OF LAND CONTAINING 2,057.75 SQUARE FEET, MORE OR LESS.

STATE OF TEXAS
COUNTY OF WEBB:

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY STATE THAT THE ABOVE CAPTIONED "FIELD NOTES" AND ATTACHED "DRAWING" WAS PREPARED FROM AN ACTUAL SURVEY PERFORMED ON THE GROUND UNDER MY SUPERVISION.




FRANCISCO RAMOS, RPLS NO. 6573


09.13.2021



Architecture • Community Engagement
Planning • Economic Development

Plaza Theatre Preservation and Restoration Narrative

The City of Laredo Plaza Theatre at 1018 Hidalgo is an existing movie theatre building located in downtown Laredo, TX. The work includes the removal of the roof's existing MEP, HVAC equipment, equipment curbs, ducts, vents, piping, conduit, electric boxes, roof insulation and top roof membrane. Refer to the demolition plans for more information on the scope. The existing roof deck will remain and be repaired based on the contractor's assessment after uncovering. The contractor will then provide and install new insulation, roof membrane and accessories, metal coping and trim as per the construction documents. The colors of the roof membrane and metal coping will be done to match the existing facility. Metal Deck will be replaced after assessment of removing the existing insulation.

The contractor will also repair and rehabilitate the exterior of the Plaza Theatre and shall remove and salvage all existing exterior lighting, including neon tube lighting and sconces. The contractor shall install new led lighting that will utilize the same openings and mounting points of the existing lighting. All existing neon tube lighting will be removed and replaced with skeletonized led lighting or approved equal as referenced on specifications. The contractor will coordinate the existing lighting fixture mounting openings for reuse. In addition, new lighting will be installed throughout the stucco beams/coves, behind the metal panels, at the base of the metal columns above the marquee, at entrance metal soffit ceiling, at lettering and vertical marquee including antenna, and lighting above the exterior doors. The new lights will be tied to a new electric panel inside the building in the mechanical room on the first floor located underneath the circular stairs. It is the design intent to keep the same lighting temperature and color throughout the building to match what is existing.

New wiring and conduit will be provided for the existing Daktronics screens and shall be routed to the mechanical room in the first floor for programming, controls, and operation. The contractor is to replace and install both Daktronic screens on the marquee, and install and provide the controller at the mechanical room on the 1st floor.

ARCHITECTURE. COMMUNITY ENGAGEMENT. PLANNING. ECONOMIC DEVELOPMENT

Able City, LLC | 901 Victoria Street, Suite A Laredo, TX 78040 | 956.725.7418 | www.able.city



Architecture • Community Engagement
Planning • Economic Development

The contractor will have general cleaning of the exterior tile, metal panels, flooring, stucco, brick cleaning repairs and repointing throughout all facades, and repair and rebuild existing canopies w/ replicated tile on the north facade. The contractor will remove existing adhesive, stone, and residue of an old neighboring building on the east facade near building G. The contractor will repair, sand and restore all exterior doors to the theatre and reinstall with new door hardware. The entrance wall will be insulated and the interior wall will be covered with gyp. bd. In areas where tile, metal panels, or brick will need to be replaced, contractors shall replicate material to match existing material, refer to specifications and coordinate with the architect for information on replicating materials.

The contractor will replace glass, lighting, keying, and hardware on existing glass displays at the entrance exterior. The metal frame will be cleaned and repaired as needed.

Lastly, there will be a building expansion to the Plaza Theatre 1018 Hidalgo St. which will be expanding into 1012 ½" Hidalgo St (Building A). Building A's backside will be demolished except for the front facade. The front will be preserved to maintain the streetscape characteristics. Access to 1012 ½" Hidalgo will be removed and become part of the Plaza Theatre building. The expansion is a new three story building that will house the main Plaza Theatre space with amenities. The new building will be white (historically approved color) stucco finished w/ metal coping and TPO flat roofing to match The plaza theatre.

The contractor shall take necessary precautions to maintain the integrity of the building structure and materials and will provide adequate bracing and protection throughout the areas that will undergo alterations and construction.

Thank you

A handwritten signature in blue ink, appearing to read "Ricardo Solis".

Ricardo Solis, AIA, LEED AP
Able City, LLC

ARCHITECTURE. COMMUNITY ENGAGEMENT. PLANNING. ECONOMIC DEVELOPMENT

Able City, LLC | 901 Victoria Street, Suite A Laredo, TX 78040 | 956.725.7418 | www.able.city

Project Name: Plaza Theatre Project
Historic Application Number: HD-001-2026

item	Proposed Scope of Work: Provide an Itemized Listing of Repairs, Alterations, Renovations to the Exterior Façade.	Existing Architectural Features/Materials. Be Descriptive.	Proposed Work/Materials: Be Descriptive. If Proposed Material is Different, Please Send Pictures.	Repairing/Maintaining that Does Not Alter the Exterior Façade?	Altering Façade?	Location
1	Replace all Green Color Neon Tube lighting	Existing Green Color Neon Tube Lighting is currently broken in some areas and has lost color in others. Some locations have neon tube missing all together.	Primary Green Inciseon Skeletonized lighting; Replace existing tube lighting with LED Primary Green Inciseon Skeletonized lighting and install new lighting at Antenna, Antenna base, Antenna sphere, Vertical Marquee sign, Lettering in Vertical Marquee, Entrance marquee housing screens, Lettering at front entrance marquee, perimeter of facade outlines and roof outline, entrance ceiling.	Yes, altering the exterior façade as the change is going from Neon Tube lighting to LED Skeletonized lighting that are similar in replicating neon tube lighting. New lighting shall be using the same anchor points, connections, and opening as as the existing neon tube lighting to prevent disrupting the existing materials.	Yes, LED lighting will be replacing the neon tube lighting Neon Tube lighting is expensive and hard to maintenance as this area is prone to vandalism. LED lighting allows for easy maintenance and replacement.	South Facade Plaza Theatre
2	Repairs to Front Doors	Wood Doors	Wood Doors; Wood doors are to be sanded and stained to match existing	No, Same doors are being repaired, sanded, stained and reused. Door replacement to match existing is only if door is unable to be reused upon removal for corrective work.		South Facade Plaza Theatre
3	Front Door Handle Hardware Replacement	Chrome finish door hardware; Door Hardware Padlock with latch and industrial door handle in chrome finish installed at a later time with no relationship to the building's character	Art Deco Door Handle Recreated Antique Brass; Install new Art Deco Door Handle Recreated Antique Brass at each door in the front. Existing door handles will be replaced on front doors.	Yes, Replacing existing chrome finished door hardware to one that is appropriate to the buildings character and period of significance to match that of the Art Deco/Art Moderne Style	Yes, Door hardware currently installed is not pertaining to the time period of the building	South Facade Plaza Theatre
4	Repairs to Front Door Framing	Wood Frames	Wood Framing; Framing to be sanded and stained to match existing	No, Same frames are being repaired, sanded, stained and reused. Frame replacement to match existing is only if frame is unable to be reused upon removal for corrective work.		South Facade Plaza Theatre
5	Clean and Repair on Light teal wall tile	Existing Light Teal Wall Tile	Existing to remain; Broken tile and grout shall be replaced, repaired, and cleaned. Clean tile from leftover adhesives and debris.	No, Maintenance and Repairing Tile and Grout. New tile will be replicated to match existing. All other tile will remain and be cleaned		South Facade Plaza Theatre
6	Clean and Repair on Dark teal wall tile	Existing Dark Teal Wall Tile	Existing to remain; Broken tile and grout shall be replaced, repaired, and cleaned. Clean tile from leftover adhesives and debris.	Maintenance and Repairing Tile and Grout. New tile will be replicated to match existing. All other tile will remain and be cleaned		South Facade Plaza Theatre
7	Clean and Repairs to Dark teal metal panels	Existing metal panels along the vertical marquee sign	Existing to remain; Repair broken metal panels.	No, Repair metal panels to match existing at damaged areas only. An existing panel at the top of the vertical marquee is rusted and will be replaced to match existing	No, replaced panel to match existing	South Facade Plaza Theatre

Project Name: Plaza Theatre Project
Historic Application Number: HD-001-2026

item	Proposed Scope of Work: Provide an Itemized Listing of Repairs, Alterations, Renovations to the Exterior Façade.	Existing Architectural Features/Materials. Be Descriptive.	Proposed Work/Materials: Be Descriptive. If Proposed Material is Different, Please Send Pictures.	Repairing/Maintaining that Does Not Alter the Exterior Façade?	Altering Façade?	Location
8	Clean and Repairs to light teal metal panels	Existing light teal metal panels next to vertical marquee sign	clean metal panels	No, Repair metal panels to match existing at damaged areas only.	No	South Facade Plaza Theatre
9	Repair Glass Displays	Glass Displays w/ Lighting inside	Glass displays will have the metal frames cleaned and polished. Glass on displays will be cleaned and polished and repaired where cracks are present. hardware for case will be replaced to match existing. Lighting to be replaced and match existing	No, maintenance only, glass and new hardware shall match existing to function the same.	No	South Facade Plaza Theatre
10	Glass windows on ticket booth	Existing windows at Ticket booth	Glass on windows to be cleaned and frames to be cleaned and repaired.	No, Repairing/Maintenance of Glass and Frames. Glass is broken on North part of booth that needs replacement. Replacement to match existing	No	South Facade Plaza Theatre
11	Wood Door on Ticket Booth	Existing wood Door at Ticket Booth	Door to be sanded, stained, and repaired to match existing	No, Repair and Maintenance	No, Repair and Maintenance to match existing	South Facade Plaza Theatre
12	Door Framing on Ticket Booth	Wood Frames	Wood Framing; Framing to be sanded and stained to match existing	No, Same frames are being repaired, sanded, stained and reused. Frame replacement to match existing is only if frame is unable to be reused upon removal for corrective work.	No	South Facade Plaza Theatre
13	Molding on Ticket Booth	Existing wood molding cornice	Existing molding shall be painted to match existing	No, maintenance only	No	South Facade Plaza Theatre
14	Clean and Repair White Metal Soffit at entrance ceiling	White metal soffits underneath the marquee entrance	Metal soffit, crevices and seams shall be cleaned	No, maintenance only	No	South Facade Plaza Theatre
15	Clean and Repair Teal Metal Soffit at entrance ceiling	teal metal soffits underneath the marquee entrance above ticket booth	Metal soffit, crevices and seams shall be cleaned right above ticket booth	No, maintenance only	No	South Facade Plaza Theatre
16	Clean Metal Pipes on marquee roof	Chrome finished metal pipes	Metal pipes are to be cleaned	No, maintenance only	No	South Facade Plaza Theatre
17	Clean and Repair Metal Panel Fins on marquee roof	Chrome finished metal panel fins	Repair and cleaning of metal fins above the marquee sign in the front facade	No, maintenance only	No	South Facade Plaza Theatre
18	Clean and Repair Entrance Marquee White Metal Panels housing screens	White metal panels	Repair broken metal panels and clean crevices and seams at metal panels	No, Repair metal panels to match existing at damaged areas only. An existing panel at the front is damaged and bent, and will be replaced to match existing. Metal panels, crevices, and seams are to be cleaned	No, Repair metal panels shall match existing	South Facade Plaza Theatre
19	Replace TPO Roofing on Marquee	TPO Roofing	Replace existing TPO roofing w/ similar TPO product and redo termination bars on walls around marquee roof	No, repair of existing	No, repair of existing	South Facade Plaza Theatre

Project Name: Plaza Theatre Project
Historic Application Number: HD-001-2026

item	Proposed Scope of Work: Provide an Itemized Listing of Repairs, Alterations, Renovations to the Exterior Façade.	Existing Architectural Features/Materials. Be Descriptive.	Proposed Work/Materials: Be Descriptive. If Proposed Material is Different, Please Send Pictures.	Repairing/Maintaining that Does Not Alter the Exterior Façade?	Altering Façade?	Location
20	Clean, Repair, Repaint Stucco coves molding	Existing Stucco Coves	Repair cracks on stucco and paint to match existing	No, maintenance only	No	South Façade Plaza Theatre
21	Clean, Repair, Repaint White Stucco walls	Existing Stucco Walls	Repair cracks on stucco and paint to match existing	No, maintenance only	No	All Façades Plaza Theatre
22	Clean Terrazzo Flooring	Existing Terrazzo Flooring	Cleaning of existing terrazzo floor	No, maintenacne only	No	South Façade Plaza Theatre
23	Clean/Replace Brick	Existing Brick	Existing Brick to be cleaned, repaired, and replaced at areas that are damaged/broken/missing	No, Existing brick shall remain and New Brick shall match existing	No, New brick installed at missing areas will match existing size, color scheme and patterns.	East/West Façade Plaza Theatre
24	Brick Mortar repointing	Existing Brick mortar	Brick mortar will be repointed and installed to match existing on all façades	No, new mortar to match existing.	No, new mortar to match existing.	East/West Façade Plaza Theatre
25	Repair Metal Panel Covers	Existing metal panels for HVAC	Metal panels are to be cleaned, repaired, and reinstalled with proper sealing of seams on brick wall	No, repairs of metals panels for HVAC are match existing	No	East Façade Plaza Theatre
26	Replace Metal Louver	Existing Metal Louvers	Replace louvers to match existing on the east side of the building.	No, Repair of louvers are to match existing	No	East Façade Plaza Theatre
27	Canopy reconstruction	Damage canopy and walls on north façade	Existing dark teal tile to remain; Broken tile and grout shall be replaced, repaired, and cleaned. Clean tile from leftover adhesives and debris. New walls will be constructed and finished in the dark teal tile to match existing.	Maintenance and Repairing Tile and Grout. New tile will be replicated to match existing. All other tile will remain and be cleaned	Yes, Reconstructing the damaged canopy and supporting tile walls on the north façade to match existing	North Façade Plaza Theatre
28	Canopy stucco ceiling	Missing ceiling at canopy	Install a new stucco ceiling at the newly constructed canopy and walls on the north façade	Repairs on the missing canopy ceiling	Yes, reconstructing the ceiling underneath the damaged canopies to match existing.	North Façade Plaza Theatre
29	Canopy TPO Roofing	Existing TPO roofing on North façade canopy	Reconstruction of roof over canopy on North façade w/ drains	Repairs on the missing canopy ceiling	Yes, reconstructing the roof over the damaged canopies to match existing.	North Façade Plaza Theatre
30	Repairs on North Exit Doors	Wood Doors at North Exit to Farragut	Wood doors are to be sanded and stained to match existing, However, doors are severely damage and may be replaced with wood doors to match existing	Maintenance and Repairing wood doors. Doors are highly damage and may require replacement	No	North Façade Plaza Theatre
31	Repairs to North Door Framing	Existing Wood Frames	Wood Framing; Framing to be sanded and stained to match existing	No, Same frames are being repaired, sanded, stained and reused. Frame replacement to match existing is only if frame is unable to be reused upon removal for corrective work.	No	North Façade Plaza Theatre

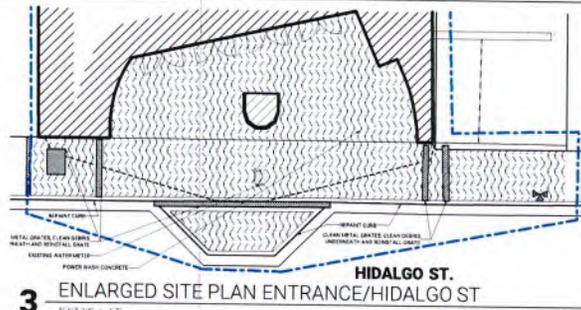
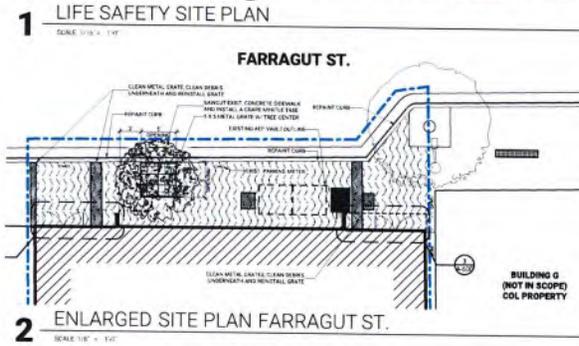
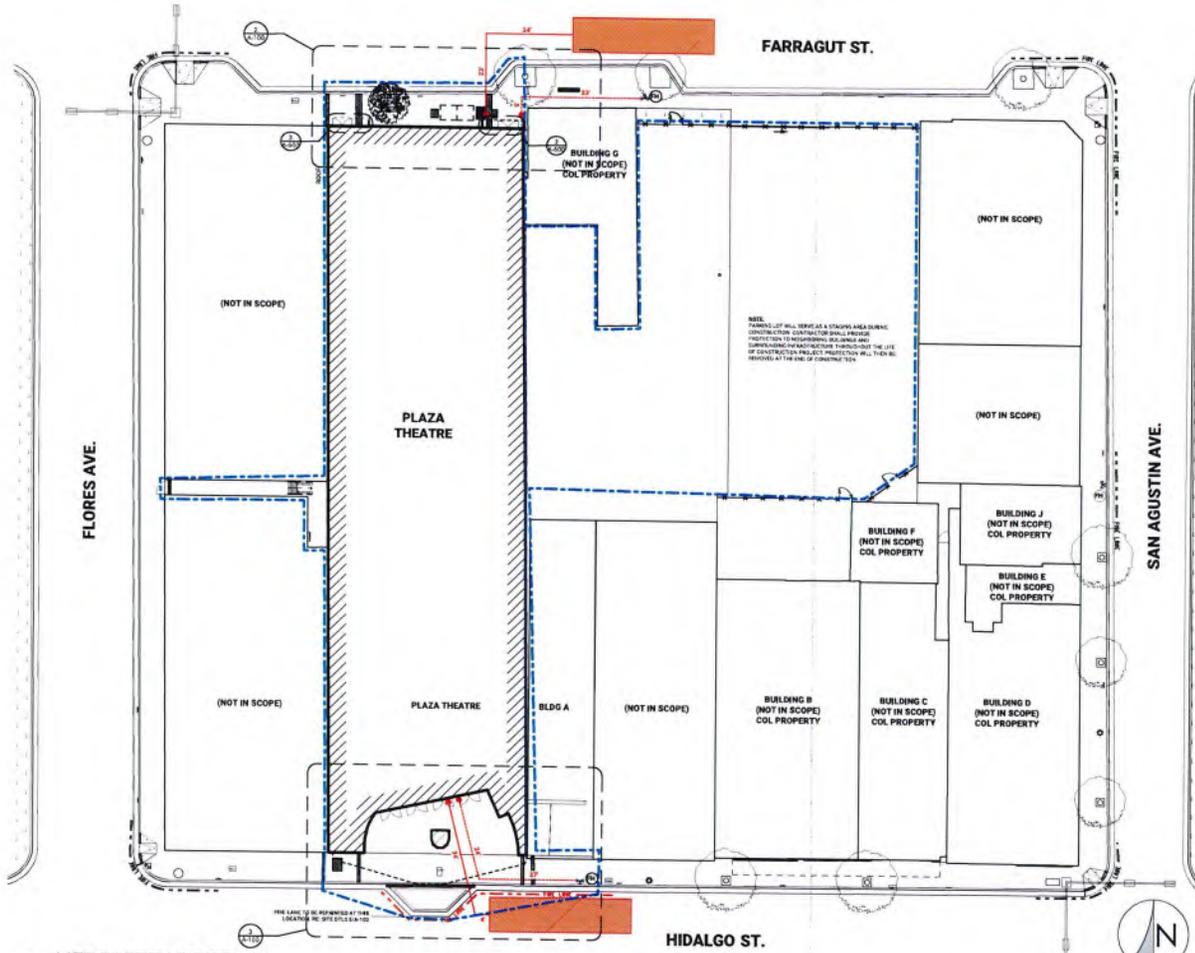
Project Name: Plaza Theatre Project
Historic Application Number: HD-001-2026

item	Proposed Scope of Work: Provide an Itemized Listing of Repairs, Alterations, Renovations to the Exterior Façade.	Existing Architectural Features/Materials. Be Descriptive.	Proposed Work/Materials: Be Descriptive. If Proposed Material is Different, Please Send Pictures.	Repairing/Maintaining that Does Not Alter the Exterior Façade?	Altering Façade?	Location
32	Clean and Repair on Dark teal wall tile wainscot	Existing Dark Teal Wall Tile wainscot	Existing to remain; Broken tile and grout shall be replaced, repaired, and cleaned. Clean tile from leftover adhesives and debris.	Maintenance and Repairing Tile and Grout. New tile will be replicated to match existing. All other tile will remain and be cleaned	No	North Facade Plaza Theatre
33	Repair North Metal Panel Covers	Existing metal panels for movie displays	Metal panels are to be cleaned, repaired, and reinstalled with proper sealing of seams on Tile/Stucco wall	No, repairs of metals panels for HVAC are match existing	No	North Facade Plaza Theatre
34	Replace light fixtures	Existing Wall Light Fixtures	Replace existing light fixtures above exit doors w/ functioning light fixtures	Yes, removing and replacing the existing damaged light fixture	Yes, New light fixtures to replace existing damaged light fixtures.	North Facade Plaza Theatre
35	Repairs on West Exit Door	Existing Wood Doors at 2nd floor exit	Wood doors are to be sanded and stained to match existing, However, doors are severely damage and may be replaced with wood doors to match existing	Maintenance and Repairing wood doors. Doors are highly damage and may require replacement	No	West Facade Plaza Theatre
36	Repairs to West Door Framing	Existing Wood Frames	Wood Framing; Framing to be sanded and stained to match existing	No, Same frames are being repaired, sanded, stained and reused. Frame replacement to match existing is only if frame is unable to be reused upon removal for corrective work.	No	West Facade Plaza Theatre
37	Cleaning Fire stairs	Existing metal stairs	Clean existing stairs on 2nd floor exterior exit.	No, maintenance only, cleaning of debris on stairs	No	West Facade Plaza Theatre
38	Clean, Repair, Repaint Red Stucco walls	Existing Stucco Walls	Repair cracks on stucco and paint to match existing	No, maintenance only	No	South Facade Building A
39	Clean Glass Blocks and Mortar	Existing Glass Blocks and mortar	Clean existing glass blocks and mortar on front facade	No, maintenance only	No	South Facade Building A
40	Clean/Replace Brick	Existing Brick	Existing Brick to be cleaned, repaired, and replaced at areas that are damaged/broken/missing	No, Existing brick shall remain and New Brick shall match existing	No, New brick installed at missing areas will match existing size, color scheme and patterns.	South Facade Building A
41	Clean and Repair on Red wall tile	Existing red Wall Tile	Existing to remain; Broken tile and grout shall be replaced, repair, and cleaned	Maintenance and Repairing Tile and Grout	No, New tile will be replicated to match existing. All other tile will be cleaned	South Facade Building A
42	Clean and Repairs to Storefront	Existing storefront	Existing Storefront to be cleaned.	No, Existing storefront to be cleaned	No, Existing storefront to be cleaned	South Facade Building A
43	Clean and Repair on Canopy	Existing Canopy	Existing Canopy to be cleaned	No, Existing Canopy to be cleaned	No, Existing Canopy to be cleaned	South Facade Building A
44	Repaint Wrought Iron	Existing Wrought Iron	Repaint existing wrought iron for maintenance to match existing.	No, Maintenance Only	No maintenance Only	South Facade Building A
45	Brick Removal	Existing Brick	Remove facade on north side of Building A.	Yes	Yes, removing of north facade on Building A for new building expansion for the Plaza Theatre	East Extension to Plaza Theatre / North Facade of Building A

Project Name: Plaza Theatre Project
Historic Application Number: HD-001-2026

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46	Glass Block Removal	Existing Glass Blocks	Remove facade on north side of Building A.	Yes	Yes, removing of north facade on Building A for new building expansion for the Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
47	Corrugated Roof Removal	Existing Corrugated roof	Remove facade on north side of Building A.	Yes	Yes, removing of north facade on Building A for new building expansion for the Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
48	TPO Roof Removal	Existing TPO Roofing	Remove portion of building A for the new building expansion for the Plaza Theatre	Yes	Yes, removing portion of Building A for new building expansion for the Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
49	New Stucco Wall	N/A	White Stucco wall finished on new building expansion for Plaza Theatre	N/A	Yes, removing back side of Building A and covering portion of east facade of Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
50	New Roof Metal Coping	N/A	New white metal coping trim on parapet walls on new building expansion for the Plaza Theatre	N/A	Yes, removing back side of Building A and covering portion of east facade of Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
51	New Metal Doors	N/A	New white painted metal doors on the east exterior of the new building expansion for the Plaza Theatre	N/A	Yes, removing back side of Building A and covering portion of east facade of Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
52	New Steel Windows	N/A	New black painted steel low profile windows on new building expansion for the Plaza Theatre	N/A	Yes, removing back side of Building A and covering portion of east facade of Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A
53	New TPO Roofing	N/A	New TPO roofing color white on new building expansion for Plaza Theatre	N/A	Yes, removing back side of Building A and covering portion of east facade of Plaza Theatre	East Extension to Plaza Theatre / North Façade of Building A

Additional Notes: Please be specific/detailed on the existing material and the proposed material. For example, if the architectural material is wood and what is being proposed is metal.



LIFE SAFETY PLAN LEGEND

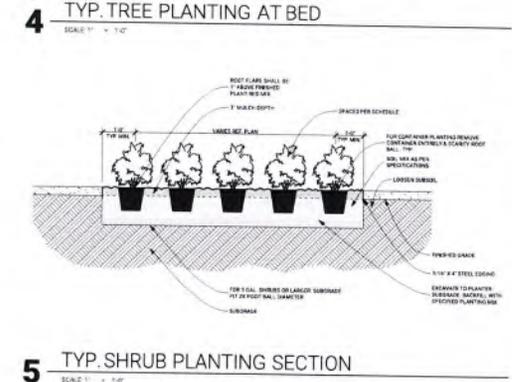
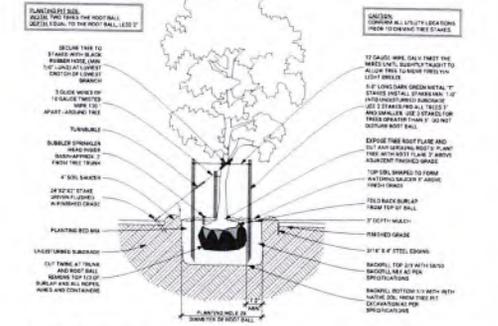
- FIRE LANE
- EXISTING FIRE LANE
- PROJECT LIMIT
- CHAIN LINK FENCE
- CHAIN LINK SLOPING GATE
- CHAIN LINK GATE
- FIRE HOSE LENGTH - 150' MAX
- FIRE HYDRANT HOSE LENGTH - 150' MAX
- FIRE APPARATUS
- FIRE HYDRANT LOCATION
- EXISTING FIRE HYDRANT LOCATION
- EXISTING WATER METER

ALL APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE (2018 EDITION)
- INTERNATIONAL MECHANICAL CODE (2018 EDITION)
- INTERNATIONAL PLUMBING CODE (2018 EDITION)
- NATIONAL ELECTRICAL CODE (2017 EDITION)
- INTERNATIONAL FIRE CODE (2018 EDITION)
- INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITION)
- INTERNATIONAL EXISTING BUILDING CODE (2018 EDITION)
- TEXAS ACCESSIBILITY STANDARDS (2011 EDITION)

SITE SURVEY PLAN LEGEND

- PROJECT LIMIT
- EXISTING CHAIN LINK FENCE
- AREA TO BE CLEANED AND POWER WASHED AND REPAIRED PAVING



HISTORIC DEMOLITION NOTES:

- 1 PROVIDE AND MAINTAIN SHORING, BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF CONSTRUCTION TO REMAIN, AND TO PREVENT UNDESIRABLE TO BE UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
- 2 PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE. COVER ALL FLOORING TO REMAIN AND PRETECT ALL EXISTING ITEMS AND FINISHES NOT SCHEDULED FOR DEMOLITION. MATERIALS AND ITEMS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE EXISTING ITEMS OR MATERIALS TO REMAIN.
- 3 DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AS INDICATED.
- 4 ALL BRICKS AND BRICKWORK MATERIALS TO BE REMOVED AND DISPOSED AT THE END OF EACH WORKING DAY. DISPOSE ALL ITEMS ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS AND PROVISIONS.
- 5 VERIFY FINISHES, LOCATIONS OF ALL UTILITIES PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT AND ENGINEER SHOULD EXISTING UTILITIES THAT WILL BE IMPACTED BY THE NEW CONSTRUCTION REQUIRE RELOCATION.
- 6 COORDINATE SET OFF OF DEMOS FROM WITH ARCHITECT AND OWNER'S REPRESENTATIVE. THE OWNER HAS THE FIRST RIGHT OF SALVAGE TO FIXTURES, EQUIPMENT AND BUILDING SYSTEMS MATERIALS REMOVED AS PART OF THE DEMOLITION WORK PRIOR TO BEGINNING.

- 7 PHOTOGRAPHIC & MEASURED DOCUMENTATION PRIOR TO DEMOLITION. THE CONTRACTOR SHALL THOROUGHLY DOCUMENT ALL EXISTING ELEMENTS THROUGH HIGH-RESOLUTION PHOTOGRAPHY AND MEASURED DRAWINGS TO RECORD THEIR CURRENT CONDITION.
- 8 PROTECTION OF HISTORIC ELEMENTS: ORIGINAL MATERIALS, FINISHES, AND ARCHITECTURAL DETAILS SHALL BE CAREFULLY PRESERVED. PROTECTIVE COVERINGS SHALL BE USED TO SHIELD SURROUNDING AREAS FROM DAMAGE DURING WORK. PROTECT ALL EXISTING ITEMS AND FINISHES NOT BEING DEMOLISHED FOR DEMOLITION.
- 9 IN THE EVENT THAT HISTORIC ELEMENTS ARE DAMAGED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT AND CEASE ALL WORK UNTIL FURTHER NOTICE.
- 10 WHEN REMOVING FINISHES, FURNISHINGS, EQUIPMENT, ETC. CARE SHOULD BE TAKEN TO NOT DAMAGE ADJACENT SURFACES OR NEIGHBORING BUILDINGS.
- 11 IN THE EVENT THAT HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT. THE OWNER SHALL BE RESPONSIBLE FOR LETTING THESE MATERIALS PROPERLY AND SAFELY ABATED.

- 12 FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS REFER TO MEP DRAWINGS, UNLESS NOTED FOR DEMOLITION.
- 13 ALL NON-HISTORICAL LIGHTING FIXTURES, PLUMBING FIXTURES, MECHANICAL, AND EQUIPMENT TO BE REMOVED AND STORED PROPER CARE SHOULD BE TAKEN TO PROTECT FIXTURES. RETURN FIXTURES TO OWNER.
- 14 CONTRACTOR TO REMOVE, RESTORE, & REINSTALL ALL EXISTING EXTERIOR DOORS UNLESS OTHERWISE NOTED.
- 15 DISPOSE OF DEMOLITION DEBRIS AS PER SPECIFICATIONS.
- 16 CONTRACTOR TO SAVE & STORE ALL SALVAGEABLE MATERIALS REMOVED FROM THEATRE FOR THE OWNER.
- 17 REMOVE NON-HISTORICAL FINISHES INCLUDING GYPSUM WALL BOARD, VINYL, TILE, RUBBER & TERRAZZO, ETC.
- 18 CAREFULLY REMOVE SIGNS, FRAMES, AND HARDWARE, AND LABEL & SALVAGE FOR REPAIR AND REUSE.

- 19 ALL INTERIOR AND EXTERIOR WALLS IN SCOPE SHALL BE CLEANED FOLLOWING THE U.S. NATIONAL PARK SERVICE'S THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION GUIDELINES FOR TREATMENT.
- 20 CONTRACTOR SHALL FOLLOW THE U.S. NATIONAL PARK SERVICE'S THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION GUIDELINES.
- 21 AT AREAS WHERE WALL AND CEILING DEMOLITION IS NOTED, CARE SHOULD BE TAKEN TO PROTECT ORIGINAL PLASTER WALL AND CEILING ASSEMBLY.

REHABILITATION PLAN LEGEND

- NO SCOPE OF WORK
- EXISTING ELEMENT TO BE DEMOLISHED
- EXISTING FLOOR SLAB TO REMAIN
- DEMOLITION KEYNOTE
- DOOR TAG
- WINDOW TAG

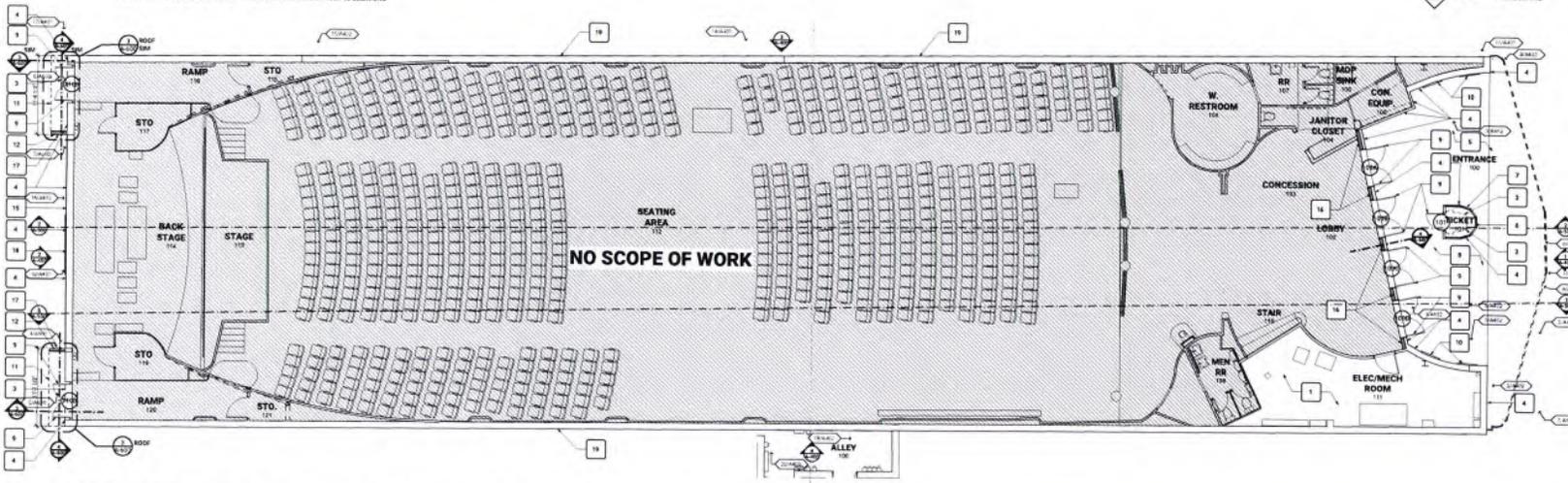
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RE: 430-460

ALLOWANCE

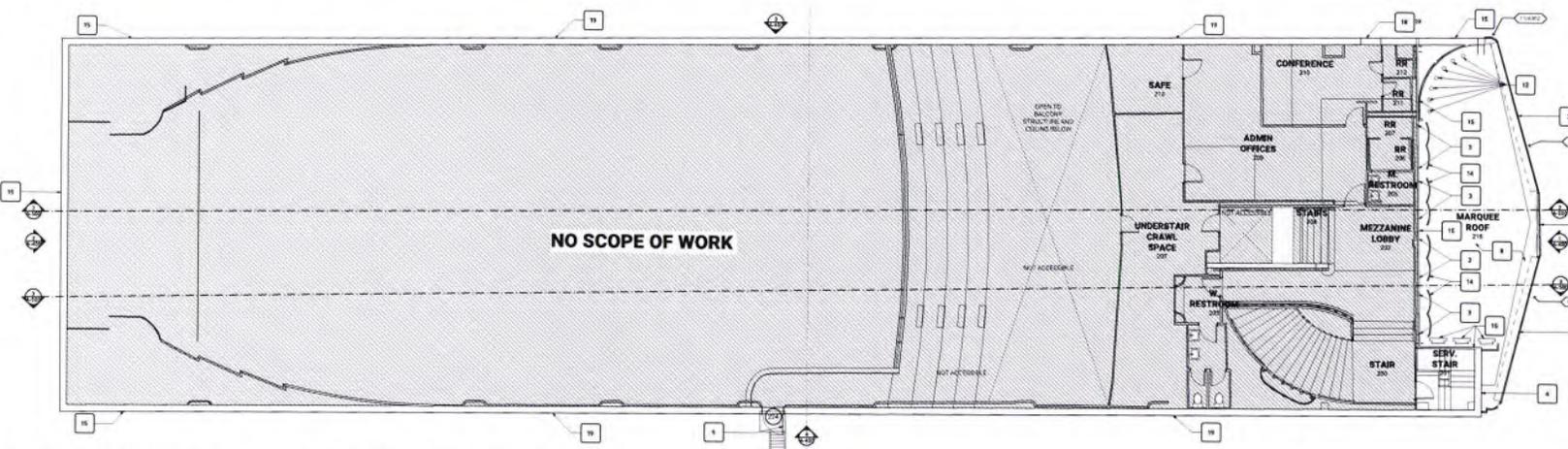
CONTRACTOR TO PROVIDE A \$20,000 ALLOWANCE TO REPAIR AND REHABILITATE

DEMOLITION KEYNOTES

- 1 GENERAL CLEANING OF ELECTRICAL AND MECHANICAL ROOM EQUIPMENT.
- 2 REMOVE AND DISPOSE OF WALLWORK.
- 3 REMOVE AND DISPOSE OF LIGHTS.
- 4 REMOVE AND DISPOSE OF DAMAGED WALL, TILE, GROUT AND ADHESIVE. SALVAGE PANEL TILE FOR REUSE. INSTALL REPLICATED TILE TO MATCH EXISTING. CLEAN TILE AND GROUT. REROUT AS NEEDED.
- 5 REMOVE BRICK, STONE, AND REVERSE. REPLACE DAMAGED PAVES AS NEEDED.
- 6 GENERAL CLEANING OF FLOORS AND EQUIPMENT. DISPOSE EQUIPMENT.
- 7 REMOVE AND RELOCATE EXISTING ELECTRICAL PANELS AS NECESSARY.
- 8 GENERAL CLEANING, REMOVE AND DISPOSE OF ALL TRASH AND DEBRIS.
- 9 REMOVE AND SALVAGE EXISTING DOORS. DOORS SHALL BE REINSTALLED. RE-FLOOR PLAN AND SCHEDULE. CHECK WITH ARCHITECT FOR WHICH DOORS TO DISPOSE. REMOVE AND SALVAGE SLAB DISPLAY. REPLACE GLASS TO MATCH EXISTING & REPAIR AND CLEAN UP. FINISH, REMOVE AND REPLACE LIGHT FIXTURES.
- 10 REMOVE AND SALVAGE WALL TILE FOR REUSE. REMOVE AND DISPOSE OF DAMAGED AND RUSTED METAL STRUCTURE ABOVE DOOR.
- 11 REMOVE AND SALVAGE WALL TILE FOR REUSE. REMOVE AND DISPOSE OF WALL STRUCTURE.
- 12 METAL CEILING TO BE CLEANED AND REPAIRED. BASE CONNECTION TO FLOOR TO BE REPAIRED. TREATED WOOD ANCHORED TO FLOOR AND PAINTED.
- 13 CLEAN ALL AND REPAIR AND RESTORE ALL DAMAGED METAL PANELS. NEW METAL PANELS TO MATCH EXISTING. RE TO NOTES AND SPEC. RE-IN. DAMAGED CONNECTION BRACK.
- 14 REPAIR PATCH AND RESTORE ALL STUCCO AT EXTERIOR SURFACES. STUCCO SHALL BE REPAIRED. RE-TREATED WOOD ANCHORED TO FLOOR AND PAINTED.
- 15 CLEAN ALL AND REPAIR AND RESTORE ALL DAMAGED METAL PANELS. NEW METAL PANELS TO MATCH EXISTING. RE TO NOTES AND SPEC. RE-IN. DAMAGED CONNECTION BRACK.
- 16 REPAIR PATCH AND RESTORE ALL STUCCO AT EXTERIOR SURFACES. STUCCO SHALL BE REPAIRED. RE-TREATED WOOD ANCHORED TO FLOOR AND PAINTED.
- 17 NEW METAL STUD WALL W/ CEMENT BOARD BACKING. RE-INSTALL AND RELOCATE EXISTING TILE W/ GANTRY RE-SET.
- 18 CLEAN REPAIR AND RESTORE ALL DAMAGED METAL PANELS AND GYPSUM. REPLACE METAL IF DAMAGED. NEW METAL PANELS TO MATCH EXISTING. RE TO NOTES AND SPEC. CLEAN, HONEY COMB EXISTING BRICK. REPAIR AND REPOINT BRICK. REMOVE ADHESIVE AND BRICKWORK. RE-CLAY.



1 FIRST FLOOR REPAIR AND REHABILITATION PLAN - E&FE
SCALE: 1/8" = 1'-0"



2 SECOND FLOOR REPAIR AND REHABILITATION PLAN - E&FE
SCALE: 1/8" = 1'-0"

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CITY OF LAREDO THEATRE PRESERVATION AND RESTORATION PROJECT ENVIRONMENT AND FACADE ENHANCEMENTS
1013 1/2 URBAN BOOST
LAREDO, TEXAS 78040

CONSTRUCTION DOCUMENT
R10 SET
PUBLISHED: 8/14/2025

FLOOR PLANS REHABILITATION
R10 SET
A-200

DATE: 8/14/2025

DOOR LEGEND				
TYPE	A1	A2	B1	C1
VIEW				
DIMENSIONS	3'-0" x 7'-0"	3'-0" x 7'-0"	3'-0" x 7'-0"	3'-0" x 7'-0"
NOTES	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON EXTERIOR AND INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON EXTERIOR AND INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	REMOVE PAINT, REPAIR, AND REPAINT COLOR TO BE PROVIDED. NEW DOOR METAL KICKPLATE ON INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.

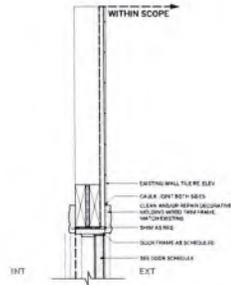
DOOR SCHEDULE - ENVELOPE AND FACADE ENHANCEMENT															
ID	ROOM	ROOM NAME	NOMINAL WIDTH	NOMINAL HEIGHT	THICKNESS	MATERIAL	DOOR TYPE	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	WALL STRUCT. TYPE	HARDWARE SET	ACCESSORIES	RATINGS	NOTES
100A	100	ENTRANCE	5'-0"	7'-0"	1 3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
100B	100	ENTRANCE	5'-0"	7'-0"	1 3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, D, E, F	
100C	100	ENTRANCE	5'-0"	7'-0"	1 3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, D, E, F	
100D	100	ENTRANCE	5'-0"	7'-0"	1 3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
101	100	ENTRANCE	2'-0"	6'-0"	1 3/4"	SC WOOD	C1	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
110B	110	RAMP	5'-0"	7'-0"	1 3/4"	SC WOOD	A1	H1A-300	J1A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, C, D, E, F	
1106	110	STAIR 1	5'-0"	7'-0"	1 3/4"	SC WOOD	A1	H1A-300	J1A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, D, E, F	
224	224	BALCONY SEATING	2'-0"	6'-8"	1 3/4"	HM	B1	H1A-300	J1A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, D, E, F	

DOOR SCHEDULE NOTES LEGEND:

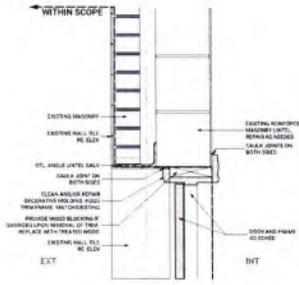
- A - NEW DOOR HARDWARE TO COMPLY WITH THE CITY OF LAREDO HISTORIC URBAN DESIGN GUIDELINES
- B - WOOD DOOR FRAME TO BE SANDED, REPAIRED AND STAINED
- C - PROVIDE UNLOCK AND OPENING HARDWARE FROM EXTERIOR SIDE
- D - PROVIDE NEW ALUMINUM TRANSITION STRIP AT EXTERIOR DOORS
- E - EXISTING DOOR CLOSERS AND HINGES HARDWARE TO BE REMOVED, CLEANED, REFINISHED AND REINSTALLED. REPLACE AS NECESSARY. PROVIDE NEW CLOSERS TO DOORS WITHOUT CLOSERS AND TO SELECT REPLACEMENT NEW NEW HARDWARE TO COMPLY WITH THE CITY OF LAREDO HISTORIC URBAN DESIGN GUIDELINES
- F - PROVIDE PUSHBAR DEVICE PER MAN DOOR ON INTERIOR SIDE OF DOOR

DOOR NOTES:

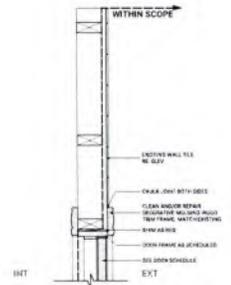
- 1. PROVIDE ACCESSIBLE HARDWARE THAT IS ADA COMPLIANT
- 2. MAXIMUM DEFLECT TO OPERATE INTERIOR NON-FIRE RATED DOORS SHALL NOT EXCEED FIVE (5) INCHES FROM ORAL
- 3. HARDWARE FOR PAIRS OF DOORS IS FOR EACH LEAF U/L/D
- 4. ALL METAL DOORS AND FRAMES TO BE A FACTORY PRIME APPLIANT VIA SPRAY GUN APPROVED BY PAINT SUPPLIER
- 5. SEE TO SPEC FOR HARDWARE SCHEDULE
- 6. FIRE RATINGS INDICATES REQUIRED RATING FOR INTERIOR OPENING COMPONENTS INCLUDING DOOR, FRAME, HARDWARE, ETC
- 7. ALL STOREFRONT CURTAIN WALLS, WINDOWS, AND DOORS TO THE EXTERIOR SHALL COMPLY WITH APPLICABLE IBC CODE WIND LOADS



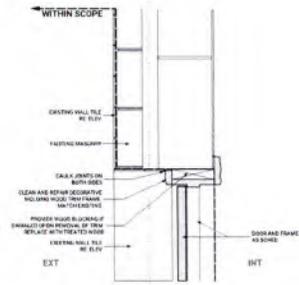
H1 TYP. WOOD STUD HEADER DETAIL
SCALE 1 1/2" = 1'-0"



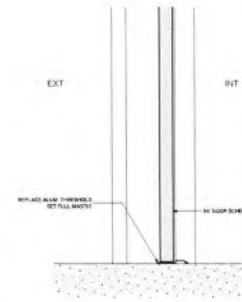
H2 TYP. CMU & MASONRY HEADER DETAIL
SCALE 1 1/2" = 1'-0"



J1 TYP. WOOD STUD JAMB DETAIL
SCALE 1 1/2" = 1'-0"



J2 TYP. CMU & MASONRY JAMB DETAIL
SCALE 1 1/2" = 1'-0"



T1 DOOR THRESHOLD @ EXT WALL
SCALE 1 1/2" = 1'-0"

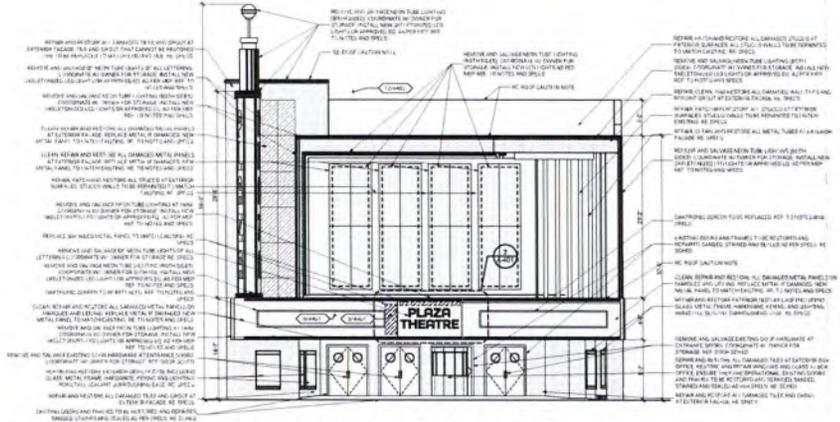


EXISTING ELEVATION LEGEND

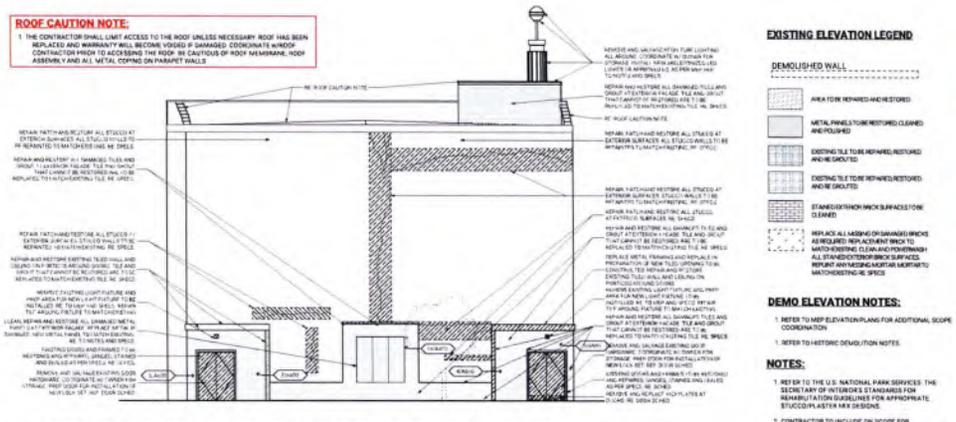
- DEMOLISHED WALL**
- AREA FOR REMOVED ARCHITECTURE
 - METAL PANELS TO BE RESTORED/CLEANED/REPLACED
 - EXISTING TILE TO BE REPAIRED/REMOVED/AND/OR DEMOLISHED
 - EXISTING TILE TO BE REPAIRED/REMOVED/AND/OR DEMOLISHED
 - STANDARD WINDOW FRAME SERVICES (CLEANED)
- DEMO/REVISION NOTES:**
- REFER TO DEMO/ELEVATION PLANS FOR ADDITIONAL SCOPE COORDINATION
 - REFER TO HISTORIC DOCUMENTATION
- NOTES:**
- REFER TO THE U.S. NATIONAL PARK SERVICE'S "THE SECRETARY OF THE INTERIOR'S STANDARDS FOR RESTORATION OF CULTURAL RESOURCES FOR APPLICABLE TO HISTORIC STRUCTURES AND PRESENT FINDINGS TO ARCHITECT"
 - CONTRACTOR TO INCLUDE ON SCOPE FOR INVESTIGATION OF STRUCTURE FOR APPROPRIATE DEMOLITION, CONSTRUCTION AND PRESENT FINDINGS TO ARCHITECT
 - CONTRACTOR TO INCLUDE ON SCOPE FOR INVESTIGATION OF STRUCTURE FOR APPROPRIATE DEMOLITION, CONSTRUCTION AND PRESENT FINDINGS TO ARCHITECT

ROOF CAUTION NOTE:

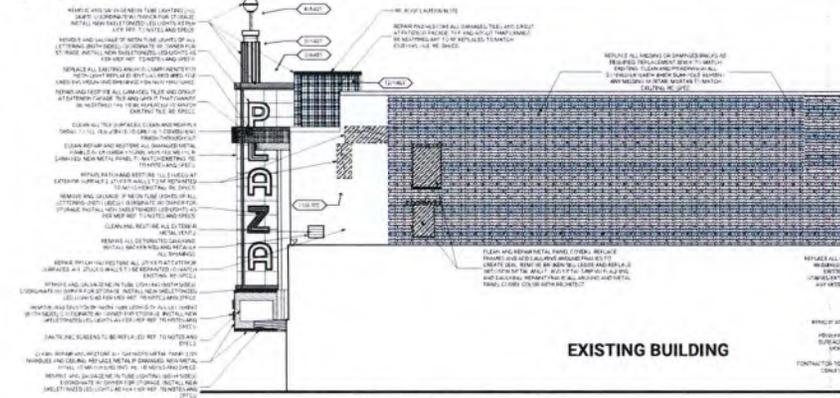
1. THE CONTRACTOR SHALL LIMIT ACCESS TO THE ROOF UNLESS NECESSARY. ROOF HAS BEEN REPAIRED AND WARRANTY WILL BE VOIDED IF DAMAGED. COORDINATE WITH ROOF CONTRACTOR PRIOR TO ACCESSING THE ROOF. BE CAUTIOUS OF ROOF MECHANICAL, ROOF ASSEMBLY AND ALL METAL COPING ON PARAPET WALLS.



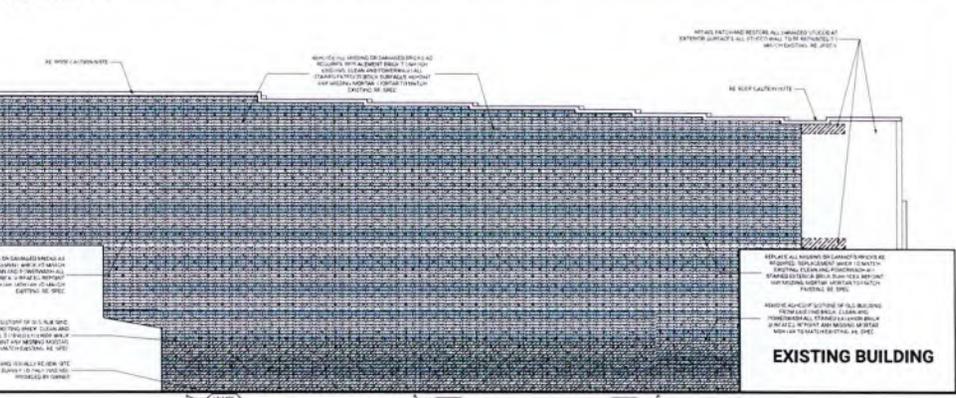
1 REPAIR AND REHABILITATION SOUTH ELEVATION - E&FE
SCALE: 1/8" = 1'-0"



2 REPAIR AND REHABILITATION NORTH ELEVATION - E&FE
SCALE: 1/8" = 1'-0"



3 REPAIR AND REHABILITATION EAST ELEVATION - E&FE
SCALE: 1/8" = 1'-0"



4 REPAIR AND REHABILITATION WEST ELEVATION - E&FE
SCALE: 1/8" = 1'-0"



20- BRICK VENEER
REAR FACADE (WEST ELEVATION)



16- STUCCO & CERAMIC TILE
REAR FACADE (NORTH ELEVATION)



12- CERAMIC TILE & ROOFING
FRONT FACADE (SOUTH WEST VIEW)



8- CERAMIC TILE ON PARAPETS
FRONT FACADE (SOUTH ELEVATION)



4- EXISTING DOORS & FRAMES
FRONT FACADE (SOUTH ELEVATION)



19- BRICK VENEER
EXTERIOR ALLEY (WEST ELEVATION)



15- MISSING BRICKS & ADHESIVE
SIDE FACADE (EAST ELEVATION)



11- STUCCO CRACKS
FRONT FACADE (NORTH WEST VIEW)



7- FINS & PIPES
FRONT FACADE (SOUTH ELEVATION)



3- CERAMIC TILE & CEILING
FRONT FACADE (SOUTH ELEVATION)



18- METAL PANEL TO BE RESTORED
REAR FACADE (NORTH ELEVATION)



14- MISSING BRICK & ADHESIVE
SIDE FACADE (EAST ELEVATION)



10- STUCCO & NEON LIGHTS
FRONT FACADE (NORTH WEST VIEW)



6- RESTORE DOORS & FRAMES
FRONT FACADE (SOUTH ELEVATION)



2- GREEN CERAMIC TILE
FRONT FACADE (SOUTH ELEVATION)



17- TILE, DOOR AND WINDOWS
REAR FACADE (NORTH ELEVATION)



13- BRICK & STUCCO
SIDE FACADE (EAST ELEVATION)



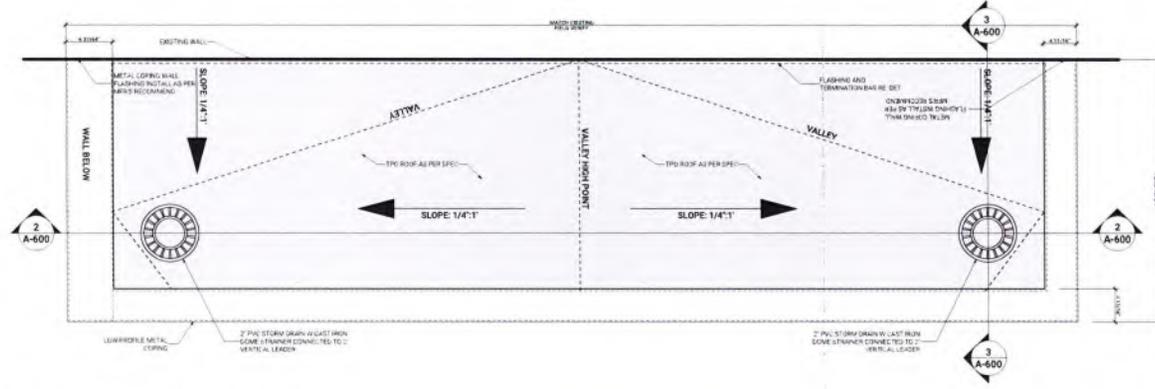
9- FIN & PIPES
FRONT FACADE (SOUTH ELEVATION)



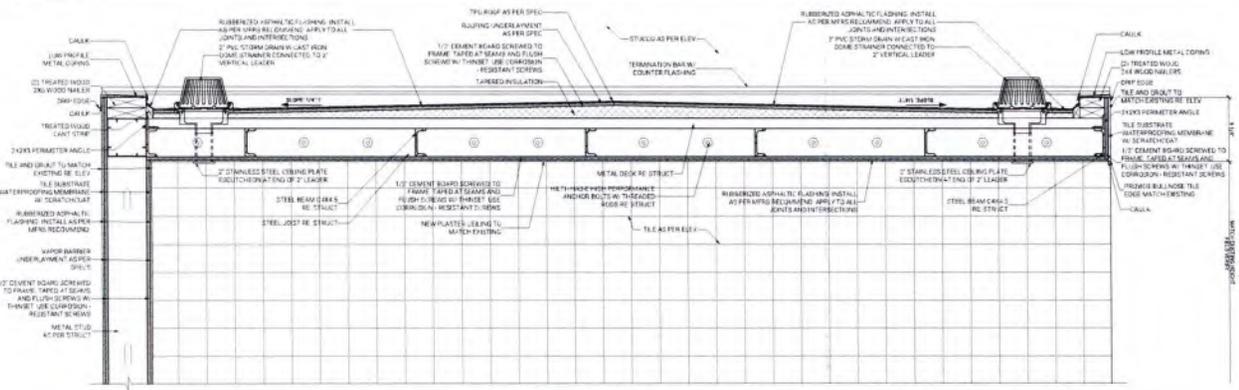
5- CEILING, TILE & DOORS
FRONT FACADE (SOUTH ELEVATION)



1- MAIN ENTRANCE
FRONT FACADE (SOUTH ELEVATION)



1 BACK CANOPY ROOF PLAN
SCALE 1/16" = 1'-0"



2 BACK CANOPY SECTION DETAIL
SCALE 1/16" = 1'-0"



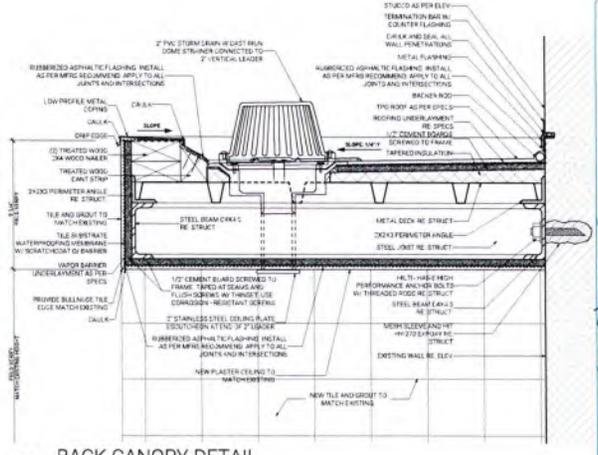
8- CERAMIC TILE
REAR FACADE (NORTH ELEVATION)



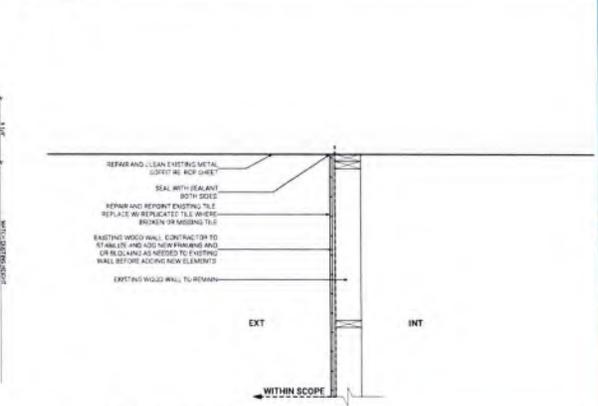
7- RESTORE REAR ACCESS DOOR
REAR FACADE (NORTH ELEVATION)



6- CANOPY
REAR FACADE (NORTH ELEVATION)



3 BACK CANOPY DETAIL
SCALE 3/4" = 1'-0"



4 ENTRANCE WALL DETAIL
SCALE 1/4" = 1'-0"



5- CANOPY WALL
REAR FACADE (NORTH ELEVATION)

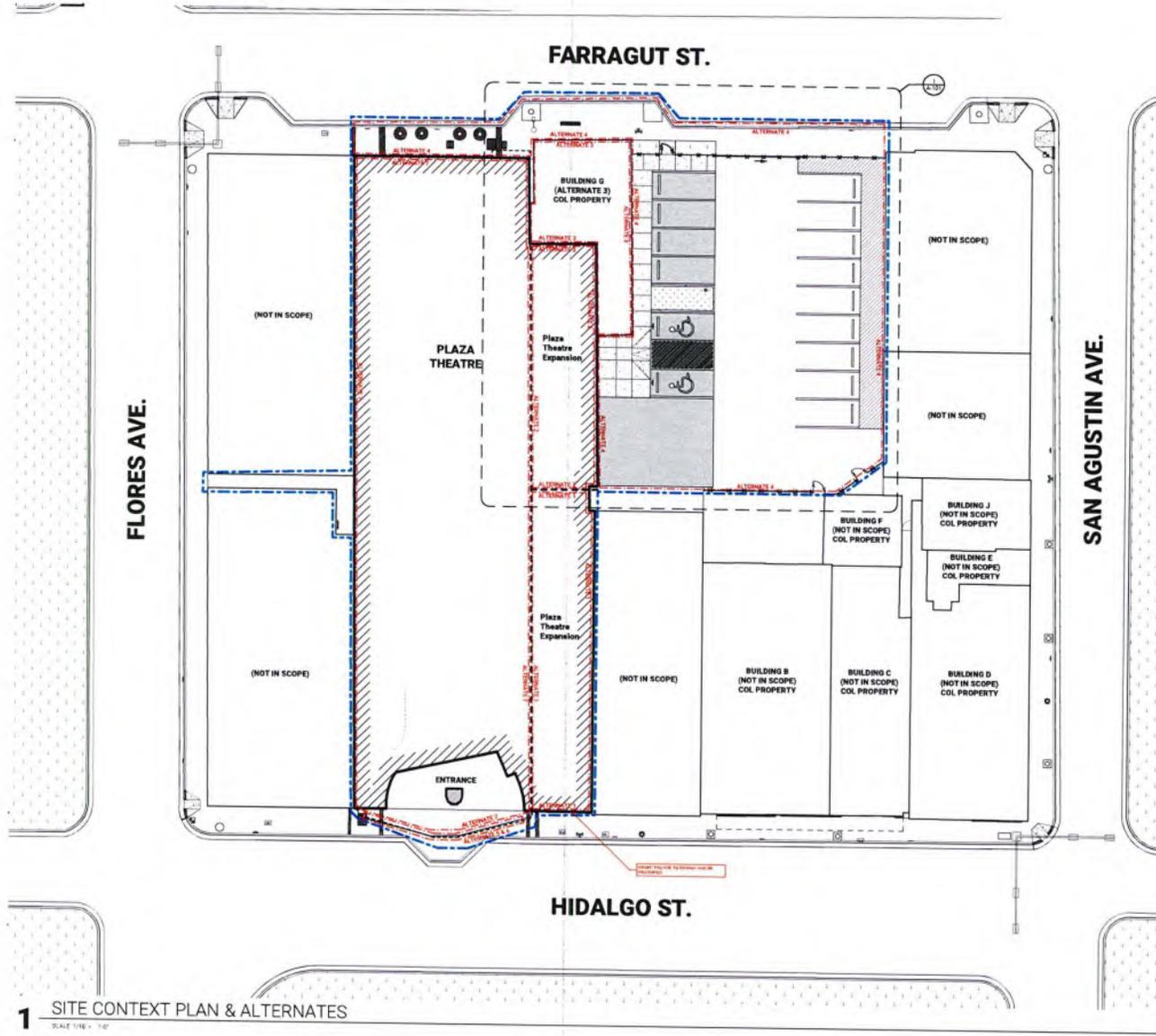
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CITY OF LAREDO
PLAZA THEATRE PRESERVATION AND RESTORATION PROJECT
ENVELOPE AND FACADE ENHANCEMENTS
1012 1/2 HIGLEY BLVD
LAREDO, TEXAS 78040

DETAILS 1
THESE DRAWINGS SPECIFY MATERIALS AND METHODS OF CONSTRUCTION. APPROVAL OF THE CITY OF LAREDO IS REQUIRED FOR CONSTRUCTION.
APPROVED FOR CONSTRUCTION
APPROVED FOR CONSTRUCTION

CONSTRUCTION DOCUMENT
R10 SET
PUBLISHED: 8/14/2025

A-600
SHEET NO.
JOB NO. 22004



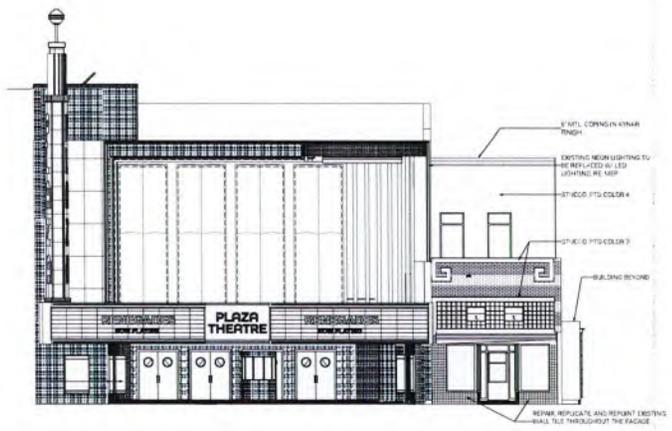
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CONSTRUCTION DOCUMENT
BID SET
PUBLISHED: 4/30/2025

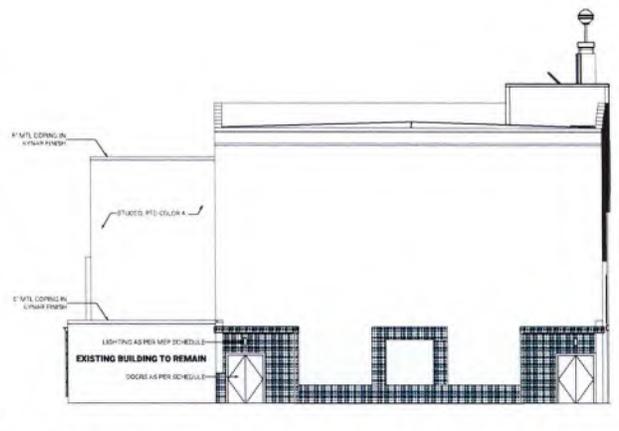
CITY OF LAREDO
**PLAZA THEATRE PRESERVATION
AND RESTORATION PROJECT**
1012 1/2 HIDALGO ST.
LAREDO, TEXAS 78640

SITE CONTEXT PLAN
THE ARCHITECT HAS PREPARED THIS DOCUMENT IN ACCORDANCE WITH THE PROFESSIONAL STANDARDS AND ETHICS OF THE ARCHITECTURE BOARD OF TEXAS.
IF THE ARCHITECT IS TO BE USED FOR ANY OTHER PROJECT OR PURPOSE, THE ARCHITECT'S CONSENT MUST BE OBTAINED.

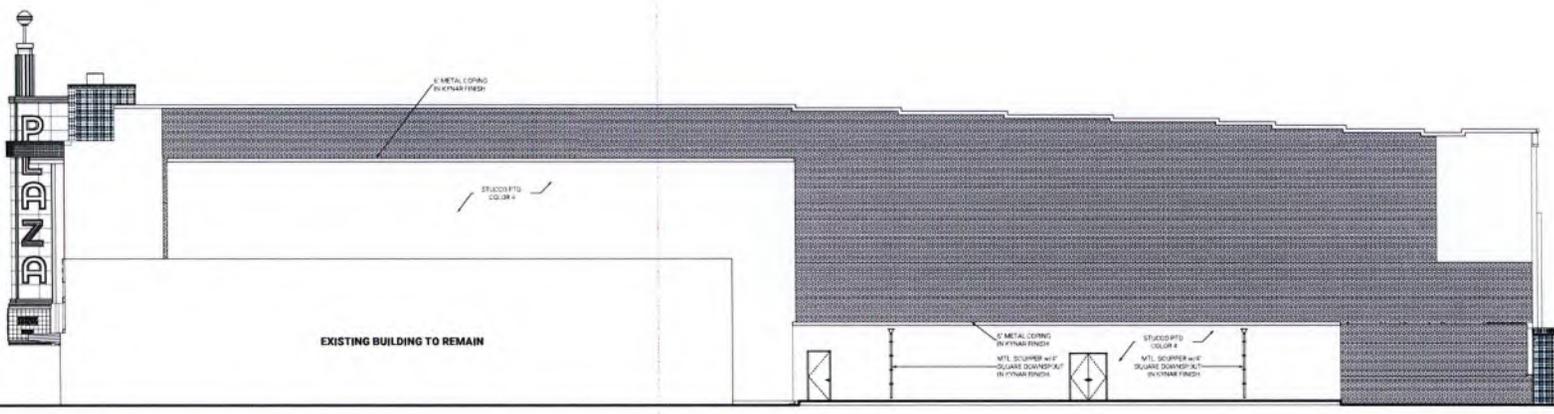
SHEET NO.
A-100
JOB NO. 2024A



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

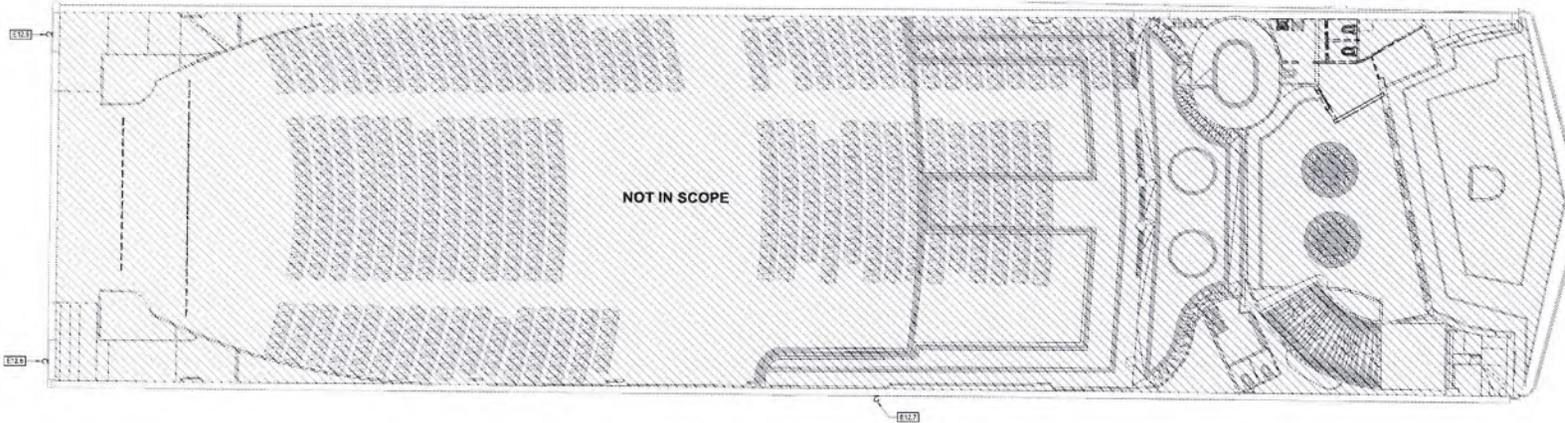


2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"





1 ELECTRICAL LIGHTING DEMOLITION PLAN LEVEL 1-
 LD2.11 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E7-H-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

ELECTRICAL KEYED NOTES

- E124 EXISTING WALL PACK ABOVE DOORWAY SHALL BE DEMOLISHED BACK TO ITS SOURCE PANEL. CONTRACTOR SHALL PROVIDE NEW AS INDICATED ON NEW PLANS.
- E127 EXISTING WALL PACK ABOVE SECOND FLOOR DOORWAY SHALL BE DEMOLISHED BACK TO ITS SOURCE PANEL. CONTRACTOR SHALL PROVIDE NEW AS INDICATED ON NEW PLANS.

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 DALLAS, TEXAS 75241



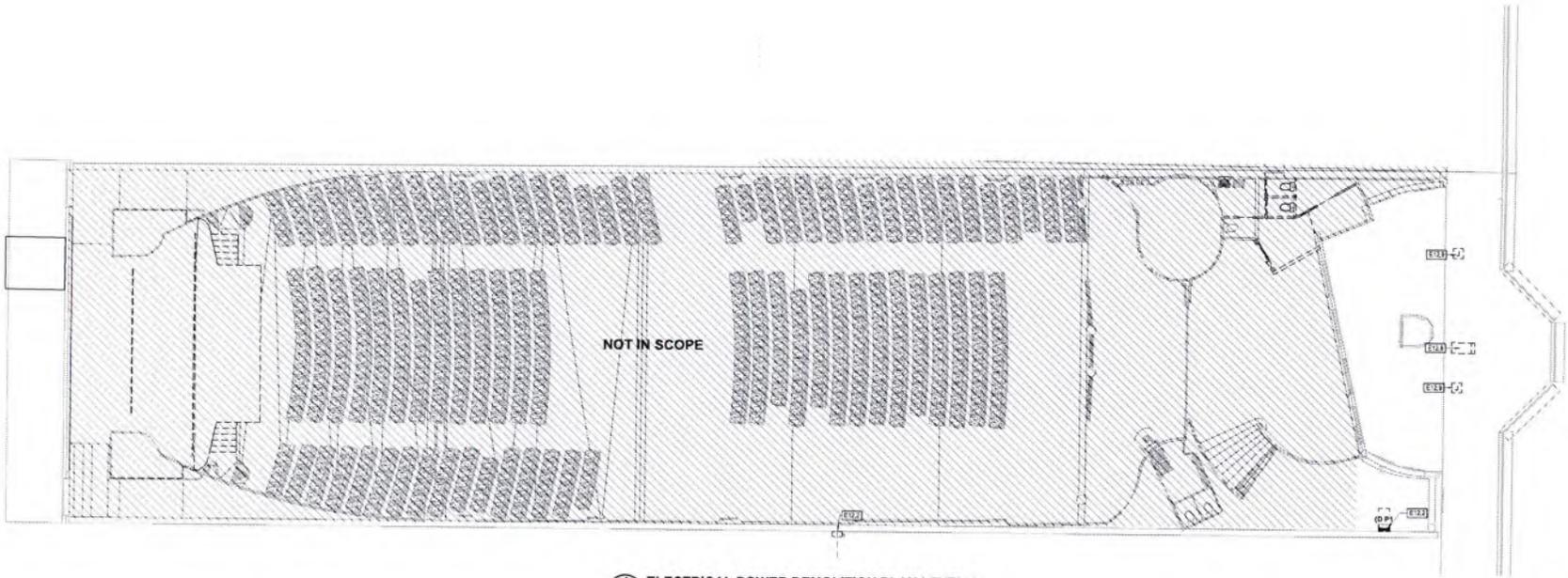
CITY OF LAREDO
THE PLAZA THEATRE PRESERVATION AND RESTORATION PROJECT ENVELOPE AND FACADE ENHANCEMENTS
 1015.171 MIDLAND ST.
 LAREDO, TEXAS 78040

ELECTRICAL LIGHTING DEMOLITION PLAN LEVEL 1
 THESE DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECT. THEY MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION FROM THE ARCHITECT.

Sheet No.:

***DBRELD2.11-2**
 02/03/2015
 NETA: www.enr.com
 TSP: TSP Registration No. 224
 DBR Project # 23841-00
 RT LD JR CG -

JOB NO. 23841-00



1 ELECTRICAL POWER DEMOLITION PLAN LEVEL 1-
10/22/14 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E11-1 FOR ADDITIONAL ELECTRICAL GENERAL NOTES.

ELECTRICAL KEYED NOTES

- E122 EXISTING ELECTRICAL PANEL, CONDUIT, AND CONDUCTORS SHALL BE DEMOLISHED BACK TO SOURCE SERVICE DISCONNECT. EXISTING 2000AF DISCONNECT SHALL BE DEMOLISHED.
- E128 EXISTING PANEL LOCATED ABOVE THE CANOPY EXISTING ELECTRICAL PANEL, CONDUIT, CONDUCTORS AND BRANCH CIRCUITS SHALL BE DEMOLISHED BACK TO SOURCE PANEL. ANY EXISTING BRANCH CIRCUITS WHICH ARE TO REMAIN SHALL BE RE-ROUTED TO NEW PANEL. PER NEW PLANS. PREPARE AREA FOR NEW WORK.
- E129 APPROXIMATE LOCATION OF EXISTING OVERHEAD DE-ENERGIZING SCREENS. CONTRACTOR SHALL FIELD EVERY EXISTING DE-ENERGIZING SCREEN CONDITIONS. CONTRACTOR SHALL INCLUDE IN THEIR BID THE LABOR AND MATERIAL REQUIRES TO REPAIR EXISTING DE-ENERGIZING SCREENS. CONTRACTOR SHALL TRACE EXISTING WIRING AND PRESERVE FOR REUSE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THE SCREENS ARE NOT IN WORKING CONDITIONS. PROVIDE NEW POWERDATA CONDUITS AND CIRCUITS ROUTED TO THE NEW PANEL LOCATION FOR CONNECTIVITY.

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CONSTRUCTION DOCUMENT
 BE BE
 PUBLISHED 08/19/2014

CITY OF LAREDO
**THE PLAZA THEATRE PRESERVATION
 AND RESTORATION PROJECT
 ENVELOPE AND FACADE ENHANCEMENTS**
 '0112-102 HIDALGO ST.
 LAREDO, TEXAS 78040

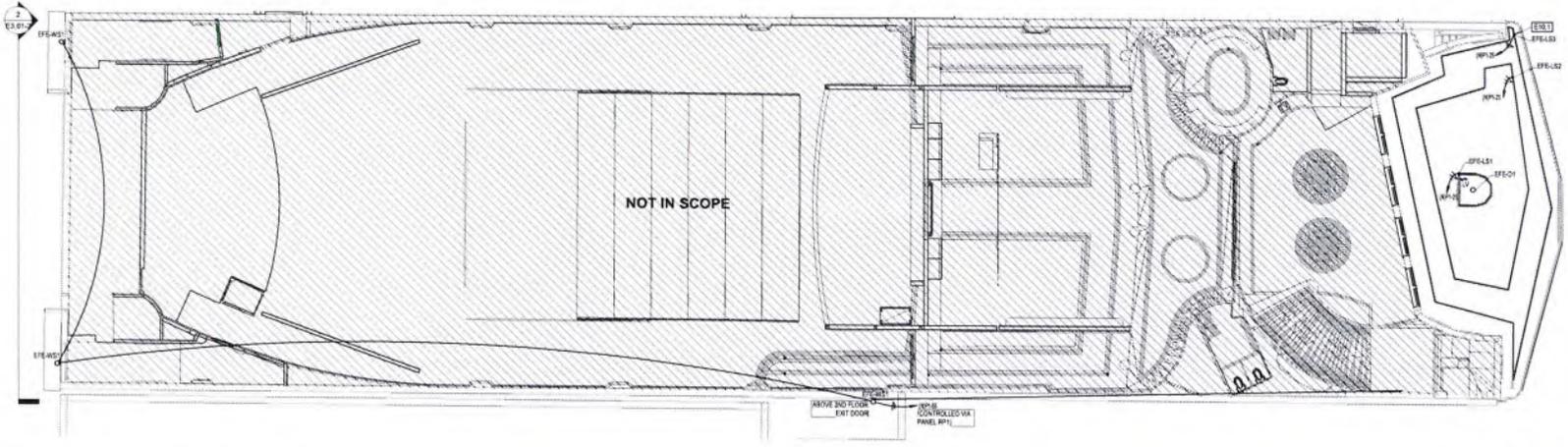
**ELECTRICAL POWER
 DEMOLITION PLAN LEVEL 1**
 THESE DRAWINGS AND SPECIFICATIONS ARE PRELIMINARY AND SHALL BE SUBJECT TO CHANGE WITHOUT NOTICE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB. ALL FIELD WORK SHALL BE APPROVED BY THE ARCHITECT. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UPON ANY DISCREPANCY OR OMISSION.

Sheet No.:

***DBREPD2.11-2**
 256.002.1042
 Web: www.dbre.com
 TSP's Firm Registration No. 2234
 028 Project # 23004.002

RT	LD	JR	GD	-
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JOB NO. 238041.000



1 ELECTRICAL LIGHTING PLAN LEVEL 1-
 EL2.11-2
 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E7-11-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES.

ELECTRICAL KEYED NOTES

KEY: (TYPICAL LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL RPL-18 UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



CONSTRUCTION DOCUMENT
 SHEET
 PUBLISHED IN SOURCE

CITY OF LAREDO
**THE PLAZA THEATRE PRESERVATION
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**ELECTRICAL LIGHTING PLAN
 LEVEL 1**
 THESE DRAWINGS AND SPECIFICATIONS ARE AND SHALL REMAIN THE
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 AND SHALL BE LOANED TO YOU WITHOUT ANY RIGHT OF REPRODUCTION
 TO THE ARCHITECT. CONSTRUCTION. 01/18

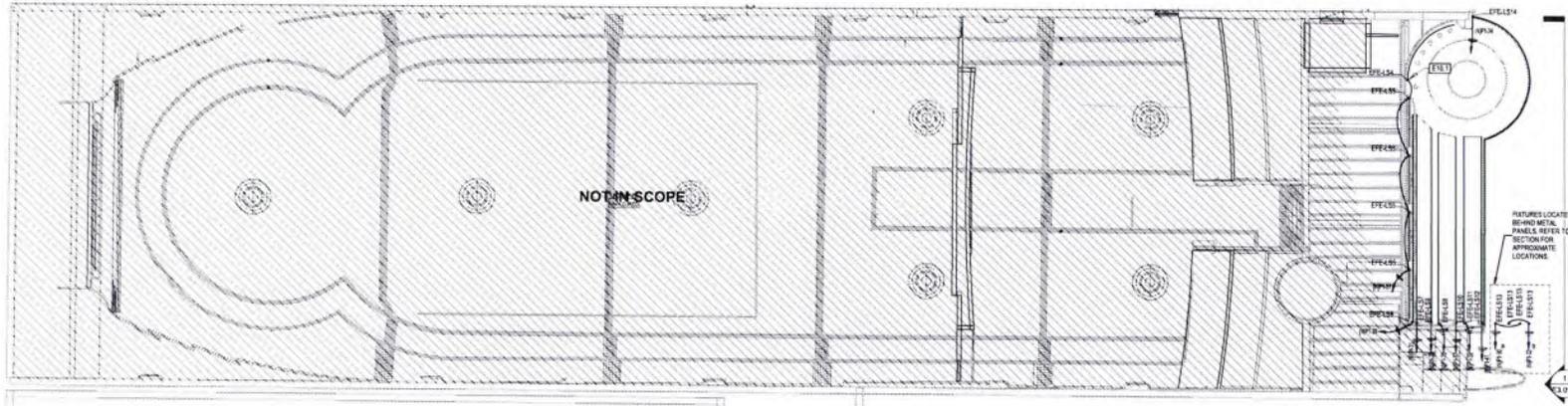
Sheet No.:



EL2.11-2

JOB NO. 238641.009

RT | LO | JR | CG | -



1 ELECTRICAL LIGHTING PLAN LEVEL 3-
 12.31- 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E1-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

ELECTRICAL KEYED NOTES

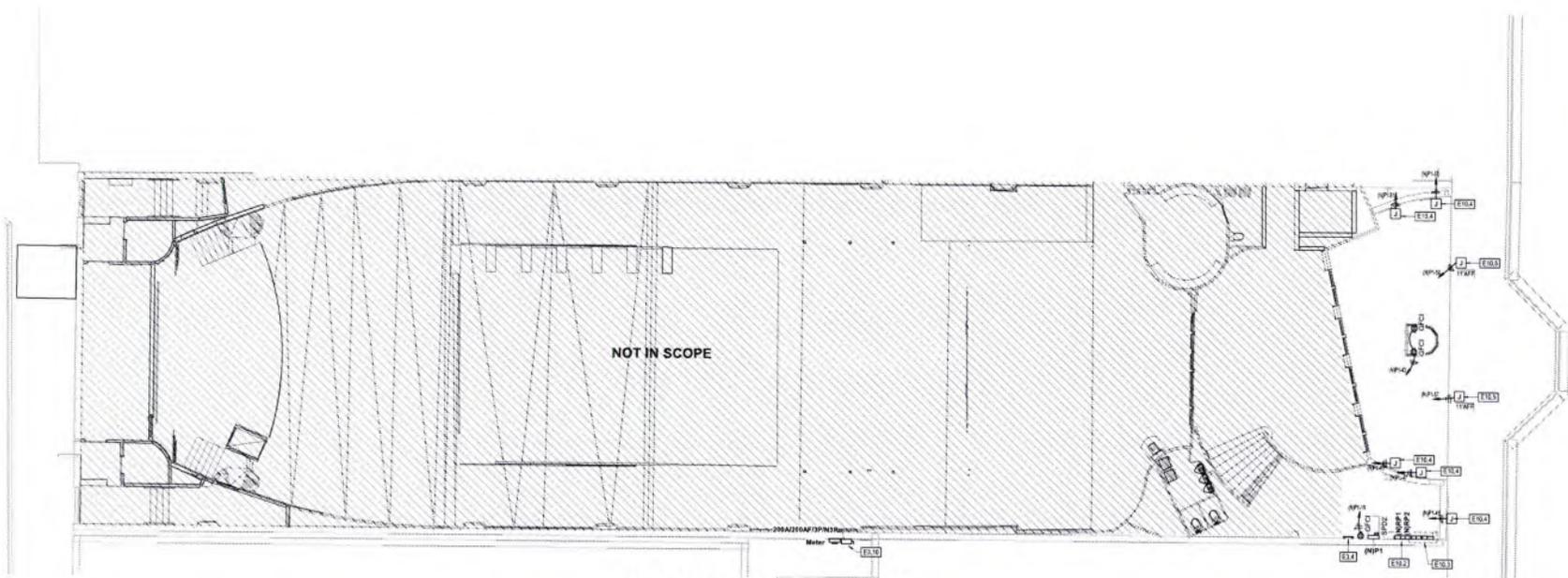
E101 (TYPICAL) LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL, DP-1 UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

Sheet No.:



EL2.31-2

JOB NO. 238041.000



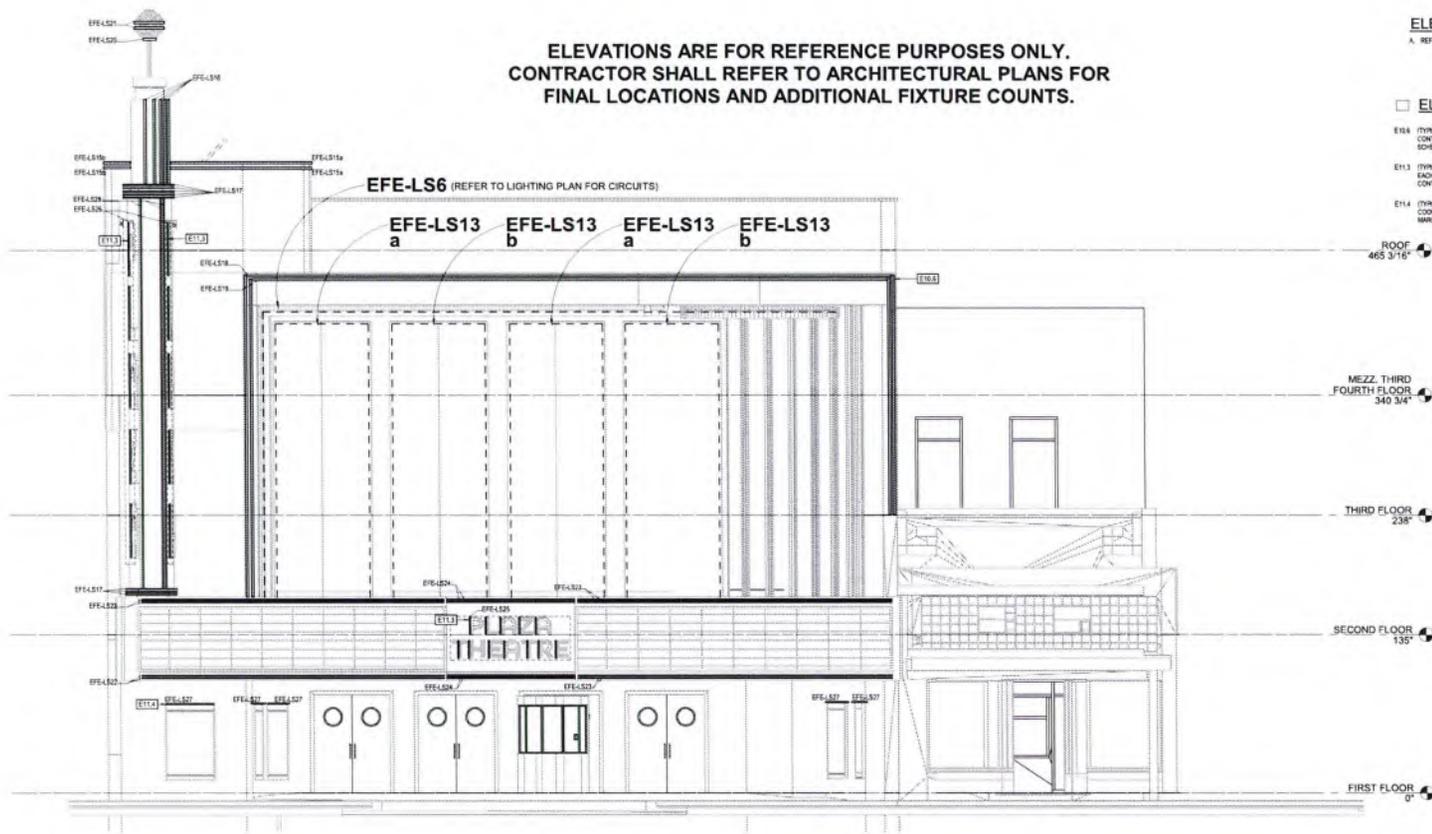
1 ELECTRICAL POWER PLAN LEVEL 1-
 102.11 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:

A. REFER TO SHEET E1-A-1 FOR ADDITIONAL ELECTRICAL GENERAL NOTES.

ELECTRICAL KEYED NOTES

- E14 PROVIDE GROUND BUBBLES REFER TO DETAILS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- E119 PROVIDE NEW 225A200AMP/100K SERVICE DISCONNECT. EXISTING METER SHALL REMAIN FOR REUSE. PROVIDE NEW 225A FEEDERS FOR NEW PANEL. REFER TO SCHEDULE FOR SIZING.
- E162 PROPOSED LOCATION FOR RELAY PANEL CONTROLLER.
- E163 PROPOSED LOCATION FOR DIMA CONTROLLER, SWITCH CONTROLLER, AND CONTROLS INTERFACE PANEL FOR ROBBIN HYDRAULS. CONTRACTOR SHALL COORDINATE INSTALLATION WITH MANUFACTURERS INSTRUCTIONS.
- E184 CONTRACTOR SHALL PROVIDE POWER FOR DIGITAL DISPLAY. COORDINATE ELEVATIONS AND REQUIREMENTS WITH SELECTED EQUIPMENT PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR SCHED ELEVATIONS. CONTRACTOR SHALL TIE IN ROBBIN LIGHTING TO CONTROLS PANEL. RHP.
- E185 CONTRACTOR SHALL PROVIDE POWER FOR DIGITRONIC SCREEN. COORDINATE ELEVATIONS AND REQUIREMENTS WITH SELECTED EQUIPMENT PRIOR TO ROUGH-IN. REFER TO ARCHITECTURAL PLANS FOR SCHED ELEVATIONS. PROVIDE A TYPICAL WIRE PULL STRENGTH FOR DATA CONNECTIVITY BACK TO ELECTRICAL PANEL LOCATION.



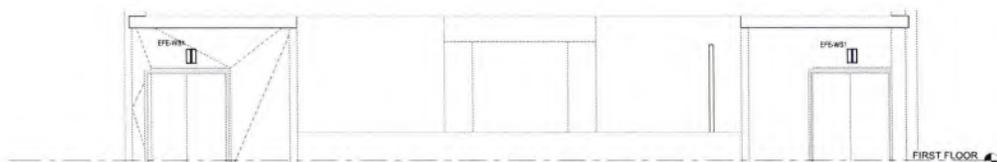
ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY.
 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR
 FINAL LOCATIONS AND ADDITIONAL FIXTURE COUNTS.

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E3-1 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

ELECTRICAL KEYED NOTES

- E108 (TYPICAL LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL, WPL, UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE E AND CONTROLS PANEL SCHEDULES FOR REFERENCE)
- E113 (TYPICAL FOR LED LETTER/LED STRIP SHALL RUN THE ENTIRETY OF EACH LETTER. FIXTURE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL VERIFY LENGTHS)
- E114 (TYPICAL FOR DIGITAL MARQUEES FIXTURES CONTRACTOR SHALL COORDINATE FIXTURE MOUNTING LOCATIONS WITH DIGITAL DISPLAY MARQUEE PRIOR TO ROUGH-IN)

1 SOUTH ELEVATION
 1/4" = 1'-0"



2 NORTH ELEVATION
 1/4" = 1'-0"

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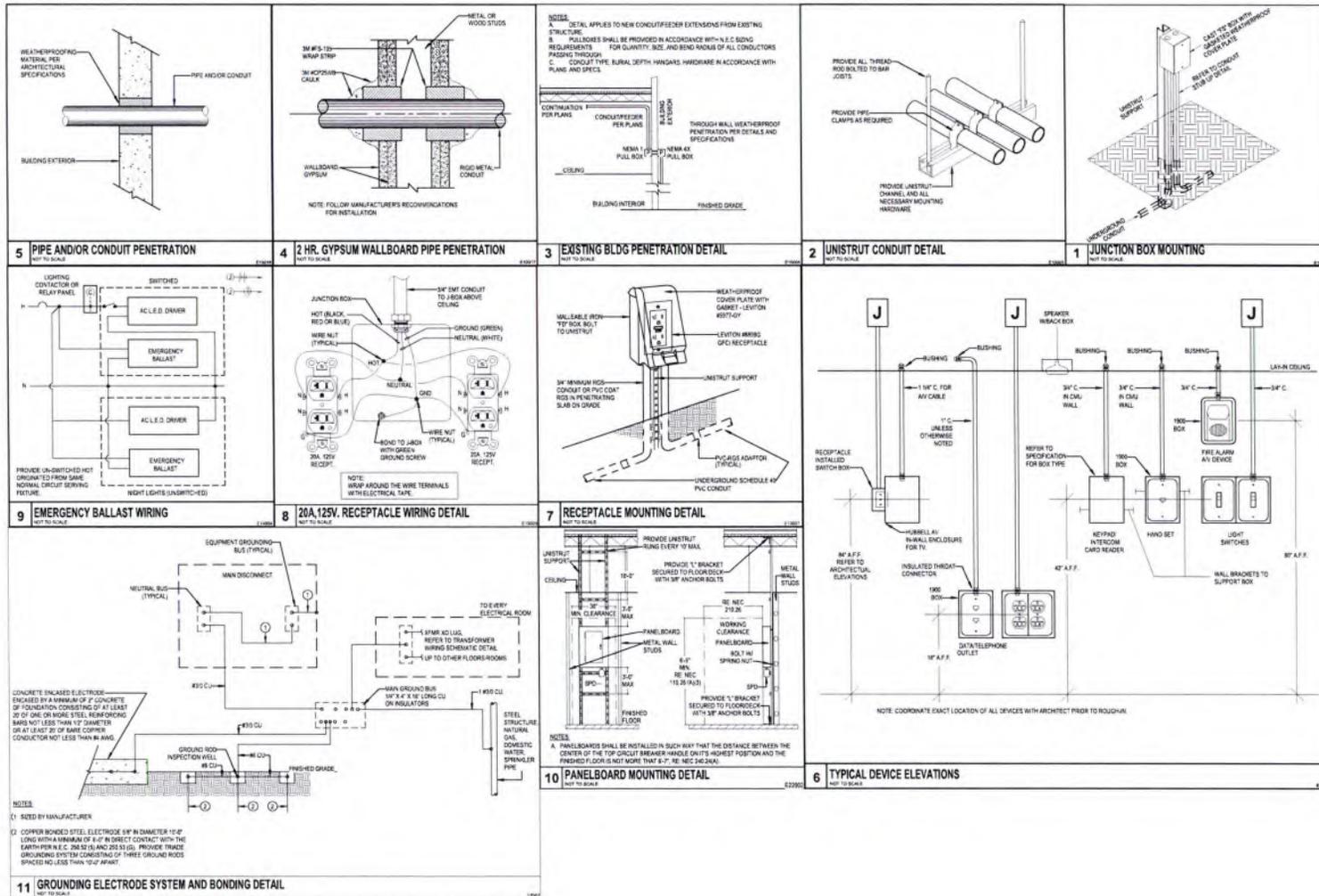
ELECTRICAL SECTIONS
 THESE DIMENSIONS AND SPECIFICATIONS ARE AND SHALL REMAIN THE PROPERTY OF JACKSON ELECTRICITY COMPANY. THESE DIMENSIONS AND SPECIFICATIONS SHALL BE SUBJECT TO THE MOST RECENT DOCUMENT 2019

Sheet No.:



E3.01-2

JOB NO. 238041.000



GENERAL DEMOLITION SCOPE NOTES:

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRESENT ON SITE PRIOR TO BEGINS, AND SHALL BE EXPECTED TO PERFORM DEMOLITION AND INSTALL NEW AS SHOWN ON THE DOCUMENTS, INCLUDING SCOPE THAT MAY NOT CLEARLY BE INDICATED ON PLANS.
B. CONTRACTOR SHALL VERIFY AND DOCUMENT EXISTING CONDITIONS OF ALL OUTLETS AS DEFINED BY NEC THAT ARE INDICATED OR REQUIRED TO BE REMOVED AND REINSTALLED TO FACILITATE THE WORK REQUIRED BY ALL TRADES. WHERE OUTLETS ARE REINSTALLED IN NON-OCCUPABLE CONDITION, THE CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER. DOCUMENT OUTLETS IN NON-OCCUPABLE CONDITION PRIOR TO REMOVE AND NOTIFY THE OWNER.
C. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL TO ALL REMOVED MATERIALS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR LOCATION TO RETURN ANY AND ALL MATERIAL FOR OWNER STORAGE. FAILURE TO TURN OVER REMOVED MATERIAL TO OWNER MAY REQUIRE CONTRACTOR TO PLACE EQUIPMENT PROVIDED WITH WORK.
D. REMOVE ALL ELECTRICAL DEVICES WITH REMOVED WALLE INCLUDING RECEPTACLES, SWITCHES, DATA/PHONE DROPS, FIRE ALARM DEVICES, PWA DEVICES, CONDUIT, AND WIRING. REMOVE CONDUIT AND WIRING BACK TO PANEL OR LAST ACTIVE JUNCTION BOX. REFER TO ARCHITECTURAL, CIVIL PLANS. THIS SCOPE MAY NOT BE DIRECTLY IMPLIED BY NOTES ON CDMG PLANS AS IT IS ASSUMED THIS SCOPE EXISTS BASED ON ARCHITECTURAL DEMOLITION PLANS.
E. ALL ABANDONED CONDUIT AND BOXES FOUND IN SMALL SPACES, CEILING SPACES, CHASES, OR UTILITY SPACES SHALL BE REMOVED. ANY EXISTING CONDUIT THAT IS UNDERGROUND MAY BE REINFORCED.
F. CONTRACTOR SHALL REVIEW DEMO AND NEW WORK PLANS THOROUGHLY TO IDENTIFY SCOPE THAT IS TO BE MODIFIED FOR REUSE WITH NEW SCOPE.

GENERAL LIGHTING DEMOLITION NOTES

- A. ALL FIXTURES REMOVED AND REINSTALL SHALL BE CLEANED PRIOR TO REINSTALLATION.
B. ALL EXISTING SWITCHING ZONES SHALL REMAIN UNCHANGED UNLESS DIRECTED OTHERWISE ON PLANS.
C. ALL LIGHT CIRCUIT SHALL BE DEMOLISHED AS REQUIRED BY THE DEMOLITION SCOPE ON THE DOCUMENTS. REPAIR ANY CIRCUITS THAT ARE PARTIALLY DEMOLISHED AND CONTAIN OUTLETS THAT ARE NOT IN SCOPE OR OUTSIDE OF THE JURISDICTION OF CONSTRUCTION TO WORKING CONDITION. PROVIDE CONDUIT AND BOXES AS NEEDED.
D. MODIFIED LIGHTING CIRCUITS SHALL NOT EXCEED 80% CIRCUIT LOAD BASED ON CIRCUIT AMPACITY.
E. ALL REMOVED AND REINSTALLED LIGHT FIXTURES MUST BE CLEANED, REPAIRED AS REQUIRED AND TOUCHED UP WITH PAINT. ALL DAMAGED PARTS MUST BE REPLACED. THE FIXTURES SHALL THEN BE REINSTALLED AS REQUIRED. PROVIDE NEW DRIVERS AS REQUIRED.
F. ALL EXISTING INTERCOMPARERS SHALL BE REMOVED AND REINSTALLED AS REQUIRED TO FACILITATE RENOVATION. SUBJECT TO EXISTING EQUIPMENT OPERATION CONDITION VERIFICATION.

GENERAL POWER DEMOLITION NOTES:

- A. GENERAL DEMOLITION NOTES APPLY TO ALL DEMOLITION/REMODELING SCOPE.
B. WHEN OUTLETS ARE ABANDONED, WIRE MUST BE PULLED OUT OF THE CONDUIT BACK TO THE NEAREST REMAINING BOX OR CABINET. EXPOSED CONDUIT THAT HAS BEEN ABANDONED MUST BE REMOVED.
C. RE-ESTABLISH SERVICE TO ALL OUTLETS THAT MAY BE INTERRUPTED DUE TO REMODELING WORK.
D. PROVIDE ALL APPURTENANCES REQUIRED TO REMOVE, RELOCATE, REMOVE OR REINSTALL ALL ITEMS DESCRIBED IN THESE NOTES.
E. EXISTING CIRCUITS MODIFIED IN FIELD SHALL NOT EXCEED 80% CAPACITY BASED ON AMP-RATING OF CIRCUIT.
F. DO NOT LEAVE ABANDONED CONDUIT, BOXES, EQUIPMENT, OR END-DEVICES AFTER DEMOLITION. ALL ABANDONED MATERIAL MUST BE REMOVED.
G. IDENTIFICATION AND LABELING SHALL BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS AND/OR NEW-WORK GENERAL ELECTRICAL NOTES.
H. CIRCUIT NUMBERS ARE FOR PLAN REFERENCE ONLY. CONTRACTOR SHALL RELABEL ALL CIRCUIT DIRECTORIES WITH LEAD NAMES FOR ALL EXISTING AND NEW PANELS THAT WERE MODIFIED WITH THIS PROJECT.
I. EXISTING CIRCUIT BREAKERS VACATED DUE TO REMODELING WORK SHALL BE REWAS AS SPARE BREAKERS AND TURNED TO THE OFF POSITION.
J. WHERE INDICATED OR REQUIRED BY OTHER TRADES, CONTRACTOR SHALL REMOVE ALL ELECTRICAL CONNECTIONS TO EXISTING PRE-RIEVED FURNITURE. REMOVE CONDUIT AND WIRING BACK TO LAST ACTIVE JUNCTION. ALL DATA CABLING SHALL BE REMOVED BACK TO LAST ACTIVE JUNCTION AND SALVAGED FOR REINSTALLATION.

LIGHTING GENERAL NOTES:

- A. CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH PERFORMANCE DESCRIPTION INDICATED IN THE LIGHTING CONTROL DEVICE SCHEDULE FOUND ON SCHEDULE SHEETS.
B. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED UNDER A COMMON COVER PLATE.
C. PROVIDE LABELING OF ALL CONTROL DEVICES, SWITCH PACKS, LIGHT FIXTURES, JUNCTION BOXES, ETC IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
D. LIGHTING FIXTURE LOCATIONS SHOWN THAT PRECEDENT IN CEILING LOCATION TO ALL OTHER TRADES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ENSURING OTHER TRADES DO NOT IMPACT BRACING AND/OR OBLITERATION OF OTHER DEVICES WHERE LIGHT FIXTURES MUST BE INSTALLED.
E. REFERENCE SYMBOLS LEGEND FOR LIGHT SWITCH DEVICE NOMENCLATURE AND SWITCHES ASSOCIATIONS.
F. ALL 120, 230V FIXTURES INSTALLED IN SUSPENDED GRID CEILING SHALL BE PROVIDED WITH (2) SECONDARY SUPPORT WIRES ANCHORED DIRECTLY TO STRUCTURE.

EMER. LIGHTING GENERAL NOTES:

- A. PROVIDE ALL EMERGENCY LIGHT FIXTURES WITH UNDIMMED HOT LED AS DEFINED IN NEC 700.12
B. ACQUIRE UNDIMMED HOT LED TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LED SHALL ORIGINATE FROM CIRCUIT SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNDIMMED HOT LED SHALL CONNECT TO THE NORMAL POWER SUPPLY ON THE EMERGENCY BATTERY PACK.
C. PROVIDE UNDIMMED CIRCUIT TO ALL EXIT SIGNS.

GENERAL M.E.P NOTES:

- 1. THE DESIGN AND INSTALLATION OF MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHALL COMPLY WITH ALL REQUIREMENTS AND STANDARDS OF ALL APPLICABLE CODES, GOVERNMENTAL REGULATIONS, ORDINANCES AND STATE AND LOCAL REQUIREMENTS.
2. PATCHING & ANY NECESSARY AREAS NEEDED TO PROVIDE CIRCUITS

LIGHTING CONTROLS COMMISSIONING

THE CONTRACTOR SHALL INCLUDE, AS PART OF THEIR SCOPE, THE REQUIREMENTS TO COMMISSION THE LIGHTING CONTROL SYSTEM AS REQUIRED BELOW. THE LIGHTING CONTROL SYSTEM MAY BE STRANGLING NETWORK RELAY. CONTRACTOR ORIGINATED THEIR PROTOCOL ON ANY COMBINATION OF THE LISTED. FOR EACH OF THE FOLLOWING TRADES, RECORD THE DATE PERFORMED, PERSONS COMPLETING THE VERIFICATION, INITIAL, SETTING/CONDITION, ACTIONS PERFORMED, AND FINAL SETTING/CONDITION. SUBMIT DOCUMENTATION TO THE CITY HAVING JURISDICTION AT OR BEFORE SUBSTANTIATION COMPLETE. SUBMITTING AFTER SUBSTANTIATION COMPLETE WILL BE THE OBLIVION OF A CERTIFICATE OF OCCUPANCY.

- A. ENSURE ALL LIGHTING FIXTURES HAVE LAMPS THAT ARE FUNCTIONAL.
B. TEST ALL EXIT SIGNS, EMERGENCY LIGHTING FIXTURES, AND EMERGENCY TRANSFER DEVICES OR CONTING BATTERY SYSTEM.
C. VERIFY THAT ALL OCCUPANCY SENSORS HAVE BEEN INSTALLED AND ARE OPERATIONAL.
D. TEST ALL WALL-SWITCH OCCUPANCY SENSORS.
E. TEST ALL LOGIC-LOW VOLTAGE SWITCHES AND THEIR TERMINALS, WHERE INSTALLED, SUCH AS:
1. CEILING MOUNTED OCCUPANCY SENSORS
2. POWER PACKS
3. DAYLIGHT SENSING/HARVESTING SENSORS
F. VERIFY THE FOLLOWING FUNCTIONALITY AND/OR INSTALLATION OF ALL CONTROL DEVICES.
1. SENSORS HAVE BEEN LOCATED AND NAMED TO RELEVANT LOCATIONS OF OCCUPANCY, PER MANUFACTURER'S RECOMMENDATION.
2. VERIFY STATUS INDICATORS ON DEVICES ARE OPERATIONAL AND CORRECT.
3. DEVICES CONTROL LIGHTING FIXTURES AS SPECIFIED ON THE DRAWINGS.
4. ALL OCCUPANCY VACANCY MODE TIME-OUTS ARE SET TO NO GREATER THAN 30 SECONDS.
5. ALL CONTROL DEVICES ARE SET VACANCY MODE, OR NO MORE THAN 50% OF FIXTURES TURN ON AUTOMATICALLY UPON ENTERING A SPACE/ROOM.
6. MOVEMENT IN ADJACENT SPACES OR CYCLING OF HVAC SYSTEMS DOES NOT FALSELY TRIGGER SENSORS. VACANCY MODE PREFERRED TO PRESENT THIS SHOULD ADDITIONAL INFORMATION REGARDING THE TESTING REQUIREMENTS BE NEEDED, REFERENCE ICC 2011 SECTION 409.3.

GENERAL ELECTRICAL NOTES:

- A. ELECTRICAL DEVICES ARE NOT EXACT. ALL DEVICE LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL, MECHANICAL, CHASING, AND GENERAL ELEVATION VIEWS.
B. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES FOR ALL TECHNOLOGY LOW-VOLTAGE ACCESS CONTROL, SECURITY SURVEILLANCE, AND OTHER DIVISION 2709 SCOPE. REFER TO DIVISION 2709 DRAWINGS AND SPECIFICATIONS FOR ALL WORK REQUIRED. DIVISION OF THIS SCOPE FROM DIV 36 SCOPE OF WORK IS PROVIDED.
C. PROVIDE LABELING OF ALL DEVICES, CONDUIT, PANELS, AND JUNCTION BOXES IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
D. MINIMIZE ROOF PENETRATIONS. WHERE ABLE, ROUTE ALL CONDUIT FOR ROOF MOUNTED EQUIPMENT THROUGH ROOF CURB. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING NECESSARY WATER PROOFING AROUND ROOF PENETRATIONS WITH ROOFING INSTALLER.
E. ALL RECEPTACLES LOCATED IN RESTROOMS, JANITOR CLOSETS, MECHANICAL ROOMS, ELEVATOR PIT/ OR SHAFTS, ELEVATOR EQUIPMENT ROOMS, SERVING ELECTRIC DRINKING FOUNTAINS OR SERVING MACHINES, LOCATED WITHIN 4' OF A SINK LOCATED ABOVE A HOT COUNTERTOP OR IN A KITCHEN OR COFFEE BAR SHALL BE GFCI. FEED-THRU GFCI'S IS PROHIBITED. ALL GFCI'S DEVICES SHALL BE PROVIDED WITH INDIVIDUAL TEST/RESET FEATURES.
F. MULTIPLE HOME RUNS SHALL NOT BE ALLOWED. PROVIDE DECATED NEUTRALS FOR ALL CIRCUITS. SHARING CONDUIT IS PERMISSIBLE WHERE TOTAL CONDUIT CAPACITY DEDUCTIVE HAS BEEN PERFORMED BY ELECTRICAL CONTRACTOR. THE NEUTRAL IS CONSIDERED CURRENT-CARRYING.
G. ALL RECEPTACLES SHALL BE TAMPER RESISTANT TYPE. CONTRACTOR MAY PROVIDE NON-TAMPER RESISTANT RECEPTACLES WHERE NOT REQUIRED PER CURRENT NEC ARTICLE 40.
H. LABEL ALL CIRCUITS AT ALL JUNCTION BOXES AND OUTLETS WITH TYPE WRITTEN LABEL, IDENTIFYING CIRCUIT ON THE BACK OF DEVICE COVER PLATES OR ON COVER OF JUNCTION BOX. A 4" BOX HAS MULTIPLE CIRCUITS WITHIN LABEL ALL CIRCUITS.
I. ALL NEW CIRCUITS SHALL BE RUN INSIDE IN CEILING OR WALLS.
J. CONTRACTOR SHALL PROVIDE ALL OPENING, PATCHING, & ANY NECESSARY AREAS NEEDED TO PROVIDE CIRCUITS.
K. LIGHTING RESTORATION: HISTORIC LIGHTING FIXTURES SHALL BE RESTORED OR RE-ACCOMMODATED WITH LED NETWORKS FORM-FIT ONLY WHERE THEY DO NOT ALTER THE APPEARANCE OF THE ORIGINAL NEON AND INCANDESCENT ELEMENTS.
L. MOCKUPS & PROTOTYPES: PROVIDE SAMPLE MOCKUPS OF NEON RESTORATION, PAINT FINISHES, AND NECESSARY REPAIRS FOR REVIEW AND APPROVAL, BEFORE FULL SCALE IMPLEMENTATION.
M. INSPECTION & APPROVAL: WORK SHALL BE SUBJECT TO REVIEW AND APPROVAL BY HISTORIC PRESERVATION AUTHORITIES AT KEY MILESTONES. FINAL INSPECTION SHALL BE CONDUCTED TO ENSURE COMPLIANCE WITH RESTORATION GUIDELINES.



CITY OF LAREDO THE PLAZA THEATRE PRESERVATION AND RESTORATION PROJECT ENVELOPE AND FACADE ENHANCEMENTS 1012-1/2 HIDALGO ST. LAREDO, TEXAS 78040

ELECTRICAL GENERAL NOTES THESE DRAWINGS AND SPECIFICATIONS AND SHALL REMAIN THE PROPERTY OF JACKSON ELECTRICITY FROM LAREDO, TEXAS. ANY REVISIONS TO THE PROJECT SHALL BE DOCUMENTED BY THE PROJECT CONTRACTOR 2013

Sheet No.:

E7.01-2

JOB NO. 236641.000



1	Existing	Proposed
	Neon Tube Lighting	Primary Green Inciseon Skeletonized lighting
		
2	Existing	Proposed
	Front Doors	Clean, repair, sand and stain to match existing
		

3	Existing	Proposed
Front Door Handle Hardware		Art Deco Door Handle Recreated Antique Brass - co
		
4	Existing	Proposed
Door Framing		Clean, repair, sand and stain to match existing
		

5	Existing	Proposed
Light teal wall tile		Clean, repair, replicate tile, to match existing
		
6	Existing	Proposed
Dark teal wall tile		Clean, repair, replicate tile, to match existing
		

7	Existing	Proposed
Dark teal metal panels		Clean, repair, replicate panels to match existing at damaged areas
		
8	Existing	Proposed
Light teal metal panels		Clean, repair, replicate panels to match existing at damaged areas
		

<p>9 Existing</p>	<p>Proposed</p>
<p>Glass Displays</p>	<p>Clean, repair hardware, and replace damaged areas to match existing. Lighting repair</p>
	
<p>10 Existing</p>	
<p>Windows on Ticket Booth</p>	<p>Repair broken glass, clean framing and glass</p>
	

11	Existing	Proposed
	Wood Door on Ticket Booth	Clean, repair, sand, stain door to match existing
		
12	Existing	
	Door Framing on Ticket Booth	Clean, repair, sand and stain to match existing
		

13	Existing	Proposed
Molding on Ticket Booth		Clean, repair, and repaint to match existing
		
14	Existing	Proposed
White Metal Soffit		Clean crevices and seams, repair panels to match existing.
		

15	Existing	Proposed
Teal Metal Soffit		Clean crevices and seams, repair panels to match existing.
		
16	Existing	Proposed
Metal Pipes		Clean pipes, remove residue.
		

17	Existing	Proposed
Metal Panel Fins		Clean crevices and seams, repair panels to match existing.
		
18	Existing	Proposed
Marquee White Metal Panels		Clean crevices and seams, repair panels to match existing.
		

19	Existing	Proposed
TPO Roofing on Marquee		White TPO Roofing w/ Fleeceback - Clean existing conditions
		
20	Existing	Proposed
Stucco covers molding		Clean, repair cracks, and paint stucco moldings to match existing
		

21	Existing	Proposed
White Stucco walls		Clean, repair cracks, and repaint stucco to match existing
		
22	Existing	Proposed
Terrazzo Flooring		Cleaning of Floors
		

23	Existing	Proposed
	Brick	Repair and replacing
	 <p>A photograph of an existing brick wall. The bricks are a mix of light and dark red tones, showing some weathering and discoloration. The wall is set against a clear blue sky.</p>	 <p>A photograph of the proposed brick wall. The bricks are a uniform, lighter red color, appearing more consistent and repaired compared to the existing wall. The wall is set against a clear blue sky.</p>
24	Existing	Proposed
	Brick Mortar	Repair and repointing
	 <p>A close-up photograph of existing brick mortar. The mortar is a light, yellowish-tan color, showing signs of aging and some staining. The bricks are a mix of red and tan colors.</p>	 <p>A close-up photograph of the proposed brick mortar. The mortar is a uniform, light gray color, appearing fresh and repaired. The bricks are a mix of red and tan colors. In the background, there is a blue air conditioning unit and some electrical wiring.</p>

25	Existing	Proposed
Metal Panel Covers at HVAC		Repair and replace with existing.
		
26	Existing	Proposed
Metal Louver		Replace to match existing
		

27	Existing	Proposed
Canopy reconstruction		Canopy Reconstruction (refer to renders)
		
28	Existing	Proposed
Canopy stucco ceiling		Canopy Reconstruction (refer to renders)
		

29	Existing	Proposed
Canopy TPO		White TPO Roofing w/ Fleeceback w/ drain over canopies
		
30	Existing	Proposed
North Exit Doors		Clean, repair, sand and stain, replace door to match existing
		

31	Existing	Proposed
North Door Framing		Repair, sand and stain to match existing
		
32	Existing	Proposed
Dark teal wall tile wainscot		Repair and replicate tile to match existing
		

33	Existing	Proposed
North Metal Panel Covers		Clean crevices and seams,
		
34	Existing	Proposed
light fixtures		Light Fixture replace - BAA-ENC-SA1C-727-X-T4W-BZ-ULG-TR-VA6174 Cooper Lighting
		

35	Existing	Proposed
	West Exit Door	Image of Door from the inside - Repair, sand and stain to match existing
	Picture Not Available from Exterior	
36	Existing	Proposed
	West Door Framing	Repair, sand and stain to match existing
	Picture Not Available from Exterior	

37	Existing	Proposed
	Fire stairs	Clean and remove debris from stairs
		
38	Existing	Proposed
	Red Stucco walls	Clean, repair, and repaint to match existing.
		

39	Existing	Proposed
Glass Blocks and Mortar		Clean and repair, glass blocks
		
40	Existing	Proposed
Brick at Building A		Clean from debris, repair brick, and replace to match existing at damaged areas.
		

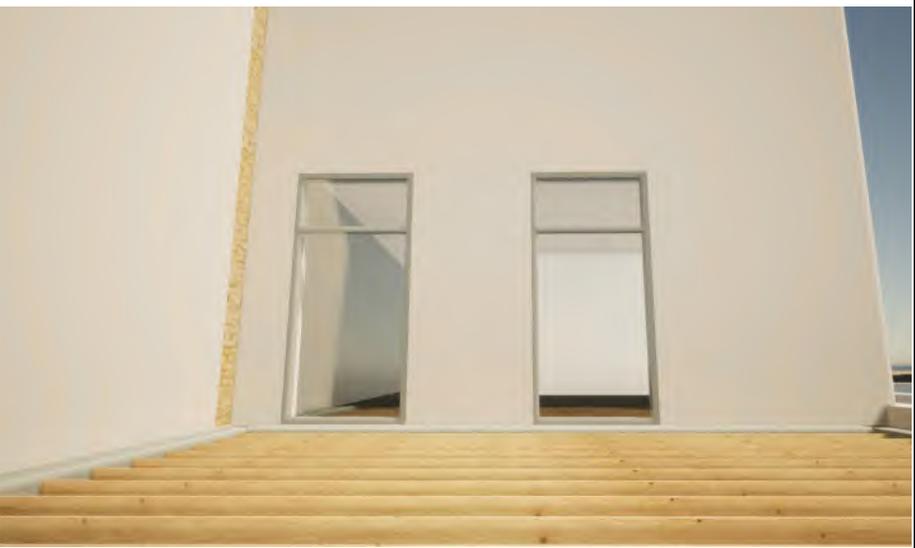
41	Existing	Proposed
	Red wall file	Clean, Repair and replicate file to match existing
		
42	Existing	Proposed
	Storefront	Clean framing, glass, and repair broken glass to match existing.
		

43	Existing	Proposed
Canopy at Building A		Canopy to remain, clean canopy
		
44	Existing	Proposed
Wrought Iron		Clean and repair damaged wrought iron, Repaint to match existing.
		

45	Existing	Proposed
Brick Removal		Remove and dispose of brick in parking lot
		
46	Existing	Proposed
Glass Block Removal		Remove and dispose of glass block in parking lot
		<p style="text-align: center;">See Renders at End</p>

47	Existing	Proposed
Corrugated Roof Removal		Remove and dispose of metal roof in parking lot.
		See Renders at End
48	Existing	Proposed
TPO Roof Removal		Remove and dispose of roof
		See Renders at End

49	Existing	Proposed
New Stucco Wall		Stucco white wall
		
50	Existing	Proposed
New Roof Metal Coping		Metal coping at parapets of the new building in white.
		

51	Existing	Proposed
New Metal Doors		New metal doors in light gray color
		
52	Existing	Proposed
New Steel Windows		Steel windows in light gray
		

53	Existing	Proposed
	New TPO Roofing	TPO roofing in white
		
	<p>Continue for Renders on next pages</p>	



South Facade on Hidalgo St.



South Facade on Hidalgo St.



South Facade on Hidalgo St.



North Facade on Farragut St.



View from parking lot from Farragut St.

City of Laredo

Historic District / Landmark Board

Meeting Date: 11/13/2025

Action Item 6B

SUBJECT

Public Hearing and consideration of a motion to consider façade repair and restoration on Block 10, Western Division, located at 217 San Agustin Ave. This property is within the San Agustin De Laredo Historic District.

HD-002-2026
District VIII

PREVIOUS COUNCIL ACTION

N/A

BACKGROUND

Initiated by: Diocese of Laredo, Owner, Teresa Fonseca, Representative

Previous Action:

On September 13, 2018, in a 5-0 vote, the Historic District/Landmark Board (HDLB) approved, in relation to the Parish Hall, the demolition of the existing ramp at the San Agustin Avenue entrance and construction of a new accessible ramp with handrails and landings, the installation of three additional concrete landings-two along Grant Street and one between the Parish Hall and San Agustin Cathedral-and the addition of canopies with gutters connecting all three buildings located on Block 10, Western Division.

On November 8, 2018, in a 4 to 1 vote, the Historic District/Landmark Board approved the following proposed scope of work:

1. Install new copper line, power duplex, and disconnect switch for an AC condensing unit in the fenced mechanical yard along Grant Street; unit will serve the confessionals, office, and AV room.
2. Replace temporary plywood with architectural louvers at two existing window openings along Grant Street to meet mechanical ventilation requirements.
3. Replace temporary plywood with architectural louvers at the specified existing window openings in the alley way at rear east facade.
4. Replace four existing copper lines along the south alley using existing wall penetrations at both ground and second-floor levels.
5. Add four emergency lights at key entrances per Fire Department request-one San Agustin west entrance, two Grant Street north entries, and one south alley entry.
6. Install a concealed 2" metal conduit centered over the previously approved canopy roof to connect KHOY Radio from Parish Center to Cathedral.
7. Add temporary copper line and conduit along the south elevation to serve third-floor mechanical units; opening to be removed and repaired in a future phase.

8. Add five mechanical penetrations on the east façade to serve current and future HVAC systems -three hidden behind parapet, two partially visible at attic gable end.

Current Proposed Scope of Work

The applicant is proposing to modify, repair, and rehabilitate sixty (60) windows on the Santa Monica Parish Hall:

The applicant has provided the following legend to identify the window types as follows (see attached document Sheet L1.1):

- Window Type 'A' - Gothic Arch Single Hung
- Window Type 'E' - Double Hung
- Window Type 'G' - Gothic Arch Fixed Transom (5 Lites)
- Window Type 'L' - Double Hung
- Window Type 'N' - Double Hung

1. Sixty (60) windows are to be replaced with insulated windows, this includes:

- One (1) Window Type "G" (Gothic Arch Fixed Transom (5 Lites)) - located on the 3rd floor of the North Elevation
- One (1) Window Type "G" (Gothic Arch Fixed Transom (5 Lites)) - located on the 3rd floor of the South Elevation
- Twelve (12) Windows Type "A" (Gothic Arch Single Hung) - located on the 3rd floor of the West Elevation
- Thirty-six (36) Windows Type "E" (Double Hung) - located on the 2nd and 3rd floor of the North Elevation
- Ten (10) Windows Type "L" (Double Hung) and Type "N" (Double Hung) - located on the 1st, 2nd, and 3rd floors of the North Elevation

2. Repair and restoration of fourteen (14) window frames using reclaimed Longleaf Pine or species to match existing per material testing of the following windows:

- Two (2) Windows Type "G" (Gothic Arch Fixed Transom (5 Lites)) - located on the 3rd floor of the North Elevation and another on the South Elevation
- Twelve (12) Windows Type "A" (Gothic Arch Single Hung) - located on the 3rd floor of the West Elevation

3. Salvage and replacement of forty-six (46) window frames using Clear Ponderosa Pine or suitable fine-grained lumber of the following windows:

- Thirty-six (36) Windows Type "E" (Double Hung) - located on the 2nd and 3rd floors of the North Elevation
- Ten (10) Windows Types "L" (Double Hung) and "N" (Double Hung) - located on the 1st, 2nd, and 3rd floors of the North Elevation

4. Aluminum cladding of forty-six (46) window frames that will be painted to match historic color(s) of existing windows as per material testing of the following windows:

- Thirty-six (36) Windows Type "E" (Double Hung) - located on the 2nd and 3rd floors of the North

Elevation

- Ten (10) Windows Types "L" (Double Hung) and "N" (Double Hung) - located on the 1st, 2nd, and 3rd floors of the North Elevation

Building Type: As per the Historic Urban Design Assessment Report (1996):

- The building consists of a three story, gable roof, brick masonry structure. It was done in a Gothic Revival tradition in Circa 1927. The front of the building was an addition that was made later. The base of the building was executed in a more rusticated manner utilizing a darker brick. The field brick color is in a light brown or tan color. A rhythm and pattern is achieved by the use of tall, narrow windows which is repeated on all three levels. Only the top windows have the pointed arch transom.

Site: The property is an H-AE (Historic Arts and Entertainment District) zoning district.

Letters sent to the surrounding property owners: 23

For: 0

Against: 0

Granting or Denying an Application:

- As per the Laredo Land Development Code, Section 24.1.2.2(2), the Historic District Landmark Board shall utilize the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings; and the City of Laredo, Texas, Historic Urban Design Guidelines

Secretary of the Interior's Standards:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that,

if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

*THE PURPOSE OF THIS APPLICATION REVIEW BEFORE THE HISTORIC DISTRICT/LANDMARK BOARD IS FOR HISTORIC COMPLIANCE ONLY. APPROVAL DOES NOT GUARANTEE APPROVAL OF A CONSTRUCTION PERMIT, OR ANY OTHER TYPE OF PERMIT THAT MIGHT BE REQUIRED FOR THIS PROJECT.

STAFF RECOMMENDATION: Staff supports Items 1, 2, and 3; however, Staff does not support Item 4.

Staff supports the proposed scope of work for the following reasons:

1. Sixty (60) windows are to be replaced with insulated windows.
 - a. The proposed installation of insulated windows will maintain the original window design and proportions, ensuring no visual change to the façade or historic character of the Santa Monica Parish Hall. Any window replacement shall not alter the exterior appearance or compromise the historic character of the building. (Historic Urban Design Guidelines)
 - b. The replacement with insulated windows in the Santa Monica Parish Hall will help with the long-term sustainability of the building while retaining its character. Work undertaken to meet energy efficiency and sustainability goals should be compatible with the historic character of the building, replacing windows may be appropriate when thermal performance is necessary for long-term building function. (Secretary of Interior Standards)

2. Repair and restoration of fourteen (14) window frames using reclaimed Longleaf Pine or species to match existing per material testing.
 - a. Repairing the wood windows using reclaimed Longleaf Pine or a similar fine-grained species maintains this intent by retaining or reusing authentic materials. (Chapter 3: Design Guidelines for Historic Properties)
 - b. The proposed use of reclaimed Longleaf Pine aligns with this philosophy-it repairs the feature using materials that are either identical or as close as possible in species and grain to the original. (Standard 6)

3. Salvage and replacement of forty-six (46) window frames using Clear Ponderosa Pine or suitable fine-grained lumber.
 - a. Clear Ponderosa Pine or a suitable-grained lumber is an appropriate replacement that will ensure visual continuity. Similar wood species-those with comparable grain, color, and finish-are appropriate substitutes when exact matching materials are unavailable.
 - b. Using a compatible fine-grained lumber such as Clear Ponderosa Pine fits this provision, provided that the finish, detailing, and joinery replicate the original appearance. When original materials are not available, the Standards allow “matching the old in design, color, texture, and, where possible, materials.” (Standard 6)

Staff does not support the proposed scope of work for the following reasons:

4. Aluminum cladding of forty-six (46) window frames that will be painted to match historic color(s) of existing windows as per material testing

a. The Historic Urban Design Guidelines identifies aluminum-clad windows as inappropriate for historic buildings, therefore the proposed usage of aluminum-cladding on the windows introduces a non-historic material inconsistent with the original character and intent of the Historic Urban Design Guidelines.

b. Aluminum, being non-porous, reflective, and machine-finished, fails to replicate the tactile texture, warmth, and matte quality of wood, resulting in an incompatible appearance. (Secretary of Interior Standards)

c. The cladding is a permanent alteration that prevents inspection and maintenance of the underlying wood-contrary to preservation practice favoring reversible interventions. (Secretary of Interior Standards)

Staff General Comments:

1. Any improvements which are approved by the Historic District Landmark Board shall also comply with all Building Code requirements and other regulations as provided in the Laredo Land Development Code.

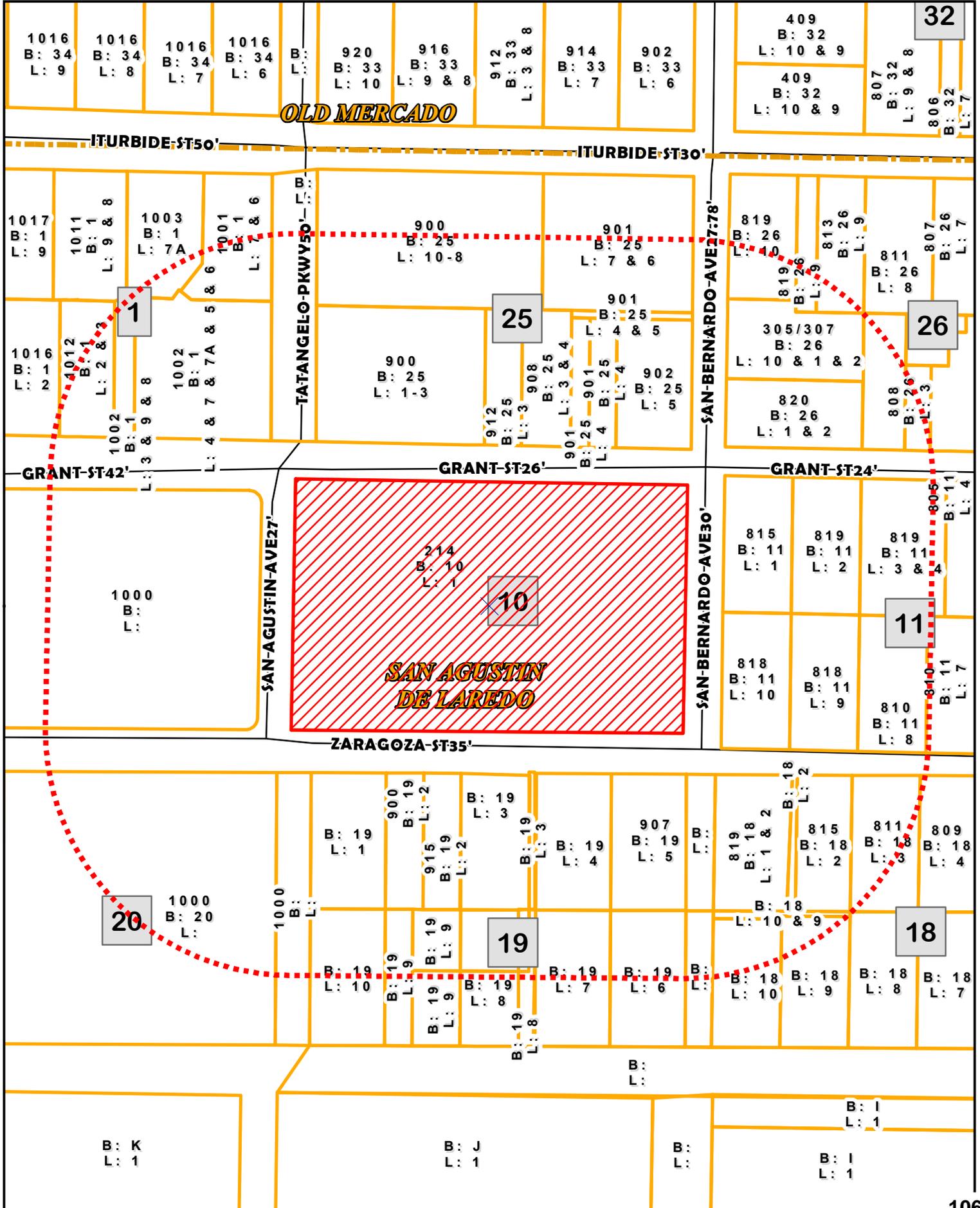
2. Approval by the Historic District Landmark Board does not guarantee approval of a building permit or any other permit which may be required.

3. It is recommended that all existed improvements utilize the following resources as a guide:

- The Secretary of the Interiors' Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings
- City of Laredo Historic Urban Design Guidelines
- City of Laredo Historic Preservation Plan

4. No other improvements, changes to the building, site or new construction on the property shall be permitted without prior review and approval by staff and/or Historic District Landmark Board, to meet compliance.

5. As per the Secretary of the Interior's Standards for Rehabilitation and Illustrated Guidelines for Rehabilitating Historic Buildings, all proposed scope of work should be physically and visually compatible to the original materials and features of the historical structure.



Santa Monica Parish Hall WINDOW STABILIZATION PROJECT

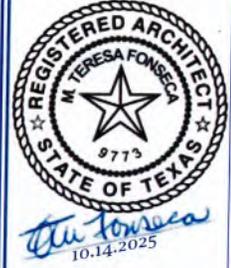
At former St. Augustine Parochial School, RTHL



ST. AUGUSTINE PAROCHIAL SCHOOL
RECORDED TEXAS HISTORIC LANDMARK (RTHL)



SAN AGUSTIN DE LAREDO HISTORIC DISTRICT



OWNER
BISHOP JAMES A. TAMAYO, D.D.
DIocese OF LAREDO
 1901 CORPUS CHRISTI ST.
 LAREDO, TEXAS 78043

CONTACT: CECILIA MORENO, FISCAL
 956-727-2140 EXT. 7855

PARISH
SAN AGUSTIN CATHEDRAL
 201 SAN AGUSTIN AVE.
 LAREDO, TEXAS 78040

- LIST OF DRAWINGS**
- T1.....TITLE SHEET, HISTORIC DESIGNATION, & LIST OF DRAWINGS
 - RS1.... ROOF/SITE/TRAFFIC
 - L1.1... LEGEND / REFERENCES
 - A1.1...PROJECT GOALS, WINDOW CONDITION SURVEY RESULTS, SCOPE, BIDS, ALTERNATES, AND PHASES
 - A1.2...CONTRACTS, SCOPE & COORDINATION
 - A2.1...WINDOW TYPE 'A' RESTORATION
 - A2.2...WINDOW TYPE 'A' RESTORATION
 - A2.3...WINDOW TYPE 'A' RESTORATION
 - A3.1...WINDOW TYPE 'G' RESTORATION
 - A3.2...WINDOW TYPE 'G' RESTORATION
 - A3.3...WINDOW TYPE 'G' RESTORATION
 - A4.1...WINDOW SET EN304 - SALVAGE & REPLACE
 - A4.2...WINDOW SET EN303 - SALVAGE & REPLACE
 - A4.3...WINDOW SET EN301 - SALVAGE & REPLACE
 - A4.4...WINDOW SET EN302 - SALVAGE & REPLACE
 - A4.5...WINDOW SETS EN301 THRU EN306
 - A5.1...WINDOW SETS EN201 THRU EN206
 - A6.1...ALTERNATE: TYPE 'B' 12 @ WEST
 ALTERNATE: TYPE 'K' 12 @ NORTH
 ALTERNATE: TYPE 'H' 2 & 'J' 2 @ NORTH



SITE PLAN AERIAL - PROJECT LOCATION MAP

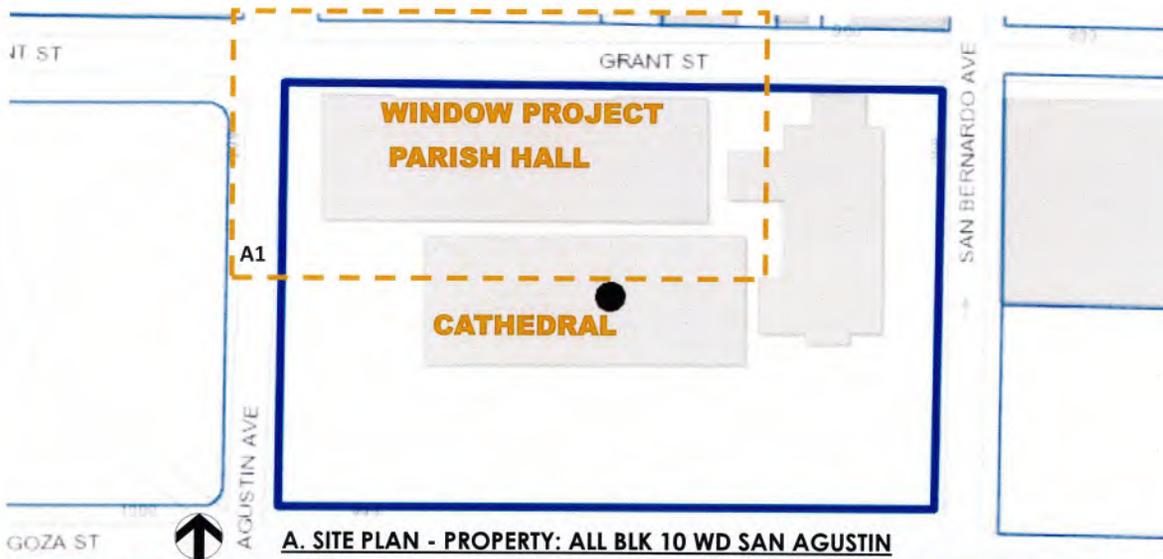
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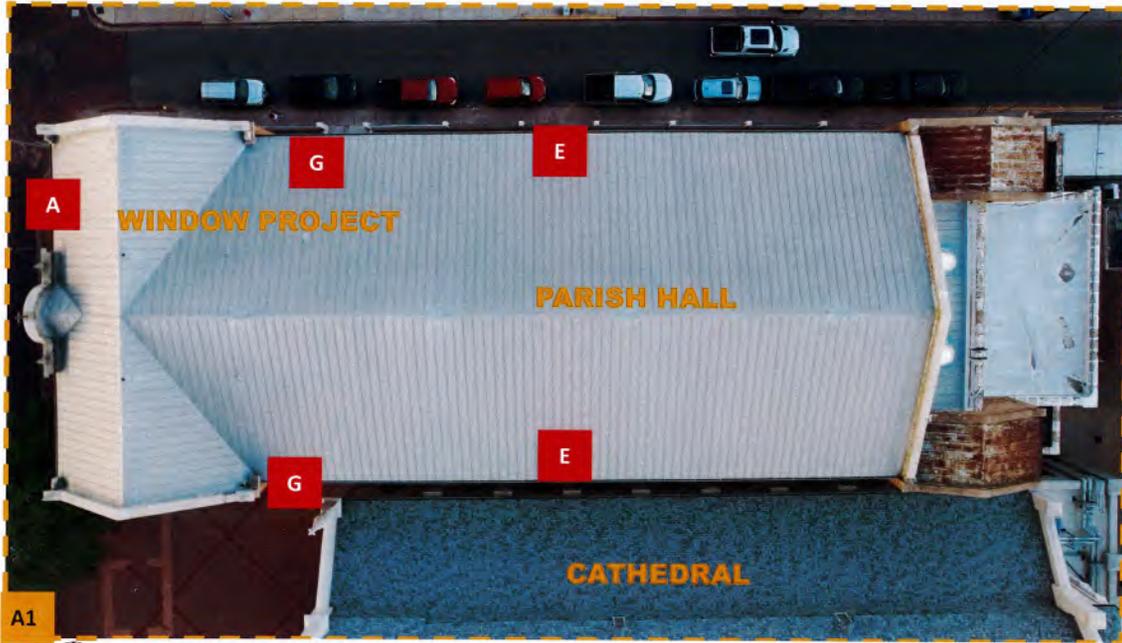
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SHEET
 T1



A. SITE PLAN - PROPERTY: ALL BLK 10 WD SAN AGUSTIN



B. ROOF CONDITION - BUILDING/WINDOWS 'G' 'E' PROXIMITY TO STREET & CATHEDRAL



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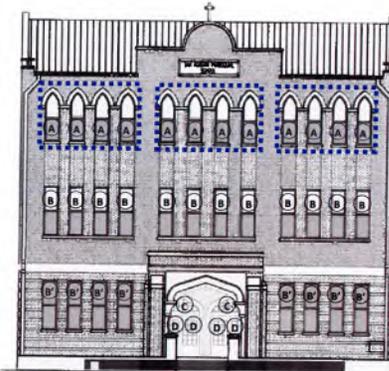
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SR1



2 — NORTH ELEVATION
GRANT ST.



1 — WEST ELEVATION
SAN AGUSTIN AVE.



WINDOW ID:

SAMPLE: AW301

A — WINDOW TYPE

W — WEST ELEVATION

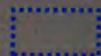
3 — 3RD FLOOR

01 — UNIT IN SERIES

LEGEND:



EXTREME CONDITION



RESTORATION



SEE ENLARGEMENT



ENLARGED VIEW



WINDOW TYPE



KEYED NOTE



SASH MISSING / BEYOND REPAIR



COMPONENT DAMAGED



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PROJECT SCOPE—WINDOWS

PROJECT GOALS:

1. STABILIZATION OF WINDOWS AT THE PARISH HALL OF THE SAN AGUSTIN CATHEDRAL, LAREDO, WEBB COUNTY, TEXAS. THE BUILDING CONTAINS 280 WINDOWS.
2. KEY RESULTS OF THE WINDOW CONDITION STUDY INCLUDED: a) WINDOWS IN SEVERE AND EXTREME DETERIORATION TO BE LOCATED ON THE NORTH ELEVATION, b) IDENTIFICATION OF THE MOST ARCHITECTURALLY SIGNIFICANT FEATURES OF THE PUBLIC FACING ELEVATIONS, c) GREATEST MAINTENANCE ISSUE CAUSING PORTIONS OF GLASS & SASH TO FALL OFF AND UNTO THE SIDEWALK & STREET BELOW, AND d) PRIORITIZATION DUE TO CONDITION, LOGISTICS & FUNDING.

PROJECT SCOPE PHASE 1: THEREFORE, THE PROJECT HEREIN IS IDENTIFIED AS PHASE 1 AND INCLUDES RESTORATION OF THE ARCHITECTURALLY SIGNIFICANT WINDOWS:

BASE BID:

- ITEM 1. TYPE 'A' GOTHIC ARCH SINGLE HUNG WINDOWS ON THE WEST (MAIN) FAÇADE. THESE 12 WINDOWS WILL BE RESTORED, PROVIDE FULL REHABILITATION.
- ITEM 2. TYPE 'G' GOTHIC ARCH FIXED TRANSOM WINDOWS AT THE 3RD FLOOR, NORTH & SOUTH ELEVATIONS, FEATURE AT THEIR RESPECTIVE STAIRWAYS. FULL REHABIITATION.
- ITEM 3. TYPE 'E' SETS OF 3 EXTRA LARGE DOUBLE HUNG WINDOWS (6/6) ON THE NORTH ELEVATION, BEING THE MAJOR MAINTENANCE & SAFETY ISSUES. THE STUDY FOUND THE MAJORITY OF THE UNITS ON THE 3RD FLOOR OF THE NORTH ELEVATION TO LACK STRUCTURAL STABILITY AND BE BEYOND REPAIR TO EFFECTIVELY PERFORM ALL THE FUNCTIONS OF THE WINDOW, CONTINUE TO ENDURE THE WEATHER, MOISTURE & ENVIRONMENTAL CONDITIONS, AS WELL AS REQUIRE EXTENSIVE MAINTENANCE WHILE BEING LOCATED ON THE 3RD FLOOR WITH THE HIGHEST CHALLENGE FOR MONITORING.

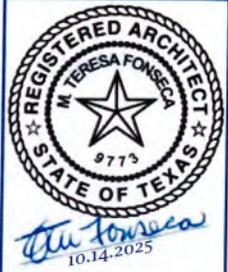
WINDOW TYPE	QUANTITY	ELEVATION	FLOOR	W X H	WINDOW DESCRIPTION	BASE BID	DESCRIPTION	WINDOW NOS.
A	12	WEST	3RD	2'-4" X 8'-1"	GOthic ARCH SINGLE HUNG 1/1	#1	FULL REHABILITATION	AW301, AW302, AW303, AW304, AW305, AW306, A307, AW308, AW309, AW310, AW311,AW312
G	2	N and S	3RD	6'-0" X 8'-1"	GOthic ARCH FIXED (5 LITES)	#2	FULL REHABILITATION	GN301 & GS301
E	18	NORTH	3RD	2'-4" X 8'-1"	DOUBLE HUNG 6/6	#3	SALVAGE & REPLACEMENT w/HISTORIC WINDOW	EN301, EN302, EN303, EN304, EN305, EN306

ALTERNATES PROVIDE COST FOR RESTORATION VS REPLACEMENT: FIELD INSPECTIONS TO EVALUATE FOR REHABILITATION, RESTORATION AND/OR REPLACEMENT:

- ALTERNATE #1: TYPE 'B' - quantity 12 @ WEST, 2ND FLOOR
- ALTERNATE #2: TYPE 'K' - quantity 12 @ NORTH, 2ND & 3RD FLOORS
- ALTERNATE #3: TYPE 'H' - quantity 2 & TYPE 'J' - quantity 2 @ NORTH, STAIRWAY LANDINGS NEAR 2ND FLOOR
- ALTERNATE #4: TYPE 'L' - quantity 5, TYPE 'N' - quantity 5 & TYPE 'P' - quantity 4 @ NORTH, STAIRWAY LANDINGS NEAR 2ND & 3RD FLOORS

FUTURE PHASES:

- PHASE 2 — COMPLETION OF 2ND & 3RD FLOOR WINDOWS ON NORTH AND WEST ELEVATION; FOLLOWED BY TYPE 'E' WINDOWS ON THE SOUTH ELEVATION AS WELL AS REMAINING WINDOWS ON THE 2ND & 3RD FLOOR.
- PHASE 3 — 1ST FLOOR WINDOWS, DOORS, AND TRANSOMS PRIMARY ELEVATIONS FOLLOWED BY SECONDARY ELEVATIONS.



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CONTRACTS, SCOPE OF WORK AND COORDINATION

CONTRACT #1 — WINDOW RESTORATION

CONTRACT #2 — WINDOW REPLACEMENT

CONTRACT #3 — GENERAL CONSTRUCTION

CONTRACT #4 — ROOF, GUTTERS & DOWNSPOUTS

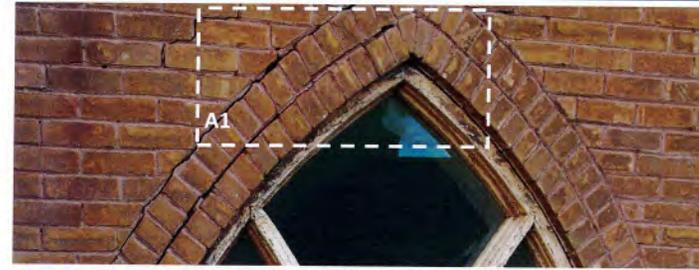
CONTRACT #1 AND #2 — BID ITEMS RELATED TO WINDOW WORK (SUCH AS ITEMS 1, 2 & 3) SHALL INCLUDE ALL RELATED WORK FOR A COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO FLASHING, SEALING & PROTECTING WORK IN-PROGRESS. WATER TESTS SHALL BE PROVIDED PRIOR TO SUBSTANTIAL COMPLETION.

CONTRACT #3 — GENERAL CONTRACTOR TO PROVIDE CERTAIN GENERAL CONDITIONS NECESSARY FOR WINDOW CONTRACTOR(S) SUCH AS MOBILIZATION AS IT RELATES TO SCAFFOLDING, PEDESTRIAN PROTECTED WALKWAYS AND STREET CLOSURE WHEN REQUIRED BY CITY AND/OR THE WORK IN PROGRESS. GENERAL CONTRACTOR'S SCOPE SHALL ADDRESS MASONRY (SUCH AS REPOINTING), INTERIOR FINISHES INCLUDING PAINTING OF WOOD WINDOWS, REPAIRS TO DRYWALLS AND/OR ROUGH OPENINGS AS THEY ARE PREPARED FOR WINDOW INSTALLATION, SURVEYING ELECTRICAL DEVICES ON NORTH AND WEST ELEVATIONS FOR REMOVAL AND/OR REPLACEMENT.

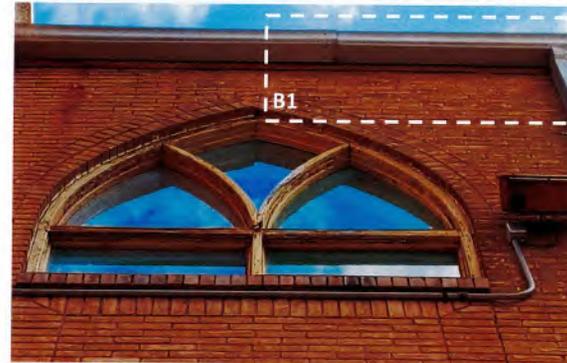
CONTRACT #4 — SCOPE TO BE DETERMINED TO ENSURE ROOF PERIMETER IS SEALED AND EXISTING GUTTERS AND DOWNSPOUTS ARE ADEQUATELY SIZED AND PLACED TO ADDRESS STORM DRAINAGE. CONSIDER INSTALLATION OF INTERIOR ROOF DRAINS WHILE REPURPOSING EXISTING GUTTER AND DOWNSPOUTS AS SECONDARY SCUPPERS.

OWNER ALLOWANCES:

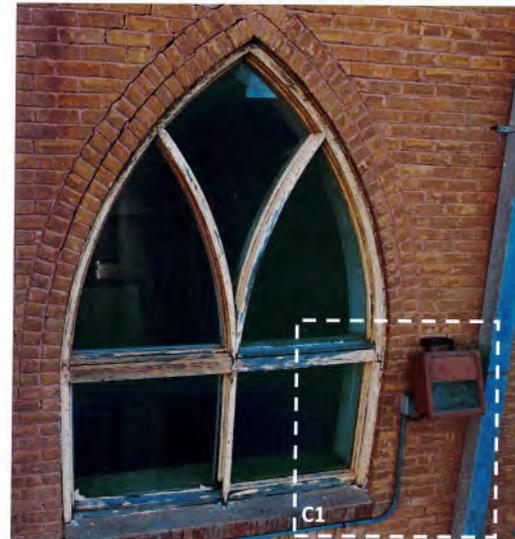
- 1. TESTING FOR LEAD PAINT ON EXISTING WINDOWS ON NORTH AND WEST ELEVATIONS.
- 2. TESTING WOOD WINDOW MATERIAL FOR SPECIES AT EACH WINDOW TYPE (A, E & G).
- 3. GENERAL CONTINGENCY ALLOWANCE PER CONTRACT



A. MASONRY REPOINTING @ CLERESTORY 'G' NORTH / SOUTH ELEV.



B. GUTTER & DOWNSPOUT @ CLERESTORY 'G' NORTH / SOUTH ELEV.



C. ELECTRICAL WORK IF NECESSARY



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A1.2

RESTORATION OF ARCHITECTURALLY SIGNIFICANT FEATURES — DESCRIPTION, SCHEDULE AND SCOPE

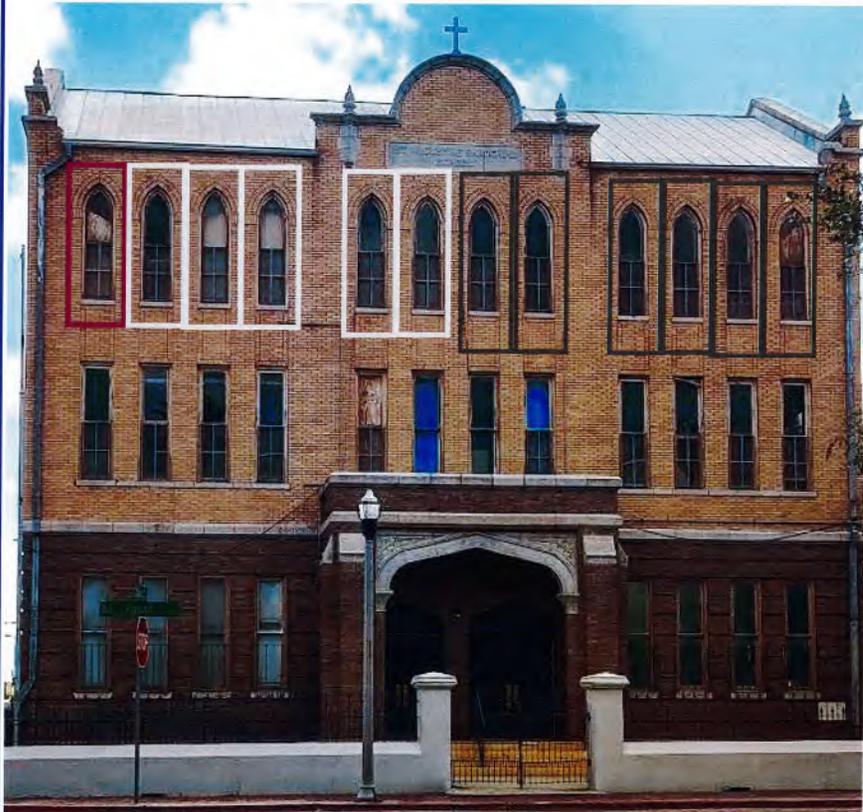
TYPE 'A' — THE THREE (3) BAYS OF FOUR (4) GOTHIC ARCH WINDOWS (QTY. 12) SHALL BE RESTORED. LOCATED AT THE 3RD FLOOR OF THE MAIN (WEST) ELEVATION, THE WINDOWS ARE A DISTINCT FEATURE OF THE FAÇADE COMPOSITION. WHILE THE MASS IS DIVIDED BY A STONE COURSE SEPERATING THE DARKER BRICK BASE, AND THE LIGHTER BRICK OF THE 2ND AND 3RD FLOOR; THE FAÇADE IS DIVIDED INTO THREE (3) BAYS WITH A RAISED PARAPET WALL DEMARKING THE CENTRAL ENTRANCE BAY. THE SUBJECT WINDOWS PLACEMENT IS ARCHITECTURALLY SIGNIFICANT BOTH IN PLACEMENT AND DESIGN. WHILE THE CONDITION OF THE WINDOWS RANGE FROM MODERATE TO SEVERLY DAMAGE, FULL RESTORATION IS RECOMMENDED INCLUDING TAKING ADVANTANGE OF THE SINGLE FIXED PANE SASH TO BE CONVERTED INTO AN ENERGY EFFICIENT INSULATED GLASS PANEL.

WINDOW TYPE	QUANTITY	ELEVATION	FLOOR	W X H	WINDOW DESCRIPTION
A	12	WEST	3RD	2'-4" X 8'-1"	GOthic ARCH SINGLE HUNG 1/1

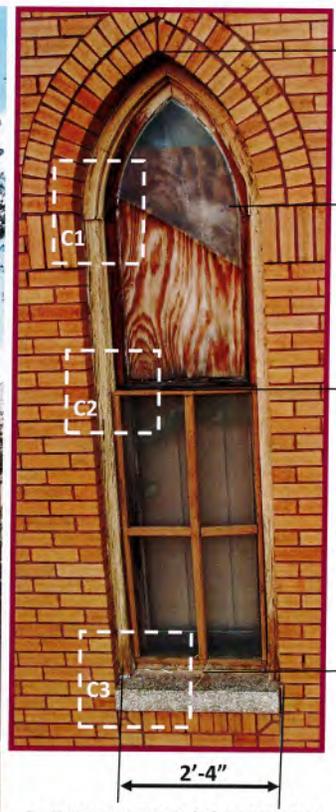
BASE BID ITEM 1. FULL REHABILITATION OF WINDOWS (TYPE A , WEST, 3RD)
 REFER CASE STUDY: HIGHLIGHTED WINDOWS
 LEFT BAY: AW301, AW302, AW303, AW304; CENTER BAY: AW305, AW306, AW307, AW308; RIGHT BAY: AW309, AW310, AW311, AW312



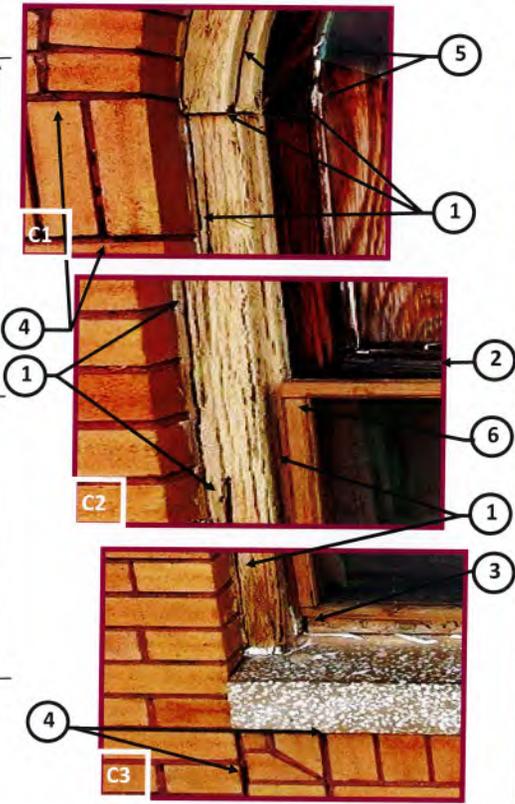
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A. WEST ELEVATION — WINDOW LOCATION



**B. TYPICAL TYPE 'A' WINDOW
AW301**



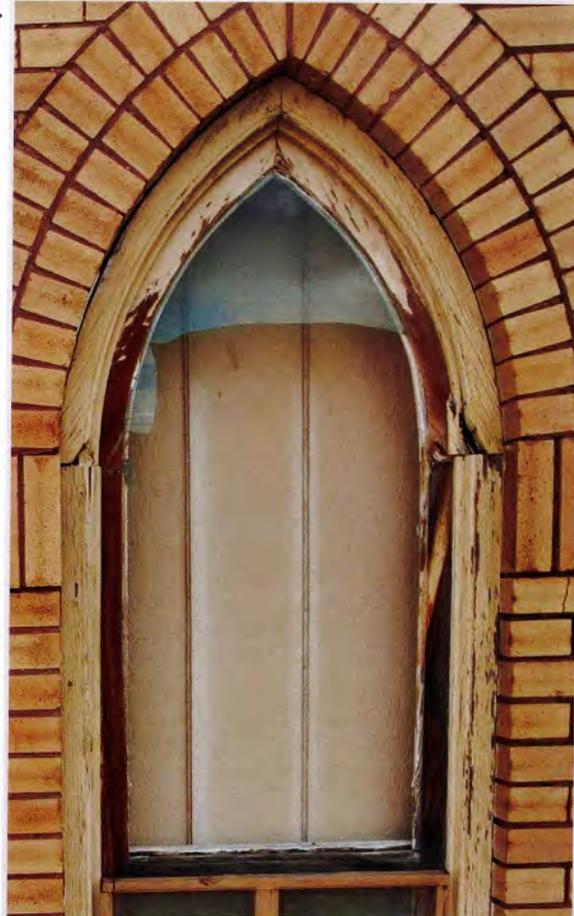
C. WINDOW DETAILS (SPRING JOINT, JAMB, SILL)

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A2.1

GENERAL AND KEY NOTES

1. WOOD FRAME: SHRINKING, SEPERATION & CRACKING. COMMON CAUSE OF MOISURE INFILTRATION, AIR LEAKS & STRUCTURAL INSTABILITY.
2. UPPER SASH: BOTTOM RAIL SEVERE DETERIORATION CAUSED LOSS OF GLAZING SUPPORT & GLASS PANE TO DROP OUT OF THE FRAME.
3. WOOD SILL: MOISTURE DETERIORATION CAUSING SHRINKING, SEPERATION, & STRUCTURAL INSTABILITY TO WINDOW FRAME.
4. BRICK COURSE (ARCH DOUBLE HEADER TO ROWLOCK, SOLDIER BAND AT SPRING POINT, ROWLOCK & MIDERED BRICKWORK BELOW CAST STONE SILL: COMMN MOISTURE INFILTRATION BEHIND BRICK, WOOD FRAME & CAUSE STRUCTURAL INSTABILITY. REQUIRE REPOINTING & CONTINUOUS WATERPROOFING AT WINDOW.
5. GLASS PANE & GLAZING: DAMAGE, DETERIORATED, NEEDS REPLACEMENT OF GLASS & CONTINUOUS GLAZING.
6. MISSING HISTORIC FABRIC: REFABRICATE WITH MATCHING MATERIAL SUCH AS LONGLEAF PINE (AS PER MATERIAL TEST)
7. NON-HISTORIC HALF WOOD SCREEN: REMOVE.
8. PROVIDE SHOP DRAWINGS FOR ALL REPAIRS, VERIFY DIMENSIONS AND SITE CONDITIONS, IDENTIFY SCOPE OF REHABILITATION OF WINDOWS INCLUDING ITEMS BEYOND REPAIR REQUIRING RECONSTRUCTION. IDENTIFY THERMAL AND MOISTURE PROTECTION FOR WINDOW INSTALLATIONS TO EXISTING OPENINGS.



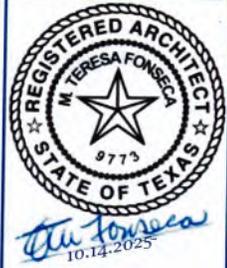
A. WINDOW AW302

B. WINDOW AW303

C. PARTIAL WINDOW AW304

D. WINDOW AW305

E. WINDOW AW306



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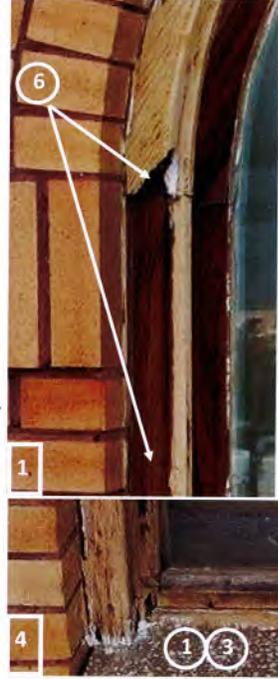
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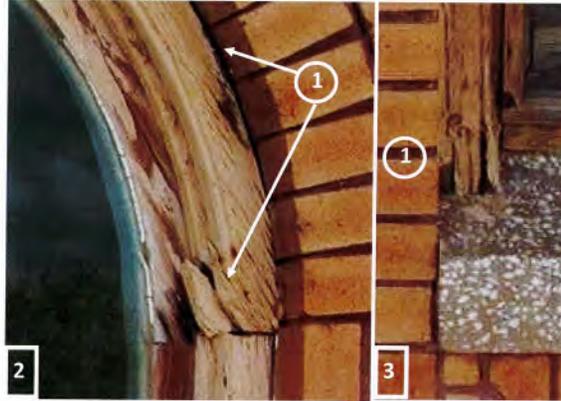
SHEET
A2.2



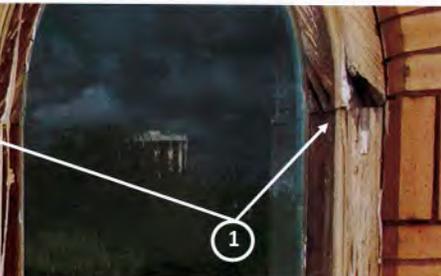
A. WINDOW AW307



B. WINDOW AW308



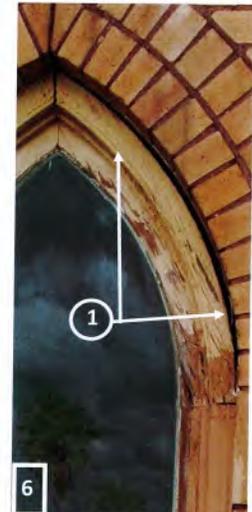
C. WINDOW AW309



D. WINDOW AW310



E. WINDOW AW311



F. WINDOW AW312

G. WINDOW DETAILS
(SPRING JOINT,
JAMB, TRIM, & SILL)



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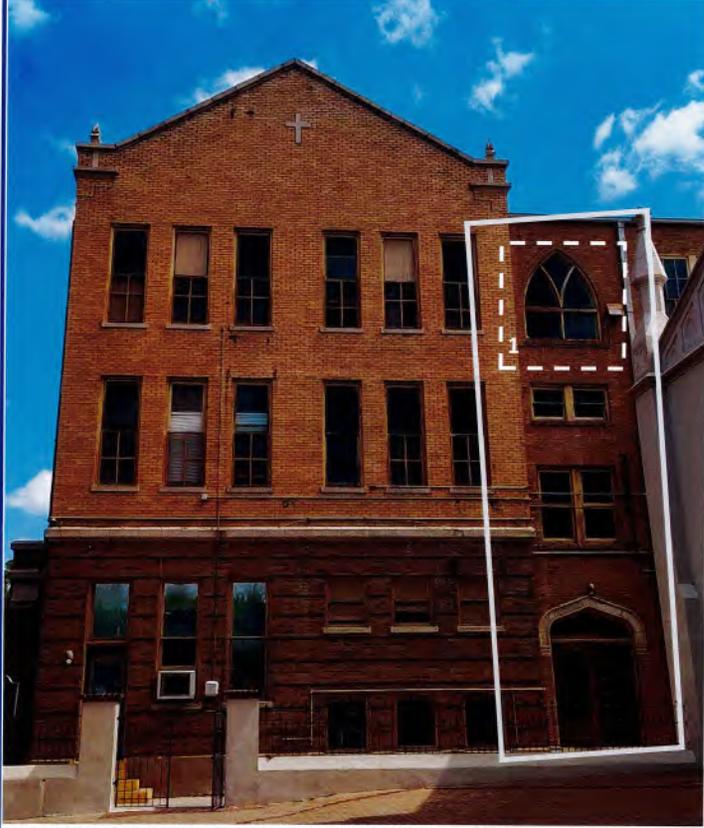
RESTORATION OF ARCHITECTURALLY SIGNIFICANT FEATURES — DESCRIPTION, SCHEDULE AND SCOPE

TYPE 'G' — A LARGE GOTHIC ARCHED FIXED GLASS TRANSOM WINDOW (FIVE (5) LITES) IS THE TOP ELEMENT OF A 4-WINDOW COMPOSITE LOCATED AT TWO (2) STAIRWAYS WITH A PAIR OF DOORS AT THE GROUND LEVEL AT BOTH, THE NORTH AND THE SOUTH FAÇADE. THE SIGNIFICANT FEATURE TO BE RESTORED IS THE 5 PIECE ARCH COMPOSITE (TRACERY TRANSOM). EACH SINGLE PANE LITE TO BE CONVERTED INTO AN ENERGY EFFICIENT INSULATED GLASS MAINTAINING A TRUE DIVIDED LITE ASSEMBLY. WHERE ELEVEMENTS OF THE EXISTING WOOD FRAME ARE FOUND TO BE BEYOND REPAIR, IT WILL BE REPLACED WITH MATCHING MATERIAL AND DETAIL.

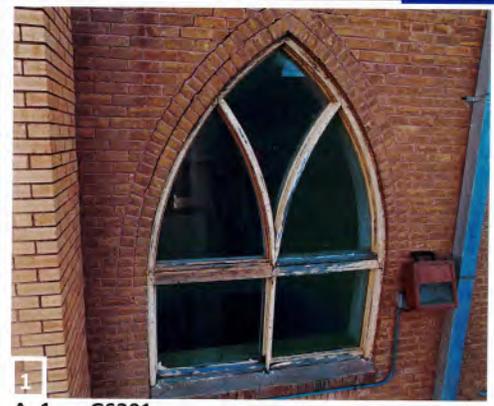
WINDOW TYPE	QUANTITY	W X H	ELEVATION	FLOOR	WINDOW DESCRIPTION	BASE BID ITEM 2. FULL REHABILITATION OF WINDOW TYPE 'G'
'G'	2	6'-0" X 8'-1"	SOUTH	3RD	GOthic ARCH FIXED (5 LITES)	GS301
			NORTH	3RD	GOthic ARCH FIXED (5 LITES)	GN301



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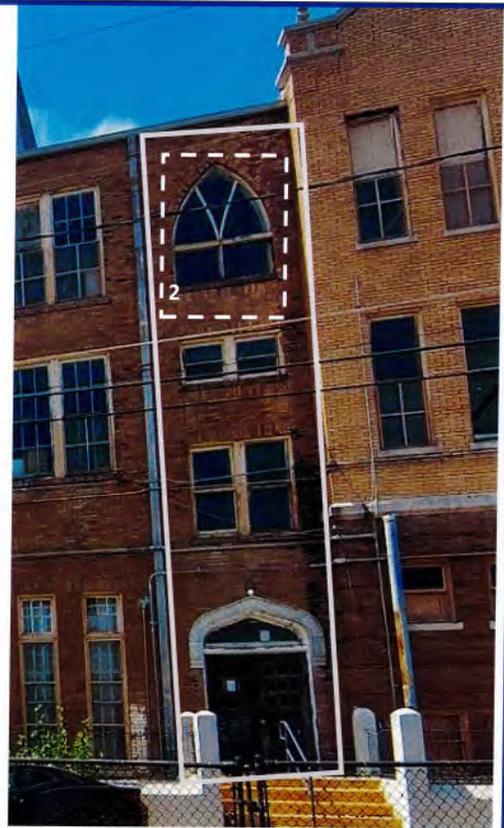
A.SOUTH ELEVATION — TYPE 'G' WINDOW - GS301



A. 1 — GS301



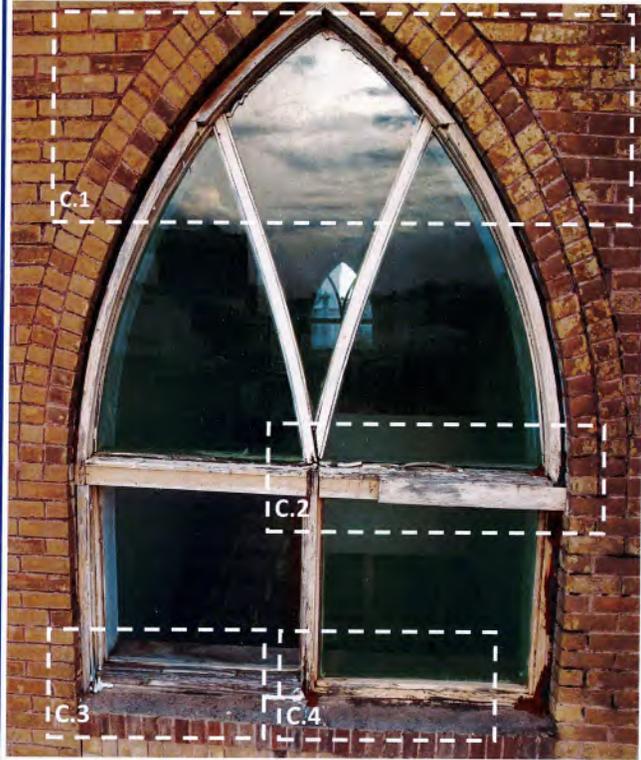
B. 1 — GN301



B. NORTH ELEVATION — WINDOW - GN301

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 A3.1



A. NORTH ELEVATION — TYPE 'G' WINDOW - GN301



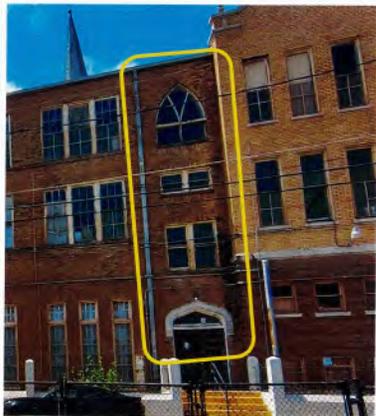
REFER GENERAL AND KEY NOTE SHEET A4.2

TOPICS INCLUDED:

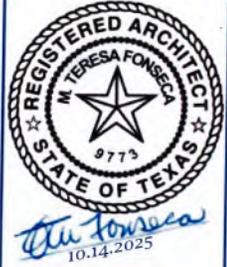
1. WOOD FRAME: SHRINKING, SEPERATION & CRACKING.
2. N/A
3. WOOD SILL: MOISTURE DETERIORATION
4. BRICK COURSE MOISTURE INFILTRATION
5. GLASS PANE & GLAZING: DETERIORATED
6. MISSING HISTORIC FABRIC (MATERIAL TEST)
7. N/A
8. PROVIDE SHOP DRAWINGS



C. WINDOW DETAILS (HEAD, JAMB, MULLION, RAIL, SILL)



B. NORTH ELEVATION — WINDOW LOCATION



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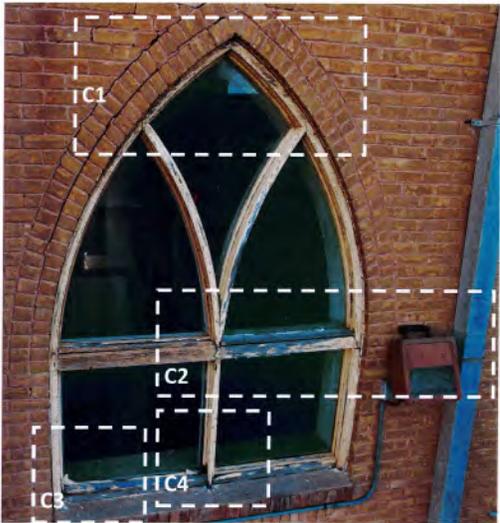
SHEET
 A3.2



A. SOUTH ELEVATION — WINDOW LOCATION



B. SOUTH TRANSOM WINDOW — GS301



C. NORTH WINDOW — TYPE 'G' - GS301



C1



C2



C3



C4

C. WINDOW DETAILS (HEAD, MULLION/RAIL, JAMB, SILL)



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SHEET
 A3.3

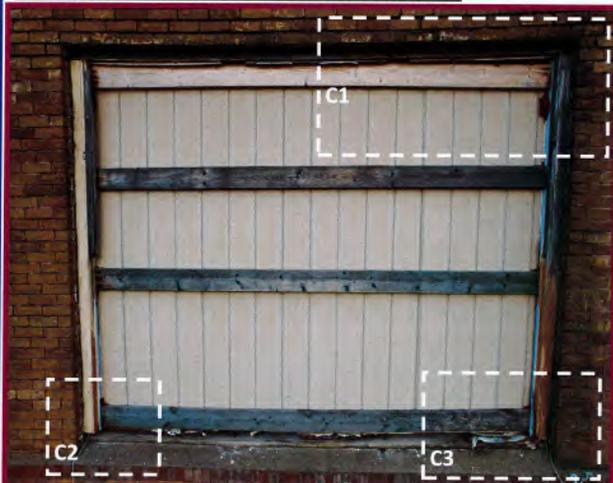
REPLACEMENT OF MISSING/DETERIORATED HISTORIC WINDOWS — DESCRIPTION, SCHEDULE AND SCOPE

TYPE 'E1' IS ONE (1) OF 12 SETS OF THREE (3) DOUBLE HUNG WINDOWS WITH SIX OVER SIX (6/6) LITES LOCATED ON THE NORTH ELEVATIONS. THESE TWELVE (12) ARE THE MOST CRITICALLY DAMAGED WINDOWS FOUND ON THE 1927 BUILDING. UNFORTUNETLY, FOUR (4) OF SIX (6) SETS LOCATED AT THE THIRD (3RD) FLOOR ARE **SEVERLY COMPROMISED BEYOND REPAIR** TO EFFECTIVELY PERFORM ALL THE FUNCTIONS OF THE WINDOW WHILE ONE (1) SET (EN304) IS COMPLETELY MISSING. WHILE THE FOLLOWING PAGES WILL REVIEW EACH SET, IT SHOULD BE SUMMARIZED THAT THE SAME WINDOWS EXPOSED TO THE SOUTH WEATHER WOULD HAVE BEEN WORSE IF NOT PROTECTED BY THE ADJOINING CATHEDRAL STRUCTURE. WE RECOMMEND SALVAGING ANY COMPONENTS TO RESTORE THE TYPE 'E' SETS ON THE SOUTH ELEVATION OVER THOSE ON THE NORTH ELEVATION.

WINDOW TYPE	QUANTITY	ELEVATION	FLOOR	W X H	WINDOW DESCRIPTION	BASE BID ITEM 3. PRICE REPLACEMENT VS FULL REHABILITATION OF WINDOWS (TYPE 'E', NORTH, AT 2ND & 3RD) REFER CASE STUDY: HIGHLIGHTED WINDOWS
E SETS	18	NORTH	3RD	2'-4" X 8'-1"	DOUBLE HUNG 6/6	3RD FLOOR — EN301, EN302, EN303, EN304, EN305, EN306
E SETS	18	NORTH	2ND	2'-4" X 8'-1"		2ND FLOOR — EN201, EN202; EN203, EN204, EN205, EN206



A. NORTH ELEVATION — WINDOW LOCATION



B. NORTH TYPE 'E' WINDOW SET — EN304



C. WINDOW DETAILS (HEAD, MULLION/RAIL, JAMB, SILL)



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 PO Box 450564 Laredo TX 78045
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DIOCESE OF LAREDO

Santa Monica Parish Hall
 Window Stabilization
 Laredo, Texas

SHEET
 A4.1

REPLACEMENT OF MISSING/DETERIORATED HISTORIC WINDOWS — DESCRIPTION, SCHEDULE AND SCOPE

TYPE 'E2' — EN303 IS ONE (1) OF THE FOUR (4) SETS OF TYPE 'E' WINDOWS AT THE (3RD) FLOOR WHICH ARE **SEVERLY COMPROMISED BEYOND REPAIR** TO EFFECTIVELY PERFORM ALL THE FUNCTIONS OF THE WINDOW. WE RECOMMEND SALVAGING ITS COMPONENTS TO RESTORE THE TYPE 'E' SETS ON SOUTH ELEVATION OVER THOSE ON THE NORTH.

GENERAL AND KEY NOTES

1. WOOD FRAME: SHRINKING, SEPERATION & CRACKING CAUSE OF MOISURE INFILTRATION, AIR LEAKS & STRUCTURAL INSTABILITY.
2. UPPER SASH: BOTTOM RAIL'S SEVERE DETERIORATION CAUSED LOSS OF GLAZING SUPPORT & GLASS PANE TO DROP OF THE FRAME
3. WOOD SILL: MOISTURE DETERIORATION CAUSING SHRINKING, SEPERATION, & STRUCTURAL INSTABILITY TO WINDOW FRAME.
4. BRICK COURSE: COMMN MOISTURE INFILTRATION BEHIND BRICK, WOOD FRAME & CAUSE OF STRUCTURAL INSTABILITY. REQUIRE REPOINTING & CONTINUOUS WATERPROOFING AT WINDOW
5. GLASS PANE & GLAZING: DAMAGE, DETERIORATED, NEEDS REPLACEMENT OF GLASS & CONTINUOUS GLAZING.
6. MISSING HISTORIC FABRIC: REFABRICATE WITH MATCHING MATERIAL SUCH AS LONGLEAF PINE, PER MATERIAL TEST
7. NON-HISTORIC HALF WOOD SCREEN: REMOVE.
8. PROVIDE SHOP DRAWINGS FOR ALL REPAIRS, VERIFY DIMENSIONS AND SITE CONDITIONS, IDENTIFY SCOPE OF REHABILITATION OF WINDOWS INCLUDING ITEMS BEYOND REPAIR REQUIRING RECONSTRUCTION. IDENTIFY THERMAL AND MOISTURE PROTECTION FOR WINDOW INSTALLATIONS TO EXISTING OPENINGS.



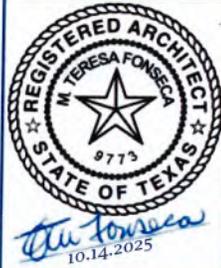
A. NORTH ELEVATION — WINDOW LOCATION



B. NORTH TYPE 'E' WINDOW SET — EN303



C. WINDOW DETAILS (HEAD, MULLION/RAIL, JAMB, SILL)



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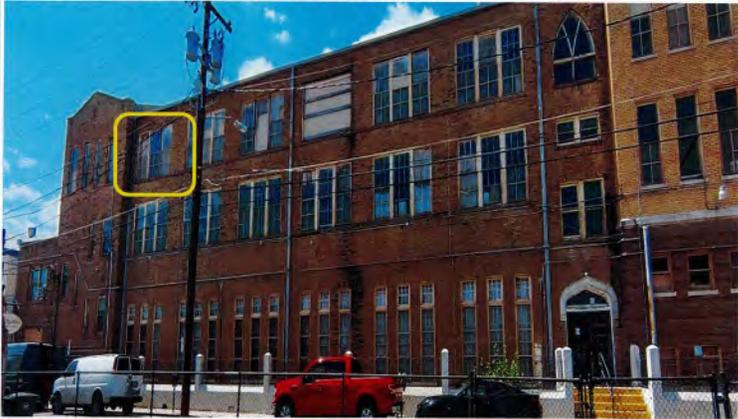
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 A4.2

REPLACEMENT OF MISSING/DETERIORATED HISTORIC WINDOWS

TYPE 'E3' — EN301 IS ONE (1) OF THE FOUR (4) SETS OF TYPE 'E' WINDOWS AT THE (3RD) FLOOR WHICH ARE **SEVERLY COMPROMISED BEYOND REPAIR** TO EFFECTIVELY PERFORM ALL THE FUNCTIONS OF THE WINDOW. WE RECOMMEND SALVAGING ITS COMPONENTS TO RESTORE THE TYPE 'E' SETS ON THE SOUTH ELEVATION OVER THOSE ON THE NORTH ELEVATION.



A. NORTH ELEVATION — WINDOW LOCATION



B. NORTH TYPE 'E' WINDOW SET — EN301



C. WINDOW DETAILS (HEAD, MULLION/RAIL, JAMB,



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SHEET
 A4.3

REPLACEMENT OF MISSING/DETERIORATED HISTORIC WINDOWS

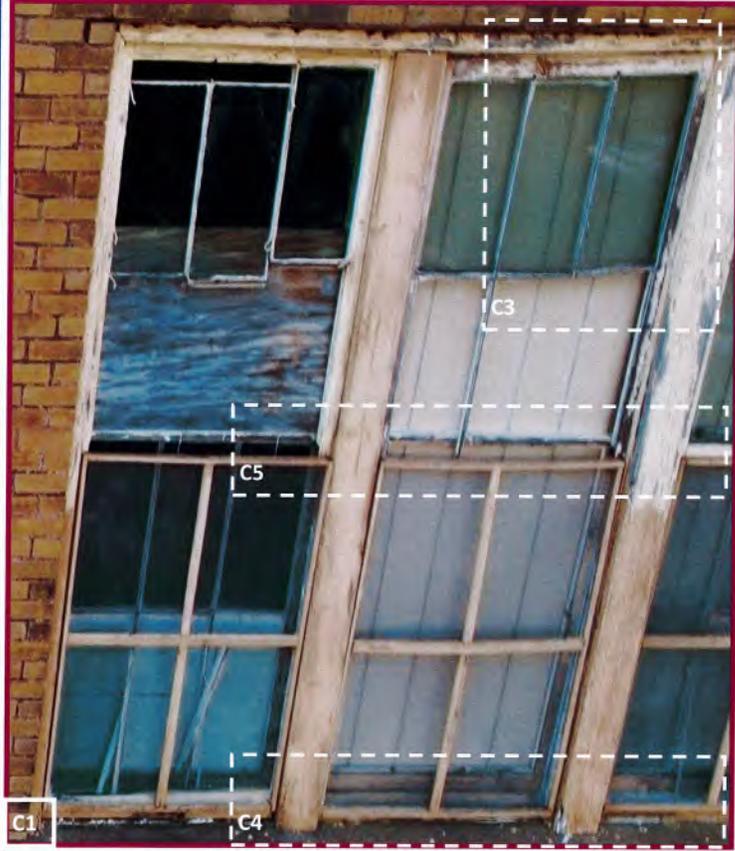
TYPE 'E3' — EN302 IS ONE (1) OF THE FOUR (4) SETS OF TYPE 'E' WINDOWS AT THE (3RD) FLOOR WHICH ARE **SEVERLY COMPROMISED BEYOND REPAIR** TO EFFECTIVELY PERFORM ALL THE FUNCTIONS OF THE WINDOW. WE RECOMMEND SALVAGING ITS COMPONENTS TO RESTORE THE TYPE 'E' SETS ON THE SOUTH ELEVATION OVER THOSE ON THE NORTH ELEVATION.



A. NORTH ELEVATION — WINDOW LOCATION



B. NORTH TYPE 'E' WINDOW SET — EN302



C. WINDOW DETAILS (HEAD, MULLION/RAIL, JAMB, SILL)



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SHEET
 A4.4

SUMMARY OF NORTH TYPE 'E' WINDOW SETS AT 3RD FLOOR: SEVER DAMAGE AT MAJORITY OF THE SETS AND MAJORITY OF THE 18 DH UNITS.

SINCE SOUTH TYPE 'E' ARE IN BETTER CONDITIONS HAVING HAD BETTER PROTECTION FROM THE WEATHER, THEN SALVAGED MATERIAL COULD BE USED FOR THEIR RESTORATION.



NORTH TYPE 'E' WINDOW SETS — EN301



EN302



EN303



NORTH TYPE 'E' WINDOW SETS — EN304



EN305



EN306



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SHEET
A4.5

SUMMARY OF NORTH TYPE 'E' WINDOW SETS AT 2ND FLOOR: ASSORTMENT OF DAMAGE, TEMPORARY REPAIR FAILURE & MOISTURE INFILTRATION AT MAJORITY OF THE SETS AND MOST OF THE 18 DH UNITS. ADDITIONAL INVESTIGATION, WINDOW SITE SURVEY & TESTING RECOMMENDED PRIOR TO RESTORATION AND/OR CONTINUED MIDIGATION.



NORTH TYPE 'E' WINDOW SETS — EN201

EN202

EN203



NORTH TYPE 'E' WINDOW SETS — EN204

EN205

EN206



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**SHEET
A5.1**

SECTION: 085200 – HISTORIC WOOD WINDOWS

PART 1–GENERAL

1.01 SUMMARY

- A. This procedure includes general information relating to the fabrication and installation of wood windows and includes the following window types:
1. Double-Hung Window Units.
 2. Single-Hung Window Units.
 3. Decorative Window Units.
 4. Non-Operative (Fixed) Window Units.
- B. This Section outlines the scope of work, which may involve repairing, restoring, and/or custom-fabricating wood windows or components to match the original historic windows.
- C. References: List of applicable standards and guidelines, including:
1. The Secretary of the Interior’s Standards for Rehabilitation: For general preservation principles.
 2. National Park Service Preservation Brief #9: The Repair of Historic Wooden Windows.
- D. Restoration and Repair vs Replacement: Refer Drawings for Results of Window Condition Survey including identification of Window Types per Elevation to be either Repair or receive extensive Restoration as well as **selected Windows which condition is beyond repair/restoration. These windows or components thereof will be documented (size, design, details, photographs, etc.) prior to identifying extent of items to be salvaged and tagged. These items will be used to repair/restore other similar windows.** Said documentation and data will be used to prepare Shop Drawings for submission and approval. Upon completion of documentation period, secure and protect the window opening. Report any concerns with the Opening.
- E. Submittals, Fabrication and Replication/Construction: Require shop drawings showing fabrication details, product data, and samples of wood, finishes and hardware for review and approval. **New or replacement windows to precisely match existing historic windows in dimensions, profile and detail including sash thickness, rail, and stile**

widths, and muntin configuration. Repairs and partial reconstruction should incorporate traditional joinery methods to match the existing window type.

F. Refer to general project guidelines addressing the following sections:

1. Safety Precautions; Project/Site Conditions; General Protection of Surface and Surroundings; and Delivery, Storage and Handling.
2. Historic Structures Precautions
3. Submittals; Sequencing and Scheduling.
4. Quality Assurance

These guidelines should be reviewed prior to performing this procedure and should be followed, when applicable, along with recommendations from entities having jurisdiction with coordination and administration of the Architect.

1.02 REFERENCES

- A. American Society for Testing and Materials (ASTM),
100 Barr Drive, West Conshohocken, PA 19428
[610-832-9585](tel:610-832-9585)
[610-832-9555](tel:610-832-9555).
- B. American National Standards Institute, Inc. (ANSI),
1430 Broadway, New York, NY 10018.
Flat Glass Marketing Association (FGMA),
National Wood Window and Door Association (NWWDA),

1.03 SYSTEM DESCRIPTION

- A. Performance Grade Classification: Provide wood windows that comply with requirements of NWWDA I.S. 2 for performance grade 40.
- B. Performance Grade Classification: Provide wood windows that comply with requirements of NWWDA I.S. 2 for performance grade 60.
- C. Standards: Performance requirements for structural performance, air infiltration, and water penetration for wood windows are those specified in NWWDA I.S. "Industry Standard for Wood Window Units".

- D. Testing: Manufacturer's stock units of each grade of required wood window shall have been tested by a recognized testing laboratory or agency, in accordance with ASTM E330 for structural performance. Test samples shall comply with requirements in NWWDA I.S. 2 for test sample sizes and methods.
- E. Performance Requirements (Grade 60 Windows): Each required window unit shall comply with the following performance requirements:
1. Air Infiltration: Not more than 0.10 cfm per sq. ft. of overall frame area at an inward test pressure of 1.57 lbf per sq. ft.
 2. Water Penetration: No water penetration as defined in the test method at an inward test pressure of 6.24 lbf per sq. ft.
 3. Structural Performance: No glass breakage, damage to hardware, or permanent deformation that would impair operation of the unit or residual deflection greater than 0.4 percent of the span at a positive (inward) and negative (outward) test pressure of 60 lbf per sq. ft.
 4. Forced Entry Resistance: Windows shall comply with requirements for Grade 40 level of resistance to forced entry when tested in accordance with ASTM F588.

1.04 SUBMITTALS

- A. Product Data: Submit product data for each type of wood window specified, including standard construction details, dimensions of individual components, profiles, finishes, hardware, and accessories.
- B. Shop Drawings: Submit shop drawings for each type of window specified, including 1/4-inch scale wall elevations, typical unit elevations at 3/4-inch scale, glazing details, and full-size details of typical composite members.

1.05 QUALITY ASSURANCE

- A. Wood Window Standard: Comply with provisions of NWWDA I.S. 2 for standards of performance and fabrication workmanship for wood windows.
- B. Glazing Standards: Comply with recommendations of the Flat Glass Marketing Association (FGMA) "Glazing Manual" and "Sealant Manual" except where more

stringent requirements are indicated. Refer to those publications for definitions of glass and glazing terms not otherwise defined in this section or referenced standards.

- C. Safety Glass Standard: Where safety glass is indicated or required by authorities having jurisdiction, provide the type of products indicated which comply with ANSI Z97.1 and testing requirements of 16 CFR Part 1201 for category II materials.
- D. Insulating Glass Certification Program: Provide insulating glass units permanently marked either on spacers at least one component pane of units with the appropriate certification label of inspecting and testing organization indicated below.
 - 1. Insulating Glass Certification Council (IGCC)
 - 2. Associated Laboratories, Inc. (ALI)
- E. Single Source Responsibility: Provide wood windows produced by a single fabricator who is capable of indicating prior successful production of units similar to those required.

1.06 PROJECT/SITE CONDITIONS

A. Field Measurements:

- 1. Check actual window openings in construction work by accurate field measurement before fabrication of custom window units. Show recorded measurements on final shop drawings.
- 2. Coordinate fabrication with construction progress to avoid delay. Where necessary, proceed with fabrication without measurements, and coordinate tolerances to ensure proper fit of window units.

1.07 WARRANTY

- A. Submit a written warranty signed by the Manufacturer, agreeing to repair or replace wood window units that fail in materials or workmanship within the specified warranty period.
 - 1. Failures include, but are not limited to, structural failures, including excessive deflection, excessive leakage, air infiltration, failure of weatherstripping, faulty operation of window sash or hardware, and deterioration of metals, finishes, and other materials beyond normal weathering.

2. Warranty period for wood windows is 3 years after the date of substantial completion.
3. This warranty shall be in addition to and not a limitation of other rights the Government may have against the Contractor under the Contract Documents.

PART 2–PRODUCTS

2.01 MANUFACTURERS

- A. **Marvin Windows / Guido Materials**, 8526 Vidor Ave, San Antonio TX 78216 Contact: James Otremba, 210-34-8321 email: jotremba@guidoco.com
- B. The Cavallini Co., Inc. 4719 Blanco Rd, San Antonio TX 78212 Contact: Adrian J. Cavallini, 210-733-8161 email: adrianj@cavalliniartglass.com

2.02 MATERIALS

- A. General: Comply with requirements of NWWDA I.S. 2.
- B. **Marvin Ultimate Double Hung G2 Historic Casing option to match existing window(s). Casing detail with subsill to match existing window(s). Extruded aluminum cladding at exterior side to protect wood windows and match the profile and details of the historic wood detaining and provide superior durability. Provide exterior Sash Lugs, Cord/Chain Pulley, Hardware and Divided Lites to match the existing Historic Window(s).**
- C. Wood: Clear, fine-grained lumber, kiln-dried to an appropriate moisture content of species to **match existing wood or be historically appropriates**. Wood should be free of visible defects.
- D. Wood for Replacement Windows: **Clear Ponderosa Pine or other suitable fine-grained lumber** that has been kiln-dried to a moisture content of 6 to 12 percent at time of fabrication and is free of visible finger-joints, blue stain, knots, pitch-pockets and surface checks larger than 1/8-inch deep by 2-inches wide.
 1. Lumber shall be water-repellent preservative treated after machining in accordance with NWWDA I.S. 4.
- E. Wood for Repair and Restoration of existing Historic Windows: **Reclaimed Longleaf Pine or species to match existing per material testing.**

- F. **Aluminum Cladding:** Provide manufacturer's standard aluminum formed sheet or extruded cladding mechanically bonded to exterior wood sash and frame members.
1. Trim members: Aluminum clad wood trim.
 2. Finish: Provide factory-applied baked-on enamel finish, **color to match historic color(s) of existing window(s) as per material testing.**
 3. Color: Custom color as selected by the Architect from the manufacturer's standard color range.
 4. Finish for existing: **submit primer and paint systems appropriate for historic wood.** Note that original finishes may need to be matched. If color is not specified, require the architect's selection from the manufacturer's range and based on historic paint analysis.
- G. Anchors, Clips, and Accessories: Fabricate anchors, clips and window accessories of aluminum, non-magnetic stainless steel, or hot-dip zinc coated steel complying with ASTM A123; provide strength sufficient to withstand design pressure indicated.
- H. Fasteners: Comply with NWWDA I.S. 2 for fabrication and with manufacturer's recommendations and standard industry practices for type and size of installation fasteners.
1. Use zinc-coated or nonferrous nails and screws for window fabrication and installation.
 2. Use brass screws for hardware and accessory installation.
- I. Hardware: **Use hardware that matches the original in material, operation and design.** For example, use traditional ropes and pulleys for double-hung windows instead of modern tilt sashes. Provide the manufacturer's standard hardware, necessary to properly operate, tightly close, and securely lock windows. Do not use aluminum in frictional contact with other metals.
1. Provide solid bronze hardware, with plated steel or brass/bronze operating bars and rods.
- J. Compression Weatherstripping: Provide compressible weatherstripping, designed for permanently resilient sealing under bumper or wiper action, completely concealed when sash is closed.

- K. Original (wavy) glass should be retained if possible on window units being repaired and/or restored. Avoid modern high-reflectivity glass that changes the building's appearance.
- L. Glass and Glazing Materials: Provide the manufacturer's standard clear sealed insulating safety glazing material that complies with ANSI Z97.1.
 - 1. Insulating glass unit shall have metal spacers, sealed between the panes, behind each muntin bar.
- M. Glazing Seal: Provide the manufacturer's standard extruded vinyl or butyl glazing gasket providing weathertight seal.
- N. Sliding Weatherstripping: Provide woven pile weatherstripping of polypropylene, wool, or nylon pile, with resin-impregnated backing fabric, and aluminum backing strip; comply with AAMA 701.2.

2.03 EQUIPMENT

- A. General: Comply with minimum operating requirements of NWWDA I.S. 2.
- B. Double-Hung Windows: Provide units containing 2 balanced, vertically-sliding sash with the following equipment and hardware. 2 pair concealed counterbalancing mechanism.
 - 1. Latch at meeting rail.
 - 2. Lift handle on the lower rail.

2.04 FABRICATION

- A. General: Except to the extent that more stringent requirements are indicated, provide the manufacturer's standard fabrication of units. Comply with indicated standards. Include a complete system for assembly of components and anchorage of window units.
 - 1. Comply with requirements of referenced standards for moisture content of lumber at time of fabrication and for relative humidity conditions in the installation areas.
- B. Fabricate windows to produce units that are re-glazable without dismantling sash framing. Provide openings and mortises precut, where possible, to receive hardware and other items.

- C. Each window unit includes sash, frame, stops, sill (including under sill or nosing), and moldings, integral mullions and muntins, hardware, and accessories
- D. Provide weatherstripping at perimeter of each operating sash.
 - 1. Provide weatherstripping at perimeter of each operating sash.
 - a. For double/single-hung sash, provide weatherstripping only at horizontal rails of operable sash.
 - 2. Provide glazing stops, nailed or snap-on, coordinated with glass selection and glazing system indicated
 - 3. Pre-glazed Window Units: Pre-glaze window units at the shop before delivery.
- E. Complete fabrication, assembly, finishing, hardware application, and other work before shipment to the project site, to the maximum extent possible. Disassemble components only as necessary for shipment and installation. Where necessary for fitting at site, provide ample allowance for scribing, trimming, and fitting.
- F. Wood Finish: Provide the following finish on interior exposed wood in units:
 - 1. Shop-Primed Units: Provide the fabricator's standard shop prime coat on exterior wood surfaces only.

PART 3–EXECUTION

3.01 EXAMINATION

- A. Preparation to include inspection. Contractor should examine existing openings for conditions that could affect the installation or fabrication of partial components or entire unit replacement, such as structural issues, masonry issues, plumbness or movement as it relates to either head, jamb or sill.
- B. Lead Paint: Include specific procedures for safely handling and abating lead paint if present. Coordinate with Material Testing and Results.
- C. Weathertightness: Ensure windows are installed level, plumb, and square, with proper flashing and sealing to be weathertight. Specify appropriate, non-moisture-retaining weatherstripping.
- D. Inspect openings before beginning installation. Verify that the rough or masonry opening is correct and the sill plate is level. Do not proceed with installation of window units until unsatisfactory conditions have been corrected.

1. Masonry surfaces shall be visibly dry, and free of excess mortar, sand, and other construction debris.
2. Wood frame walls shall be dry, clean, sound and well-nailed, free of voids, and without offsets at joints. Ensure that nail heads are driven flush with surfaces in the opening and within 3 inches of the opening.

3.02 ERECTION, INSTALLATION, APPLICATION

- A. Comply with manufacturer's instructions and recommendations for installation of window units, hardware, operators, accessories, and other window components.
- B. Set units plumb, level, true to line, without warp or rack of frames or sash. Provide proper support and anchor securely in place.
- C. Set sill members in a bed of compound or with joint fillers or gaskets as indicated, to provide weathertight construction. Coordinate window installation with wall flashings and other built-in components.

3.03 ADJUSTING/CLEANING

- A. Adjust operating sash and hardware to provide a tight fit at contact points and weatherstripping, and to provide smooth operation and a weathertight closure. Lubricate hardware and moving parts.
- B. Clean interior and exterior surfaces promptly after installation of windows. Take care to avoid damage to protective coatings and finishes. Remove excess glazing and sealants, dirt, and other substances.
- C. Clean glass of pre-glazed window units promptly after installation. Wash and polish glass on both faces not more than 4 days prior to date scheduled for final inspection. Comply with manufacturer's recommendations for final cleaning and maintenance.
- D. Remove and replace glass that is broken, chipped, cracked, abraded or damaged in other ways during construction period, including natural causes, accidents, and vandalism.

3.04 PROTECTION

- A. Institute and maintain protection and other precautions required through remainder of construction period to ensure that, except for normal weathering, window units
- B. will be without damage or deterioration at the time of substantial completion.

SANTA MONICA PARRISH HALL – DIOCESE OF LAREDO

MARVIN WINDOWS FEATURES



**EXTRUDED ALUMINUM EXTERIOR
WITH STANDARD AAMA 2605 EXTERIOR FINISH**



**EXTRUDED ALUMINUM BRICKMOULDS
STANDARD PROFILES & CUSTOM**



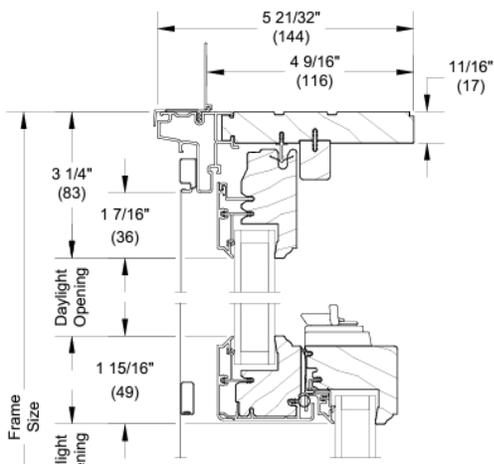
INTERIOR FACTORY STAINS



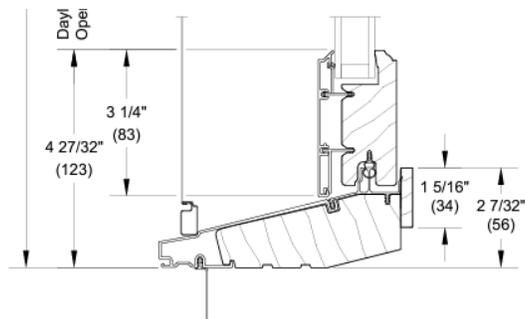
**7/8" SIMULATED DIVIDED LITES
WITH SPACER BAR IN AIRSPACE**



TILT SASH LOCK HARDWARE



HEAD & CHECKRAIL DETAIL



SILL DETAIL

City of Laredo

Historic District / Landmark Board

Meeting Date: 11/13/2025

Action Item 6C

SUBJECT

Amending Chapter 28 of the City of Laredo Code of Ordinances, Article II to prohibit illuminated signage for all properties located along all Right-of-Ways (ROW) abutting designated historic plazas; providing a severability; establishing an effective date; and providing for publication.

PREVIOUS ACTION

N/A

BACKGROUND

- On October 6, 2025, Council Member, Melissa R. Cigarroa proposed an item of discussion with possible action to create an ordinance regarding signage in the Historic District of Laredo to prevent illuminated signs in and adjacent to St. Agustin Plaza in order to preserve its authenticity. This item was tabled for the next meeting.

- During the City Council meeting of October 20, 2025, a motion was made to direct staff to create an ordinance preventing illuminated signs in and adjacent to the following City of Laredo designated plazas - San Agustin Plaza, Jarvis Plaza, El Mercado Plaza, Bruni Plaza, and St. Peter's Plaza.

COMMITTEE RECOMMENDATION

N/A

STAFF RECOMMENDATION

Staff recommended an ordinance amendment for illuminated signage.

ORDINANCE NO.

AMENDING CHAPTER 28 OF THE CITY OF LAREDO CODE OF ORDINANCES, ARTICLE II TO PROHIBIT ILLUMINATED SIGNAGE FOR ALL PROPERTIES LOCATED ALONG ALL RIGHT-OF-WAYS (ROW) ABUTTING DESIGNATED PLAZAS; PROVIDING A SEVERABILITY; ESTABLISHING AN EFFECTIVE DATE; AND PROVIDING FOR PUBLICATION.

WHEREAS, the City Council of the City of Laredo seeks to promote the public health and welfare through a comprehensive system of reasonable effective consistent, content-neutral and nondiscriminatory sign standards and requirements within its corporate limits and its extra territorial jurisdiction; and,

WHEREAS, the City Council recognizes the need to align sign regulations with historic preservation goals by limiting illuminated signage in proximity to designated historic plazas, thereby preserving their architectural integrity and traditional character that defines Laredo’s historic core; and,

WHEREAS, the City Council finds upholding high standards for signage within the boundaries and immediate perimeter of designated historic plazas to preserve their architectural integrity and authenticity, and to prevent signage that may detract from or compromise the historic character of the plazas and the buildings in their vicinity; and,

WHEREAS, the City Council deems it necessary to adopt this ordinance to protect property values, the local economy and the quality of life for its residents by preserving and enhancing the appearance of the streetscape which enhances the impression of the City of Laredo to citizens tourists and visitors; and,

WHEREAS, the City Council is authorized to enact reasonable time, place and manner regulations of signs by virtue of the Texas Constitution, the City's police power and Texas Local Government Code, Chapter 216, and no provision of this Ordinance shall be deemed to conflict therewith.

NOW, THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF LAREDO, TEXAS THAT:

Section 1: That Chapter 28, Article II, Sign Regulations be and is hereby amended as follows:

Section 28-23 Definitions and Requirements

- 43) Illuminated ~~sign~~ *Sign* – A sign in which a source of light is used in order to make the message readable. This definition shall include internally and externally lighted signs and reflectorized, glowing, or radiating signs.
- (1) *Illuminated signs shall be prohibited on all properties located along the right-of-way abutting the perimeter of the following designated plazas:*
- a) *San Agustin Plaza*
 - b) *Jarvis Plaza*
 - c) *El Mercado Plaza*
 - d) *Bruni Plaza*
 - e) *St. Peter’s Plaza*

Section 28-26 Illegal Signs

- n) Signs posted in specified areas – Unless otherwise permitted within this chapter, no person shall post or cause to be posted, attach or maintain any sign upon:
- 1. Any property not platted in conformance to the subdivision regulations of the city.
 - 2. No sign shall be erected nearer than ten (10) feet from any telephone cable, power line or any street light standard.

3. No Electronics/Color Video Signs are allowed in residential areas, except for schools and churches.
4. Illuminated signs shall be prohibited on all properties located along the right-of-way abutting the perimeter of the following designated plazas:
 - a) San Agustin Plaza
 - b) Jarvis Plaza
 - c) El Mercado Plaza
 - d) Bruni Plaza
 - e) St. Peter's Plaza

Section 28-28 Sign Specifications, Design and Other Requirements

- e) Illumination – Signs that are illuminated shall be designed so that any external illumination is shielded and no direct light is cast into residential areas or public streets. External lighting devices shall be permitted provided such fixtures do not extend more than eight (8) feet beyond the sign structure and are so attached that such illumination is directed upon the face of the sign so that it does not reflect directly into adjoining property or public streets. Illuminated signs shall be prohibited on all properties located along the right-of-way abutting the perimeter of the following designated plazas – San Agustin Plaza, Jarvis Plaza, El Mercado Plaza, Bruni Plaza, and St. Peter's Plaza.

Section 28-38.c Permitted Sign Dimensions – Historic – Freestanding

Permitted Sign Dimensions HISTORIC DISTRICTS																		
Permit Required	RESIDENTIAL DISTRICTS								FREESTANDING	Time Limit (Days)	NON-RESIDENTIAL DISTRICTS							
	AG	R-1	R-1A	R-2	R-3	RSM	RS	RO			B-1	B-1R	CBD/AE	B-3	B-4	M-1	M-2	MXD
Y	72	12 ♦	12 ♦	12 ♦	12 ♦			40	On-Premise (Max Area is Sq. Ft) in general, unless noted below*	NONE	60	50	72 □	100 □	200 □	300	300	300
Y									CHANGEABLE COPY	NONE			32	32	32			
N	4	4 ♦	4 ♦	4 ♦	4 ♦			4	DIRECTIONAL	NONE	20	20	20	50	50	50	50	50
N	36	12	12	12	12	12	12	12	FOR SALE/RENT/LEASE	□	24	24	24	24	36	36	36	36
NA									ELECTRONIC MESSAGE DISPLAY	NONE								
NA									CEVMS	NONE								
Y	60	12 ♦	12 ♦	12 ♦	12 ♦			12	MONUMENT	NONE	50	40	60	60	90	90	90	90
Y									PROJECTING	NONE			30					
Y	90								MULTI-TENANT	NONE	90	90	140	300	300	300	300	300
	50	5	5	5	5	5	5	8	HEIGHT		15	15	15	15	50	50	50	50
	10	5	5	5	5	5	5	5	SETBACK (FT) ▲			5	2	5	10	10	10	10

LEGEND	
♦	Permitted for church, park, recreational facility, school, library, art gallery, or cultural facility and for home occupations only.
▲	No sign shall be permitted within the intersection visibility triangle.
□	Maximum or not more than three (3) percent of the total wall area fronting a public or private street - whichever is greater.
***	Eight (8) sq. ft. or twenty (20) percent of the window on which the sign is to be placed - whichever is less.
□	Signs must be removed by fourteen (14) days after the completion of event, election, construction, or sale.
■	Signs are allowed for one hundred (100) days / twice a year.
NOTE	Signs projecting over the sidewalk within the CBD shall have a sign clearance of eight (8) ft.
P	Not to exceed eight (8) ft. in height.
	Not permitted in this zoning district.
*	<u>Illuminated signage shall be prohibited on all properties located along the right-of-way abutting the perimeter of designated plazas in accordance with Section 28-41 (a).</u>

Section 28-38.d Permitted Sign Dimensions – Historic – Attached

Permitted Sign Dimensions HISTORIC DISTRICTS																		
Permit Required	RESIDENTIAL DISTRICTS								ATTACHED	Time Limit (Days)	NON-RESIDENTIAL DISTRICTS							
	AG	R-1	R-1A	R-2	R-3	RSM	RS	RO			On-Premise (Max Area is Sq. Ft)	B-1	B-1R	CBD/AE	B-3	B-4	M-1	M-2
Y	72	12 ♦	12 ♦	12 ♦	12 ♦			40	Wall, in general, unless noted below*	NONE	60	50	72 □	100 □	200 □	300	300	300
Y	72							30	AWNING	NONE	40	30	50	72	100	100	100	100
Y	50	12 ♦	12 ♦	12 ♦	12 ♦			30	CANOPY	NONE	40	30	50	72	100	100	100	100
Y									CHANGEABLE COPY	NONE			32	32	32			
N	4	4 ♦	4 ♦	4 ♦	4 ♦			4	DIRECTIONAL	NONE	20	20	20	50	50	50	50	50
N	36	12	12	12	12	12	12	12	FOR SALE/RENT/LEASE	□	24	24	24	24	36	36	36	36
NA									FLASHING	NONE								
NA									ELECTRONIC MESSAGE DISPLAY	NONE								
NA									CEVMS	NONE								
Y									PROJECTING	NONE			30					
NA									ROOF	NONE								
Y	90								MULTI-TENANT	NONE	90	90	140	300	300	300	300	300
NA									BEACON	0/YR								
Y	72								BANNER	■	50	40	100	100	200	300	300	300
Y	***								WINDOW	NONE	***	***	***	***	***	***	***	***
									PROJECTION (FT)				3					
	10	5	5	5	5	5	5	5	SETBACK (FT) ▲		5	5	0	5	10	10	10	10

LEGEND	
♦	Permitted for church, park, recreational facility, school, library, art gallery, or cultural facility and for home occupations only.
▲	No sign shall be permitted within the intersection visibility triangle.
□	Maximum or not more than three (3) percent of the total wall area fronting a public or private street - whichever is greater.
***	Eight (8) sq. ft. or twenty (20) percent of the window on which the sign is to be placed, whichever is less.
□	Signs must be removed by fourteen (14) days after the completion of event, election, construction, or sale.
■	Signs are allowed for one hundred (100) days / twice a year.
NOTE	Signs projecting over the sidewalk within the CBD shall have a sign clearance of eight (8) ft.
P	Not to exceed eight (8) ft. in height.
	Not permitted in this zoning district.
*	<i>illuminated signage shall be prohibited on all properties located along the right-of-way abutting the perimeter of designated plazas in accordance with Section 28-41 (a).</i>

Section 28-41 Historic Districts

For the purpose of establishing, enhancing, preserving and developing the historical character and quality of the historic districts, no sign shall be erected, altered, restored, or moved within such a district until an application has been submitted to and approved by the Historic District / Landmark Board, except for the removal of abandoned/obsolete signage, official government signs, flags, flyers, for sale, rent, lease signs, political signs, banners, or construction signs. No sign shall obstruct any architectural feature which is of importance to the property's historical quality or character as determined by the Historic District / Landmark Board.

- a. illuminated signs, including but not limited to internally or externally lighted signs and reflectorized, glowing, or radiating signs shall be prohibited on all properties located along the right-of-way abutting the perimeter of the following designated plazas:
 - i. San Agustin Plaza
 - ii. Jarvis Plaza
 - iii. El Mercado Plaza
 - iv. Bruni Plaza
 - v. St. Peter's Plaza

Section 2. This ordinance shall be published in a manner provided by Section 2.09 of the Charter of the City of Laredo.

Section 3. All ordinances and resolutions passed by the Council shall take effect at the date indicated therein as per Section 2.09 (B) of the Charter of the City of Laredo.

Section 4. Severability

If any provision, section subsection, sentence, clause, or phrase of this ordinance, or the application of the same to any person or set of circumstances is for any reason held to be unconstitutional, void or invalid, the validity of the remaining portions of this ordinance or their application to other persons or sets of circumstances shall not be affected thereby, it being the intent of the City Council in adopting this ordinance that no portion hereof or provision or regulation contained herein shall become inoperative or fail by reason of any unconstitutionality, voidness or invalidity or another portion hereof, and all provisions of this ordinance are declared to be severable for that purpose.

Section 5: Open Meeting

The City Council officially finds, determines, recites and declares that a sufficient written notice of the date, hour, place and subject of this meeting of the City Council was posted at a place convenient to the public at the city hall of the City for the time required by law preceding this meeting as required by the Open Meeting Law, Article 6252-17, Texas Revised Civil Statutes Annotated; and that this meeting has been open to the public as required by law at all times during which this ordinance and the subject matter approves and confirms such written notice and the contents and posting hereof.

PASSED BY THE CITY COUNCIL AND APPROVED BY THE MAYOR ON THIS THE _____ DAY OF _____, 2025.

DR. VICTOR D. TREVINO
MAYOR

ATTEST:

APPROVED AS TO FORM:

MARIO MALDONADO, JR.
CITY SECRETARY

DOANH “ZONE” T. NGUYEN
CITY ATTORNEY