

SITE PLAN GENERAL NOTES

- REFER TO CIVIL DRAWINGS FOR ADDITIONAL ELEVATIONAL AND SITE DETAILING FOR FINISH GRADING, PAVING AND SITE UTILITIES NOT SHOWN HERE, ALSO INCLUDING TRAFFIC SIGNAGE AND MARKINGS.
- REFER TO CIVIL FOR ALL PAVING EXPANSION JOINTS AND CONTROL JOINTS SPACING AT GENERAL WALKS NOT SHOWN ON ARCHITECTURAL.
- THE CONTRACTOR, IN SUBMITTING A BID FOR THIS WORK, IS ASSUMED TO HAVE THOROUGHLY FAMILIARIZED HIMSELF WITH ALL EXISTING CONDITIONS AT THE PROJECT SITE AND TO HAVE REQUESTED, CLARIFICATION FOR ANY DISCREPANCIES AND/OR AMBIGUOUS ITEMS ENCOUNTERED AFTER THOROUGHLY READING THE CONSTRUCTION DOCUMENTS, (DRAWINGS & SPECIFICATIONS).
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING & PROPOSED DIMENSIONS, CONDITIONS, AND WORK, AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND/OR AMBIGUITIES BETWEEN THE CONSTRUCTION DOCUMENTS AND ACTUAL CONDITIONS PRIOR TO PROCEEDING WITH PROCEEDING AFFECTED MATERIALS OR PROCEEDING THE WORK.
- DO NOT SCALE THESE DRAWINGS. USE DIMENSIONS THAT ARE ON THE DRAWINGS OR ARE PROVIDED BY THE OWNER. VERIFY ALL DIMENSIONS BY FIELD MEASUREMENT.
- VERIFY LOCATION OF ALL EXISTING UTILITIES AND TIE-IN POINTS PRIOR TO PROCEEDING WITH ANY WORK. CONTRACTOR SHALL ASSURE ACCESSIBILITY OF FIRE TRUCKS AT ALL TIMES ON ALL PUBLIC STREETS, DRIVEWAYS, AND AREAS DESIGNATED AS FIRE LANES. ANY DAMAGE OUTSIDE OF CONSTRUCTION AREA BY THE CONTRACTOR CAUSING THE DAMAGE WILL BE REQUIRED TO BE REPAIRED TO MATCH EXISTING CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL COSTS AND OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM ALL AGENCIES HAVING JURISDICTION OVER THE PROJECT, INCLUDING BUT NOT LIMITED TO STREET CLOSURES, DEMOLITION AND RESURFACING OF EXISTING R.O.W.
- CONSTRUCTION REQUIRED TO INSTALL UTILITIES, AND OTHER WORK REQUIRED BY PUBLIC AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL COSTS ASSOCIATED WITH ANY PROTECTION MEASURES THAT WILL BE REQUIRED BY THE CONSTRUCTION DEMOLITION ACTIVITIES TO SAFEGUARD THE HEALTH, SAFETY AND WELFARE OF THE PUBLIC.
- PROVIDE TEMPORARY GRADING CONSTRUCTION SIGNS, DIRECTIONAL SIGNS AND ANY OTHER SIGNS THAT MAY BE REQUIRED TO DIRECT PEDESTRIAN AND VEHICULAR TRAFFIC DURING CONSTRUCTION.
- ALL UTILITY MANHOLES, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD. PROVIDE ACCESS TO THE SAME WHEN NEEDED BY THE UTILITY AGENCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE AND FAMILIARIZING HIMSELF WITH ALL EXISTING CONDITIONS THAT WILL AFFECT THE DEMOLITION AND CONSTRUCTION OF ALL WORK REQUIRED TO COMPLETE THIS PROJECT.
- NOT ALL LANDSCAPE, MEP, AND CIVIL SITE WORK AND IMPROVEMENTS SHOWN ON ARCHITECTURAL SITE PLANS. SEE ALSO CIVIL AND MEP DRAWINGS.
- RESTORE AND FILL TO DESIGN FINISH GRADE WHERE SITE ITEMS AND IMPROVEMENTS REMOVED.
- COORDINATE CONSTRUCTION SITE FENCING AND EVERY GATE AS REQUIRED BY OWNER.
- PROVIDE SLIP COWLS TO BUILDING AT ALL ENTRY DOOR AREAS.
- PROVIDE 1/2" SEALANT AND FILLER AT ALL LOCATIONS WHERE CONCRETE PAVING ABUTS BUILDINGS AND SITE WALLS.

KEYNOTES - SITE PLAN

Number	Description
1	VEHICULAR PAVING AREAS; RE: CIVIL FOR VEHICULAR PAVING & JOINTS
2	CONCRETE SIDEWALK/PEDESTRIAN PAVING, BROOM FINISH TYP.; RE: CIVIL
3	ADA COMPLIANT PAVING; RE: CIVIL FOR ADA COMPLIANT PAVING, CROSSWALK MARKINGS & SIGNAGE
4	PROPOSED CURB & GUTTER; RE: CIVIL DRAWINGS
5	KNOCK BOX, COORDINATE FINAL LOCATION WITH ARCHITECT
6	ADA PARKING SIGN; RE: SITE DETAILS SHEET
7	CROSSWALK STRIPING; RE: COORDINATE WITH CIVIL DRAWINGS; PROVIDE AT LEAST WHAT IS SHOWN ON ARCH. DRAWINGS
8	STRAIGHT WROUGHT IRON FENCE
9	HANDRAIL TO BE ADA COMPLIANCE, RE: CIVIL DRAWINGS FOR DETAILS & REINFORCING

PARKING SPACES REQUIREMENT

PARKING SPACES AT RETAIL
RETAIL AREA = 5,275 SF
1 PER 250 GROSS SF REQUIRED = 21 SPACES REQUIRED

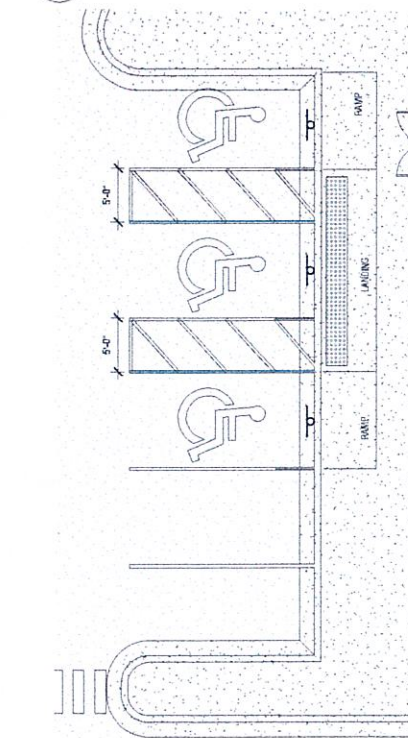
PARKING SPACES AT STORAGE
STORAGE AREA = 27,070 SF
1 PER EVERY 2 EMPLOYEE REQUIRED = 25 SPACES REQUIRED
50 EMPLOYEES = 25 SPACES REQUIRED

TOTAL REQUIRED = 21 RETAIL + 25 STORAGE = 46 SPACES REQUIRED

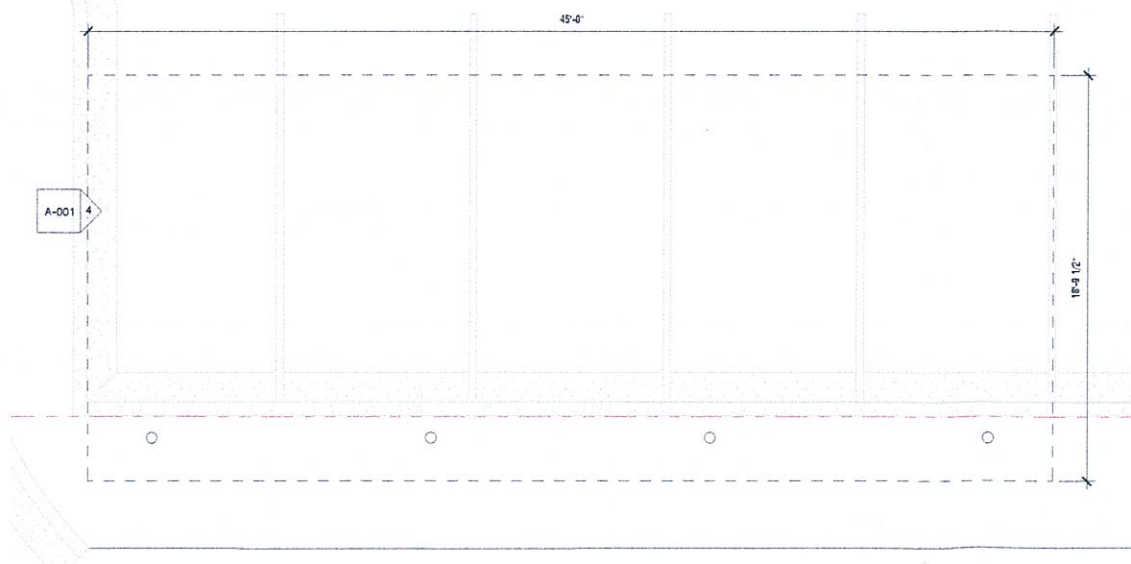
NEW SPACES PROVIDED: 69 SPACES PROVIDED
3 ADA SPACES PROVIDED
72 SPACES PROVIDED TOTAL

72 SPACES TOTAL PROVIDED

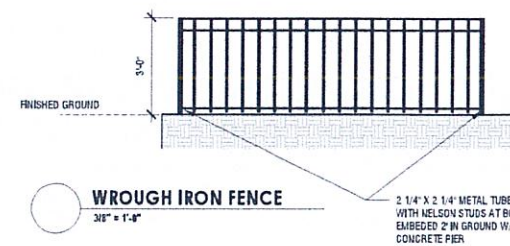
1 Site Plan - PROJECT NORTH
1" = 25'-4"



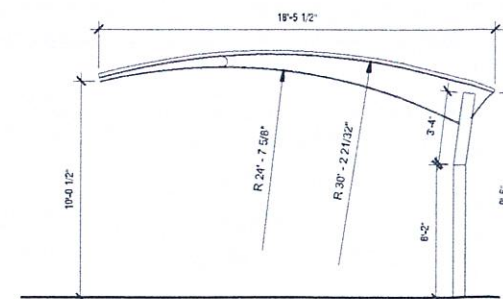
2 PARALLEL CURB RAMPS
1/8" = 1'-4"



3 PARKING CANOPY
1/4" = 1'-4"



WROUGH IRON FENCE
3/8" = 1'-4"



4 CANOPY SIDE ELEVATION
1/4" = 1'-4"

PLANTING LEGEND

- LIVE OAK
2.5" CAL. - 10-12'H MIN. 4-6' SPREAD
- CAPE MYRTLE
20 GALLON
- PITTOSPORUM SHRUB
5 GALLON



LAMARCA DESIGN
MOBILE, AL 36688-0000
LANERC, TX

KEY PLAN

LA CONSTANCIA COMMERCIAL CENTER

102 FLORAL BOULEVARD, LAREDO, TX 78043
LAS FLORES SUBDIVISION, PHASE 1, LOT 1, BLOCK 1

ARCHITECTURAL SITE PLAN

A-001

Date: 11/16/2023
Scale: As indicated

NOTES		
No.	Description	Date

NOTES:
WRITTEN DIMENSIONS ON THESE DOCUMENTS HAVE PRECEDENCE OVER SCALED DIMENSIONS.
CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB

CORRECTION:
PLEASE CLARIFY AND THIS IS THE PROPERTY OF THE DESIGNER. THESE PLANS ARE FOR THE CONSTRUCTION OF ONE BUILDING ONLY. NO PART OF THE PLANS IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. NO PART OF THE PLANS IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. NO PART OF THE PLANS IS TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.



Sabio Engineering & Associates, PLLC

TBPE Reg. #: F-23802
6999 McPherson Rd., Ste. 329, Office #6
Laredo, TX 78041

LEGEND (EXISTING)

---	CONCRETE CURB & GUTTER
---	PROPERTY LINE
---	TELEPHONE BURIED CABLE
---	BURIED CABLE
---	GAS LINE
---	CONTOUR LINE
---	OVERHEAD POWER LINE
---	SANITARY SEWER LINE
---	STORM DRAIN LINE
---	UNDERGROUND ELECTRICAL
---	WATER LINE
---	FIRE HYDRANT
---	FENCE - CHAINLINK
PP	POWER POLE
---	TELEPHONE PED
SWR	SEWER MANHOLE
MH	SEWER MANHOLE
---	SIGN
BM	BENCHMARK
WM	WATER METER
WV	WATER VALVE
SS	SEWER SERVICE
SL	STREET LAMP
CI	CURB INLET
PED	ELECTRUM PEDESTAL
AT&T PED	AT&T PEDESTAL



THE SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY VICTOR J. LINARES, P.E., #107499 ON
11/10/2023 FOR THE PURPOSE OF CONSTRUCTION.

Project Title
**LA CONSTANCIA
COMMERCIAL CENTER
102 FLORAL BOULEVARD,
LAREDO, TX 78043
LAS FLORES SUBDIVISION,
PHASE 1, LOT 1, BLOCK 1**

Project Sheet

DIMENSIONAL PLAN

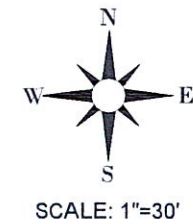
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Date
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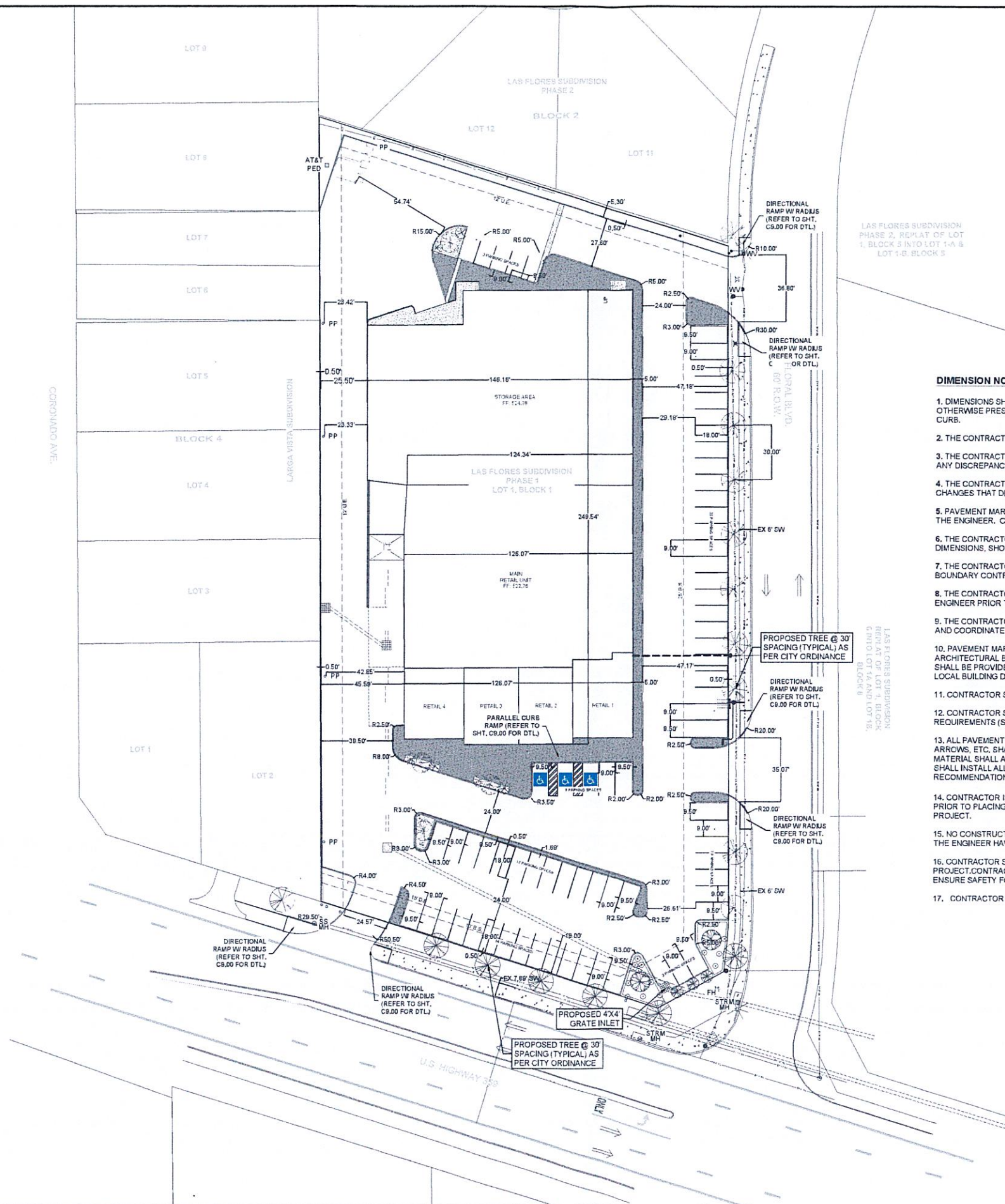
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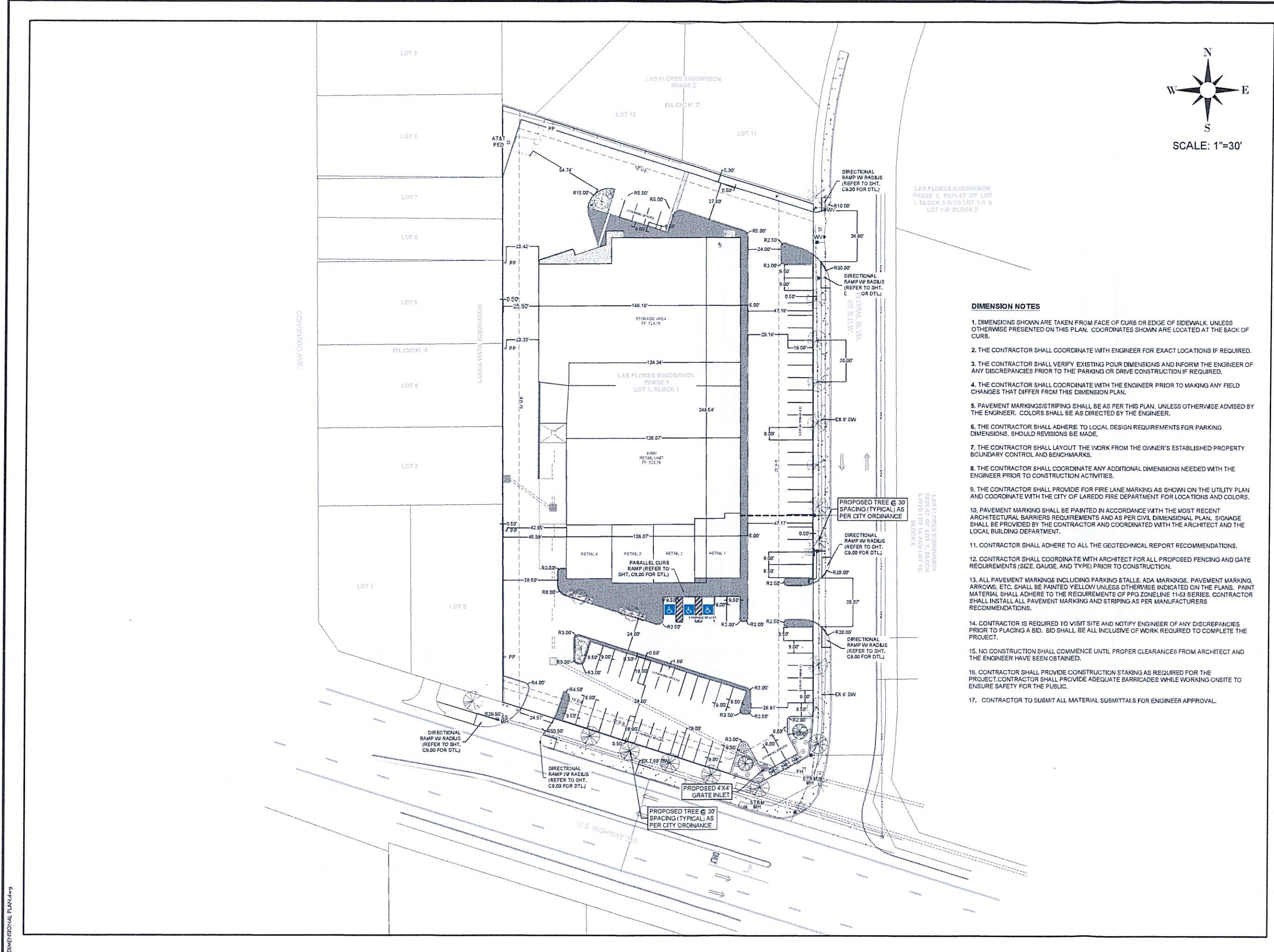
Sheet No.
C4



DIMENSION NOTES

1. DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB OR EDGE OF SIDEWALK, UNLESS OTHERWISE PRESENTED ON THIS PLAN. COORDINATES SHOWN ARE LOCATED AT THE BACK OF CURB.
2. THE CONTRACTOR SHALL COORDINATE WITH ENGINEER FOR EXACT LOCATIONS IF REQUIRED.
3. THE CONTRACTOR SHALL VERIFY EXISTING FOUR DIMENSIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES PRIOR TO THE PARKING OR DRIVE CONSTRUCTION IF REQUIRED.
4. THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING ANY FIELD CHANGES THAT DIFFER FROM THIS DIMENSION PLAN.
5. PAVEMENT MARKINGS/STRIPING SHALL BE AS PER THIS PLAN, UNLESS OTHERWISE ADVISED BY THE ENGINEER. COLORS SHALL BE AS DIRECTED BY THE ENGINEER.
6. THE CONTRACTOR SHALL ADHERE TO LOCAL DESIGN REQUIREMENTS FOR PARKING DIMENSIONS, SHOULD REVISIONS BE MADE.
7. THE CONTRACTOR SHALL LAYOUT THE WORK FROM THE OWNER'S ESTABLISHED PROPERTY BOUNDARY CONTROL AND BENCHMARKS.
8. THE CONTRACTOR SHALL COORDINATE ANY ADDITIONAL DIMENSIONS NEEDED WITH THE ENGINEER PRIOR TO CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL PROVIDE FOR FIRE LANE MARKING AS SHOWN ON THE UTILITY PLAN AND COORDINATE WITH THE CITY OF LAREDO FIRE DEPARTMENT FOR LOCATIONS AND COLORS.
10. PAVEMENT MARKING SHALL BE PAINTED IN ACCORDANCE WITH THE MOST RECENT ARCHITECTURAL BARRIERS REQUIREMENTS AND AS PER CIVIL DIMENSIONAL PLAN. SIGNAGE SHALL BE PROVIDED BY THE CONTRACTOR AND COORDINATED WITH THE ARCHITECT AND THE LOCAL BUILDING DEPARTMENT.
11. CONTRACTOR SHALL ADHERE TO ALL THE GEOTECHNICAL REPORT RECOMMENDATIONS.
12. CONTRACTOR SHALL COORDINATE WITH ARCHITECT FOR ALL PROPOSED FENCING AND GATE REQUIREMENTS (SIZE, GAUGE, AND TYPE) PRIOR TO CONSTRUCTION.
13. ALL PAVEMENT MARKINGS INCLUDING PARKING STALLS, ADA MARKINGS, PAVEMENT MARKING, ARROWS, ETC. SHALL BE PAINTED YELLOW UNLESS OTHERWISE INDICATED ON THE PLANS. PAINT MATERIAL SHALL ADHERE TO THE REQUIREMENTS OF PPG ZONELINE 11-53 SERIES. CONTRACTOR SHALL INSTALL ALL PAVEMENT MARKING AND STRIPING AS PER MANUFACTURERS RECOMMENDATIONS.
14. CONTRACTOR IS REQUIRED TO VISIT SITE AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PLACING A BID. BID SHALL BE ALL INCLUSIVE OF WORK REQUIRED TO COMPLETE THE PROJECT.
15. NO CONSTRUCTION SHALL COMMENCE UNTIL PROPER CLEARANCES FROM ARCHITECT AND THE ENGINEER HAVE BEEN OBTAINED.
16. CONTRACTOR SHALL PROVIDE CONSTRUCTION STAKING AS REQUIRED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES WHILE WORKING ONSITE TO ENSURE SAFETY FOR THE PUBLIC.
17. CONTRACTOR TO SUBMIT ALL MATERIAL SUBMITTALS FOR ENGINEER APPROVAL.





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- FENCE - CHAINLINK
- PP POWER POLE
- TELEPHONE PED
- SEWER MANHOLE
- SWR SIGN
- BENCHMARK
- WM WATER METER
- WW WATER VALVE
- SS SEWER SERVICE
- SL STREET LAMP
- CI CURB INLET
- PED SPECTRUM PEDESTAL
- AT&T PED AT&T PEDESTAL



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY VICTOR J. LINARES, P.E., #107489 ON 11/10/2023 FOR THE PURPOSE OF CONSTRUCTION.

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 LAREDO, TX 78043
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 PHASE 1, LOT 1, BLOCK 1**

DIMENSIONAL PLAN

Sheet Scale 1"=30'	Date 11/10/23
Project No. B-23-020	Title FINAL
Sheet No. C4	