

LIFE SAFETY PLAN LEGEND

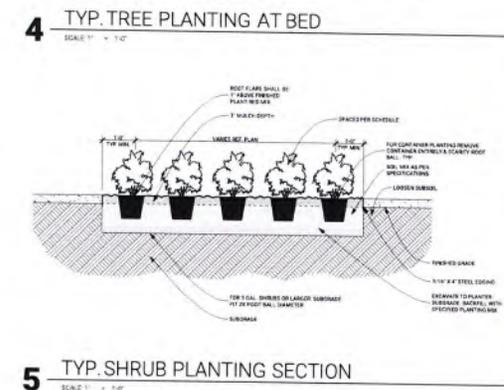
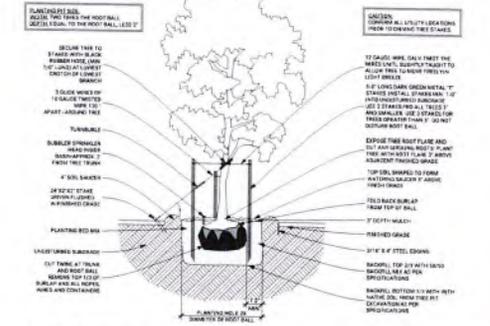
- FIRE LANE
- EXISTING FIRE LANE
- PROJECT LIMIT
- CHAIN LINK FENCE
- CHAIN LINK SLOPING GATE
- CHAIN LINK GATE
- FIRE HOSE LENGTH - 150' MAX
- FIRE HYDRANT HOSE LENGTH - 150' MAX
- FIRE APPARATUS
- FIRE HYDRANT LOCATION
- EXISTING FIRE HYDRANT LOCATION
- EXISTING WATER METER

ALL APPLICABLE CODES:

- INTERNATIONAL BUILDING CODE (2018 EDITION)
- INTERNATIONAL MECHANICAL CODE (2018 EDITION)
- INTERNATIONAL PLUMBING CODE (2018 EDITION)
- NATIONAL ELECTRICAL CODE (2017 EDITION)
- INTERNATIONAL FIRE CODE (2018 EDITION)
- INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITION)
- INTERNATIONAL EXISTING BUILDING CODE (2018 EDITION)
- TEXAS ACCESSIBILITY STANDARDS (2011 EDITION)

SITE SURVEY PLAN LEGEND

- PROJECT LIMIT
- EXISTING CHAIN LINK FENCE
- AREA TO BE CLEANED AND POWER WASHED AND REPAIRED PAVING



HISTORIC DEMOLITION NOTES:

1. PROVIDE AND MAINTAIN TEMPORAL BRACING OR STRUCTURAL SUPPORT TO PRESERVE STABILITY AND PREVENT EXCESSIVE SETTLEMENT OR COLLAPSE OF CONSTRUCTION TO REMAIN AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED.
2. PROTECT ALL EXISTING CONSTRUCTION FROM DAMAGE. COVER ALL FLOORING TO REMAIN AND PROTECT ALL EXISTING ITEMS AND FINISHES NOT SCHEDULED FOR DEMOLITION. MATERIALS AND ITEMS TO BE REMOVED SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE EXISTING ITEMS OR MATERIALS TO REMAIN.
3. DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AS INDICATED.
4. ALL DEBRIS AND DEMOLISHED MATERIALS TO BE REMOVED AND DISPOSED AT THE END OF EACH WORKING DAY UNLESS ALL OTHERS ACCORDING TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODE REQUIREMENTS AND REGULATIONS.
5. VERIFY EXISTING LOCATIONS OF ALL UTILITIES PRIOR TO PROCEEDING WITH THE WORK AND NOTIFY ARCHITECT AND ENGINEER SHOULD EXISTING UTILITIES THAT WILL INTERFERE WITH THE NEW CONSTRUCTION REQUIRE RELOCATION.
6. COORDINATE SELECTIVE DEMOLITION WITH ARCHITECT AND OWNER'S REPRESENTATIVE. THE OWNER HAS THE FIRST RIGHT OF SALVAGE TO FURNISH EQUIPMENT AND BUILDING SYSTEMS MATERIALS REMOVED AS PART OF THE DEMOLITION WORK PRIOR TO BEGINNING

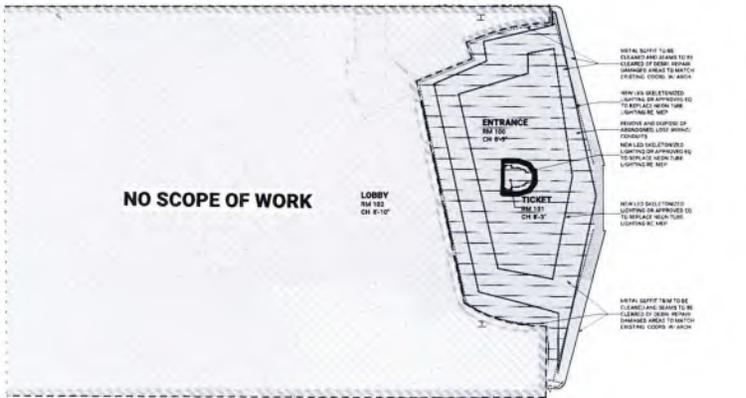
7. PHOTOGRAPHIC AND MEASURED DOCUMENTATION PRIOR TO DEMOLITION, THE CONTRACTOR SHALL THOROUGHLY DOCUMENT ALL EXISTING ELEMENTS THROUGH PHOTOGRAPHY, PHOTOGRAPHY AND MEASURED DRAWINGS TO RECORD THEIR CURRENT CONDITION.
8. PROTECTION OF HISTORIC ELEMENTS, ORIGINAL MATERIALS, FINISHES, AND ARCHITECTURAL DETAILS SHALL BE CAREFULLY PRESERVED. PROTECTIVE COVERINGS SHALL BE USED TO SHIELD SURROUNDING AREAS FROM DAMAGE DURING WORK. PROTECT ALL EXISTING ITEMS AND FINISHES NOT SCHEDULED FOR DEMOLITION.
9. IN THE EVENT THAT HISTORIC ELEMENTS ARE DAMAGED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT AND CEASE ALL WORK UNTIL FURTHER NOTICE.
10. WHEN REMOVING FINISHES, FURNISHINGS, EQUIPMENT, ETC. CARE SHOULD BE TAKEN TO NOT DAMAGE ADJACENT SURFACES OR NEIGHBORING BUILDINGS.
11. IN THE EVENT THAT NEARBY MATERIALS ARE DISCOVERED DURING DEMOLITION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNER AND THE ARCHITECT. THE OWNER SHALL BE RESPONSIBLE FOR GETTING THESE MATERIALS PROPERLY AND SAFELY ABATED.

12. FOR ALL MECHANICAL, ELECTRICAL, & PLUMBING SYSTEMS REFER TO MEP DRAWINGS, UNLESS NOTED FOR DEMOLITION.
13. ALL NON-HISTORICAL LIGHTING FIXTURES, PLUMBING FIXTURES, MECHANICAL, AND EQUIPMENT TO BE REMOVED AND STORED. PROPER CARE SHOULD BE TAKEN TO PROTECT FIXTURES, RETURN FIXTURES TO OWNER.
14. CONTRACTOR TO REMOVE, RESTORE & REINSTALL ALL EXISTING EXTERIOR DOORS UNLESS OTHERWISE NOTED.
15. DISPOSE OF DEMOLITION DEBRIS AS PER SPECIFICATIONS.
16. CONTRACTOR TO SAVE & STORE ALL SALVAGED MATERIALS REMOVED FROM THEATRE OR THE OWNER.
17. REMOVE NON-HISTORICAL FINISHES INCLUDING GYPSUM WALL BOARD, VINYL TILE, RUBBER & TERRAZO BASE, ETC.
18. CAREFULLY REMOVE DOORS, FRAMES, AND HARDWARE, AND LABEL & SALVAGE FOR REPAIR AND RE-USE.

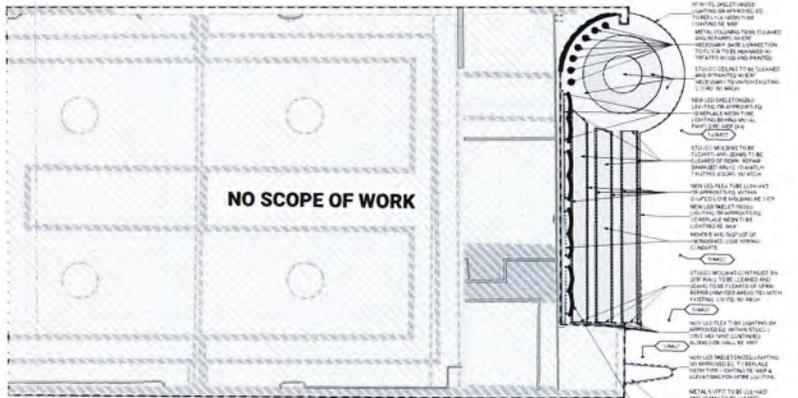
19. ALL INTERIOR AND EXTERIOR WALLS IN SCOPE SHALL BE CLEANED FOLLOWING THE U.S. NATIONAL PARK SERVICE, THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION GUIDELINES FOR TREATMENT.
20. CONTRACTOR SHALL FOLLOW THE U.S. NATIONAL PARK SERVICE'S THE SECRETARY OF INTERIORS STANDARDS FOR REHABILITATION GUIDELINES.
21. AT AREAS WHERE WALL AND CEILING DEMOLITION IS NOTED, CARE SHOULD BE TAKEN TO PROTECT ORIGINAL PLASTER WALL AND CEILING ASSEMBLY.

RCP GENERAL NOTES:

1. THE ARCHITECTURAL NOTED CEILING PLAN SHALL BE REFERRED FOR ALL DESIGN LAYOUT, LOCATION OF ALL CEILING FIXTURES AND/OR RELOCATION. THE LOCATION OF MECHANICAL, ELECTRICAL, AND OTHER CEILING ELEMENTS SHALL BE IN COORDINATION WITH ARCHITECT.
2. SIZE AND SHAPES OF LIGHTING AND OTHER MISCELLANEOUS ELECTRICAL EQUIPMENT TO SHOWING ARE FOR REFERENCE ONLY. COORDINATE ACTUAL SIZES WITH THE ELECTRICAL ENGINEER.
3. CONTRACTOR MODIFICATIONS TO LIGHTING & HVAC SHALL BE IN COORDINATION WITH ARCHITECT.
4. FRESH CEILING THROUGHOUT SHALL BE PROVIDED AT TIME OF TRIMMY FIT OUT.
5. CONTRACTOR TO INSPECT, REPAIR, AND RESTORE THE EXISTING CEILING AS NEEDED PER PROJECT SPECIFICATIONS AND CODES, MATCHING EXISTING MATERIAL, PAINT AND FINISH.



1 FIRST FLOOR RCP
SCALE 1/8" = 1'-0"



2 THIRD FLOOR MEZZANINE RCP
SCALE 1/8" = 1'-0"

TYPE	DOOR LEGEND			
	A1	A2	B1	C1
VIEW				
DIMENSIONS	3'-6" x 7'-0"	3'-6" x 7'-0"	3'-6" x 6'-8"	3'-6" x 6'-2"
NOTES	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON EXTERIOR AND INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON EXTERIOR AND INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	REMOVE PAINT, REPAIR, AND REPAINT COLOR TO BE PROVIDED. NEW DOOR METAL KICKPLATE ON INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.	SANDED, REPAIRED, AND STAINED. COLOR TO BE PROVIDED. NEW METAL KICKPLATE ON INTERIOR. PROVIDE NEW DOOR HARDWARE ON INTERIOR.

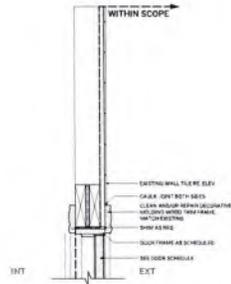
DOOR NUMBER		DOOR SCHEDULE - ENVELOPE AND FACADE ENHANCEMENT													
ID	ROOM	ROOM NAME	NOMINAL WIDTH	NOMINAL HEIGHT	THICKNESS	MATERIAL	DOOR TYPE	HEAD DETAIL	JAMB DETAIL	THRESHOLD DETAIL	WALL STRUCTURE TYPE	HARDWARE SET	ACCESSORIES	RATINGS	NOTES
100A	100	ENTRANCE	3'-6"	7'-0"	1-3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
100B	100	ENTRANCE	3'-6"	7'-0"	1-3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, D, E, F	
100C	100	ENTRANCE	3'-6"	7'-0"	1-3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, D, E, F	
100D	100	ENTRANCE	3'-6"	7'-0"	1-3/4"	SC WOOD	A2	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
101	100	ENTRANCE	2'-6"	6'-2"	1-3/4"	SC WOOD	C1	H1A-300	J1A-300	T1A-300	WOOD	PUSH BAR	Non-Rated	A, B, C, D, E, F	
110B	110	RAMP	3'-6"	7'-0"	1-3/4"	SC WOOD	A1	H2A-300	J2A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, C, D, E, F	
110F	110	STAIR 1	3'-6"	7'-0"	1-3/4"	SC WOOD	A1	H2A-300	J2A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, D, E, F	
224	324	BALCONY SEATING	2'-0"	6'-8"	1-3/4"	HM	B1	H2A-300	J2A-300	T1A-300	MASONRY	PUSH BAR	Non-Rated	B, D, E, F	

DOOR SCHEDULE NOTES LEGEND:

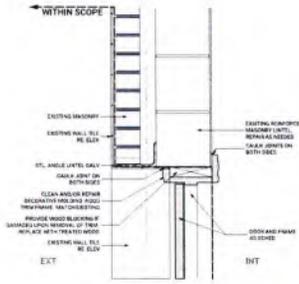
- A - NEW DOOR HARDWARE TO COMPLY WITH THE CITY OF LAREDO HISTORIC URBAN DESIGN GUIDELINES
- B - WOOD DOOR FRAME TO BE SANDED, REPAIRED, AND STAINED
- C - PROVIDE UNLOCK AND OPENING HARDWARE FROM EXTERIOR SIDE
- D - PROVIDE NEW ALUMINUM TRANSITION STRIP AT EXTERIOR DOORS
- E - EXISTING DOOR CLOSERS AND HINGES HARDWARE TO BE REMOVED, CLEANED, REFINISHED, AND REINSTALLED. REPLACE AS NECESSARY. PROVIDE NEW CLOSERS TO DOORS WITHOUT CLOSERS AND TO SELECT REPLACEMENT NEW NEW HARDWARE TO COMPLY WITH THE CITY OF LAREDO HISTORIC URBAN DESIGN GUIDELINES
- F - PROVIDE PUSHBAR DEVICE PER MAN DOOR ON INTERIOR SIDE OF DOOR

DOOR NOTES:

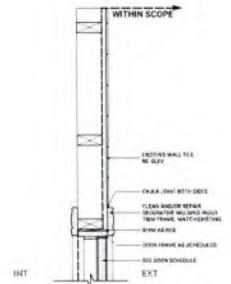
- 1. PROVIDE ACCESSIBLE HARDWARE THAT IS ADA COMPLIANT
- 2. MAXIMUM DEFLECT TO OPERATE INTERIOR NON-FIRE RATED DOORS SHALL NOT EXCEED FIVE (5) INCHES FROM ORAL
- 3. HARDWARE FOR PAIRS OF DOORS IS FOR EACH LEAF U/L/D
- 4. ALL METAL DOORS AND FRAMES TO BE A FACTORY-PRIME APPLIANT VIA SPRAY GUN APPROVED BY PAINT SUPPLIER
- 5. SEE TO SPEC FOR HARDWARE SCHEDULE
- 6. FIRE RATINGS INDICATES REQUIRED RATING FOR INTERIOR OPENING COMPONENTS INCLUDING DOOR, FRAME, HARDWARE, ETC
- 7. ALL STOREFRONT CURTAIN WALLS, WINDOWS, AND DOORS TO THE EXTERIOR SHALL COMPLY WITH APPLICABLE IBC CODE WIND LOADS



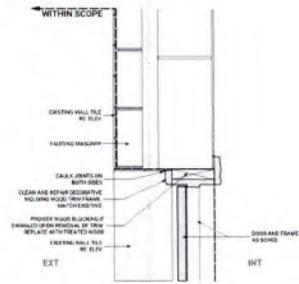
H1 TYP. WOOD STUD HEADER DETAIL
SCALE 1/16" = 1'-0"



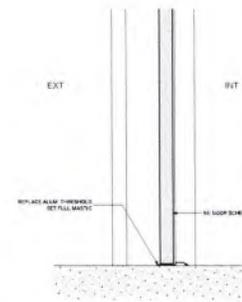
H2 TYP. CMU & MASONRY HEADER DETAIL
SCALE 1/16" = 1'-0"



J1 TYP. WOOD STUD JAMB DETAIL
SCALE 1/16" = 1'-0"

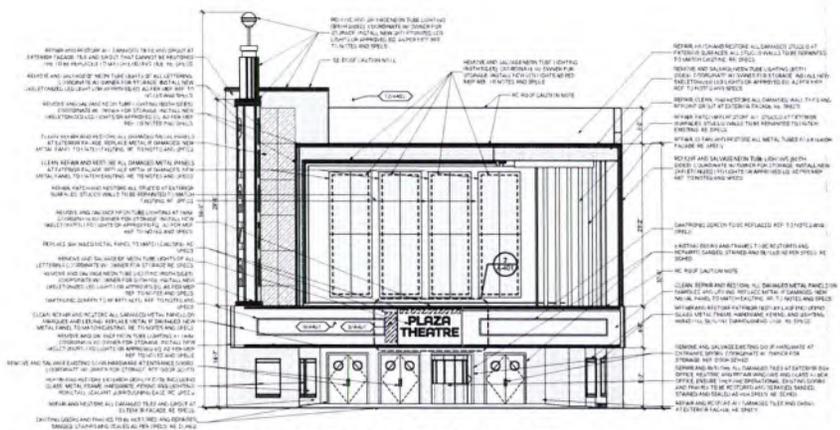


J2 TYP. CMU & MASONRY JAMB DETAIL
SCALE 1/16" = 1'-0"

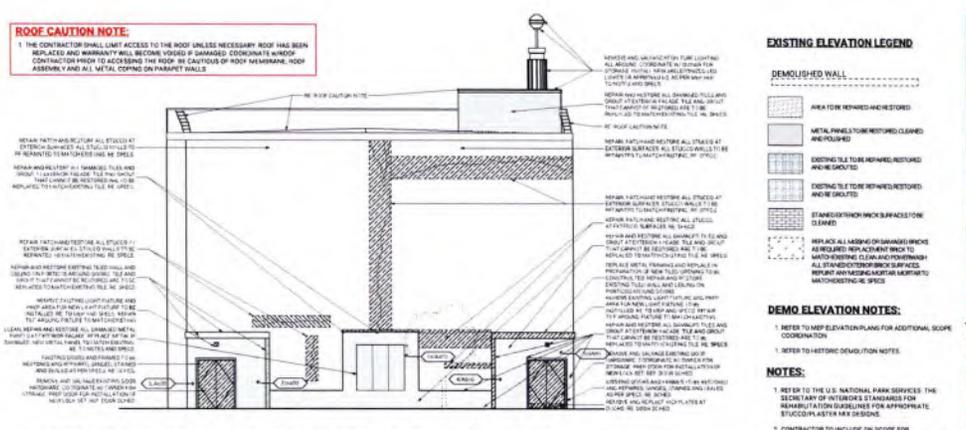


T1 DOOR THRESHOLD @ EXT WALL
SCALE 1/16" = 1'-0"

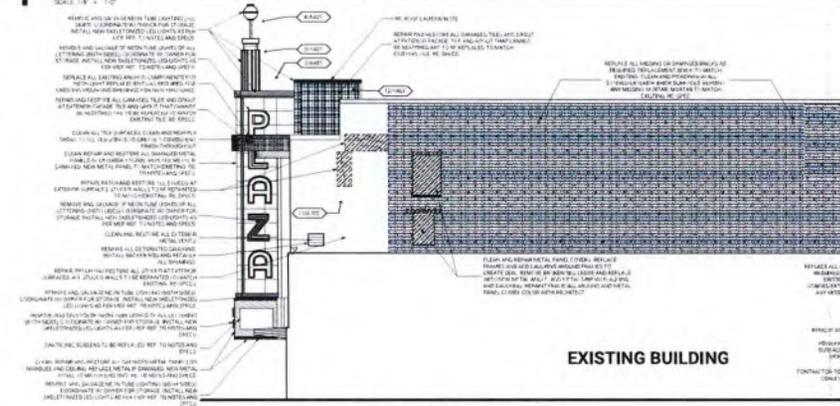




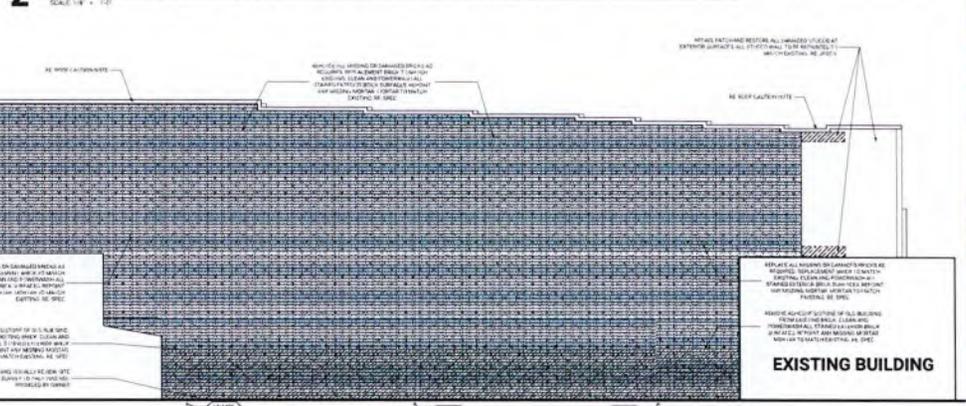
1 REPAIR AND REHABILITATION SOUTH ELEVATION - E&FE
SCALE 1/8" = 1'-0"



2 REPAIR AND REHABILITATION NORTH ELEVATION - E&FN
SCALE 1/8" = 1'-0"



3 REPAIR AND REHABILITATION EAST ELEVATION - E&FE
SCALE 1/8" = 1'-0"



4 REPAIR AND REHABILITATION WEST ELEVATION - E&FW
SCALE 1/8" = 1'-0"

ROOF CAUTION NOTE:
1. THE CONTRACTOR SHALL LIMIT ACCESS TO THE ROOF UNLESS NECESSARY ROOF HAS BEEN REPAIRED AND WARRANTY WILL BE FORGIVEN IF DAMAGED. COORDINATE WITH ROOF CONTRACTOR PRIOR TO ACCESSING THE ROOF. BE CAUTIOUS OF ROOF MECHANICAL, ROOF ASSEMBLY AND ALL METAL COPING ON PARAPET WALLS.

- EXISTING ELEVATION LEGEND**
- DEMOLISHED WALL
 - AREA FOR REFINISHED EXISTING
 - METAL FINISHES TO BE REFINISHED
 - EXISTING TILE TO BE REFINISHED
 - EXISTING TILE TO BE REFINISHED AND RE-GROUTED
 - STANDARD WINDOW WORK SURFACES TO BE CLEANED
 - REPAIR ALL MISSING OR DAMAGED FINISHES
 - REPAIR ALL MISSING OR DAMAGED FINISHES TO MATCH EXISTING CLEAN AND FINISHES
 - REPAIR ALL MISSING OR DAMAGED FINISHES TO MATCH EXISTING CLEAN AND FINISHES
 - REPAIR ALL MISSING OR DAMAGED FINISHES TO MATCH EXISTING CLEAN AND FINISHES
- DEMO NOTE:**
- REFER TO DEMO ELEVATION PLANS FOR ADDITIONAL SCOPE COORDINATION
 - REFER TO HISTORIC DOCUMENTATION
- NOTES:**
- REFER TO THE U.S. NATIONAL PARK SERVICE'S "THE SECRETARY OF INTERIOR'S STANDARDS FOR REHABILITATION OF HISTORIC STRUCTURES AND MONUMENTS" (48 CFR 101.11.6) FOR GUIDANCE ON REHABILITATION STANDARDS
 - CONTRACTOR TO INCLUDE ON SCOPE FOR INVESTIGATION OF STRUCTURE'S STATUS, CONSTRUCTION AND MATERIALS FOR REHABILITATION OF HISTORIC STRUCTURE AND PRESENT FINDINGS TO ARCHITECT
 - CONTRACTOR TO INCLUDE ON SCOPE FOR INVESTIGATION OF STRUCTURE'S STATUS, CONSTRUCTION AND MATERIALS FOR REHABILITATION OF HISTORIC STRUCTURE AND PRESENT FINDINGS TO ARCHITECT

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CITY OF LAREDO
PLAZA THEATRE PRESERVATION AND RESTORATION PROJECT
ENVELOPE AND FACADE ENHANCEMENTS
1012-1/2 HEDALCO ST.
LAREDO, TEXAS 78040

REPAIR AND REHABILITATION ENVELOPE AND FACADE ENHANCEMENTS

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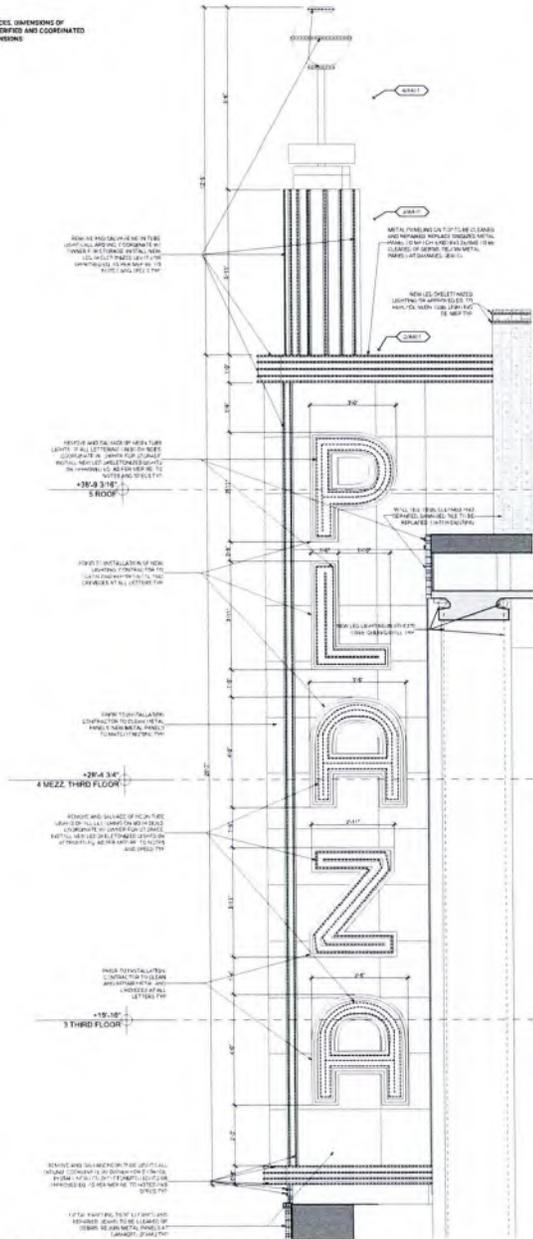
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PROJECT NO: 18-001

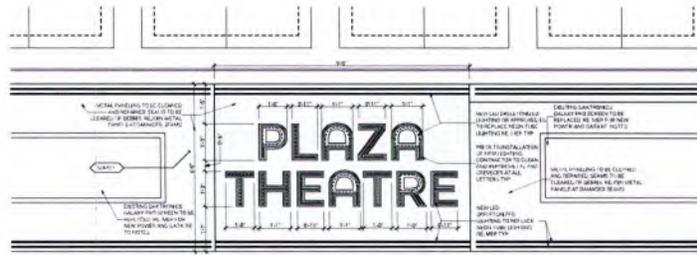
SHEET NO: **A-400**

APP NO: 201804

NOTE:
 DETAIL ELEVATION VIEWS ARE FOR REFERENCE. DIMENSIONS OF
 LIGHTING AND OPENINGS ARE TO BE FIELD VERIFIED AND COORDINATED
 ON SITE BY CONTRACTOR FOR ACTUAL DIMENSIONS



1 ELEV DET VERTICAL MARQUEE EAST ELEV
 SCALE 1/2" = 1'-0"



2 ELEV DET. MARQUEE FRONT LETTERING SOUTH ELEV
 SCALE 1/2" = 1'-0"



8- DAMAGED METAL PANEL
 FRONT FACADE (SOUTH ELEVATION)



6- DAMAGED METAL PANEL
 FRONT FACADE (SOUTH ELEVATION)



7- REPLACE TILES
 FRONT FACADE (SOUTH ELEVATION)



5- REPLACE METAL PANEL
 FRONT FACADE (SOUTH ELEVATION)



4- LIGHTING TOP
 FRONT FACADE (SOUTH ELEVATION)



3- NEON TUBE LIGHTING
 FRONT FACADE (SOUTH ELEVATION)



2- RUST IN METAL PANELS
 FRONT FACADE (SOUTH ELEVATION)



1- NEON TUBE LIGHTING
 FRONT FACADE (SOUTH ELEVATION)



20- BRICK VENEER
EXTERIOR ALLEY (WEST ELEVATION)



16- STUCCO & CERAMIC TILE
REAR FACADE (NORTH ELEVATION)



12- CERAMIC TILE & ROOFING
FRONT FACADE (SOUTH WEST VIEW)



8- CERAMIC TILE ON PARAPETS
FRONT FACADE (SOUTH ELEVATION)



4- EXISTING DOORS & FRAMES
FRONT FACADE (SOUTH ELEVATION)



19- BRICK VENEER
EXTERIOR ALLEY (WEST ELEVATION)



15- MISSING BRICKS & ADHESIVE
SIDE FACADE (EAST ELEVATION)



11- STUCCO CRACKS
FRONT FACADE (NORTH WEST VIEW)



7- FINS & PIPES
FRONT FACADE (SOUTH ELEVATION)



3- CERAMIC TILE & CEILING
FRONT FACADE (SOUTH ELEVATION)



18- METAL PANEL TO BE RESTORED
REAR FACADE (NORTH ELEVATION)



14- MISSING BRICK & ADHESIVE
SIDE FACADE (EAST ELEVATION)



10- STUCCO & NEON LIGHTS
FRONT FACADE (NORTH WEST VIEW)



6- RESTORE DOORS & FRAMES
FRONT FACADE (SOUTH ELEVATION)



2- GREEN CERAMIC TILE
FRONT FACADE (SOUTH ELEVATION)



17- TILE, DOOR AND WINDOWS
REAR FACADE (NORTH ELEVATION)



13- BRICK & STUCCO
SIDE FACADE (EAST ELEVATION)



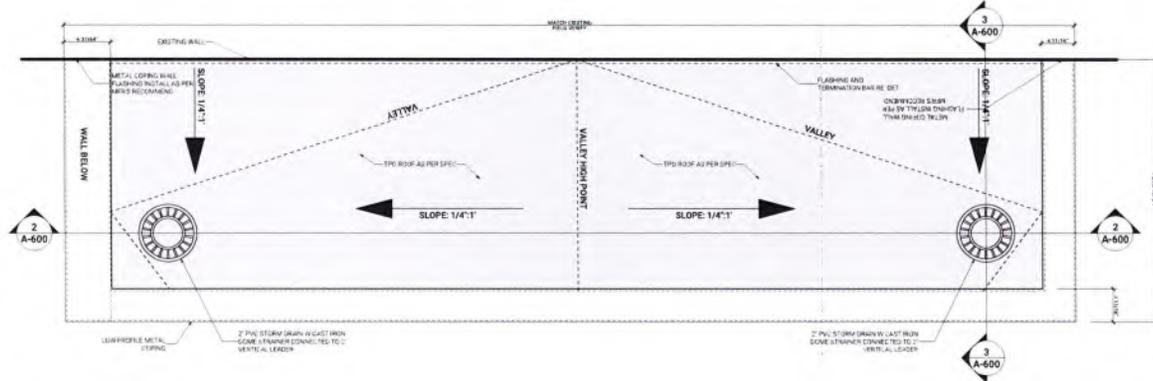
9- FIN & PIPES
FRONT FACADE (SOUTH ELEVATION)



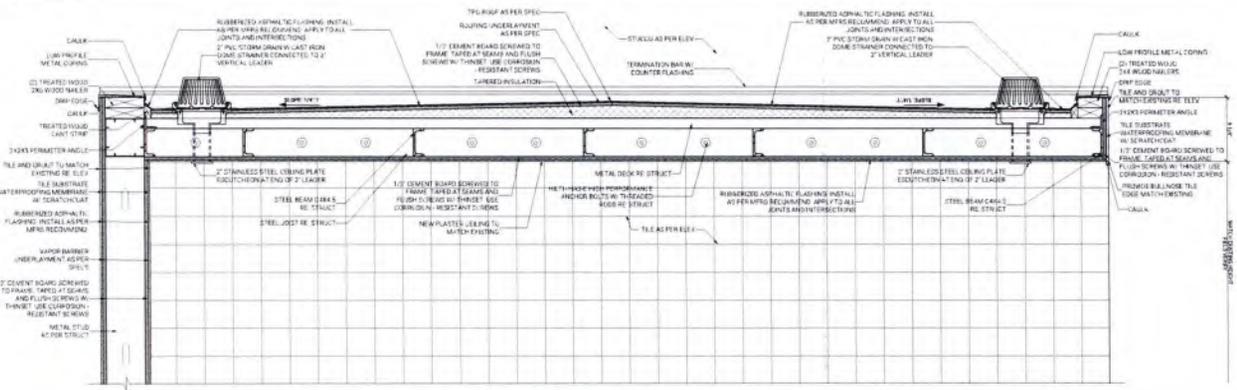
5- CEILING, TILE & DOORS
FRONT FACADE (SOUTH ELEVATION)



1- MAIN ENTRANCE
FRONT FACADE (SOUTH ELEVATION)



1 BACK CANOPY ROOF PLAN
SCALE 1/16" = 1'-0"



2 BACK CANOPY SECTION DETAIL
SCALE 1/16" = 1'-0"



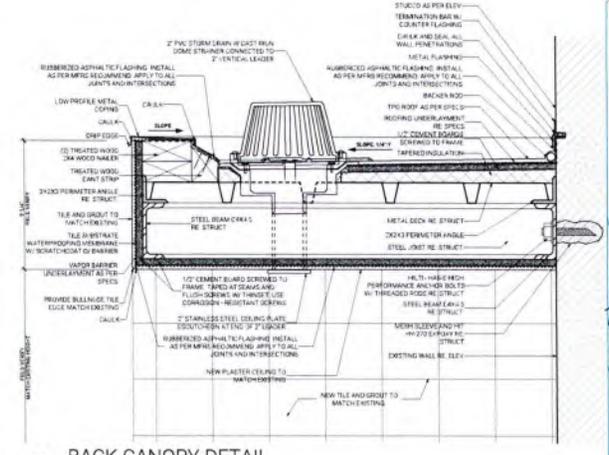
8- CERAMIC TILE
REAR FACADE (NORTH ELEVATION)



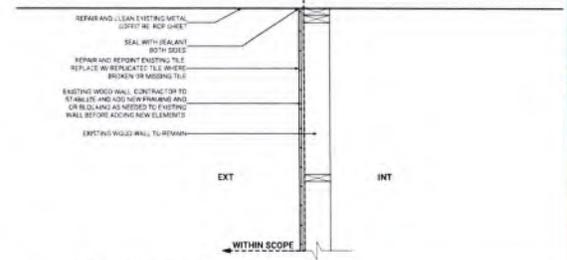
7- RESTORE REAR ACCESS DOOR
REAR FACADE (NORTH ELEVATION)



6- CANOPY
REAR FACADE (NORTH ELEVATION)



3 BACK CANOPY DETAIL
SCALE 3/8" = 1'-0"



4 ENTRANCE WALL DETAIL
SCALE 1/16" = 1'-0"



5- CANOPY WALL
REAR FACADE (NORTH ELEVATION)

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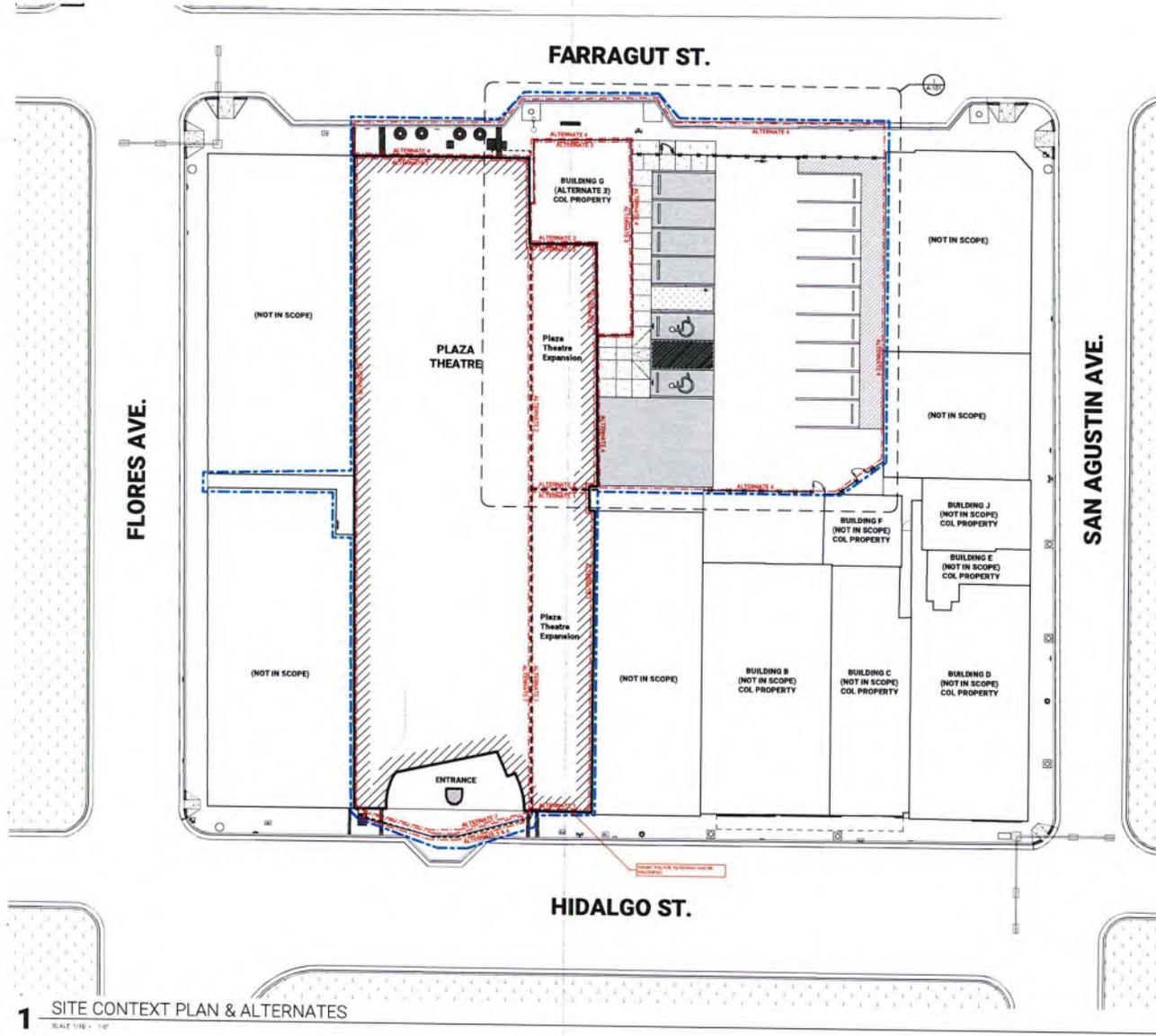
CITY OF LAREDO
PLAZA THEATRE PRESERVATION AND RESTORATION PROJECT
ENVELOPE AND FACADE ENHANCEMENTS
1012 1/2 HIGALBOST
LAREDO, TEXAS 78040

DETAILS 1
THESE DRAWINGS SPECIFY MATERIALS AND METHODS OF CONSTRUCTION TO BE USED FOR THE PROJECT. CONTRACTOR SHALL VERIFY ALL MATERIALS AND METHODS OF CONSTRUCTION WITH THE ARCHITECT BEFORE CONSTRUCTION.

CONSTRUCTION DOCUMENT
R10 SET
PUBLISHED: 8/14/2025

APPROVED FOR CONSTRUCTION
DATE: 8/14/2025

SHEET NO.
A-600
JOB NO. 22004



1 SITE CONTEXT PLAN & ALTERNATES
SCALE 1/8" = 1'-0"



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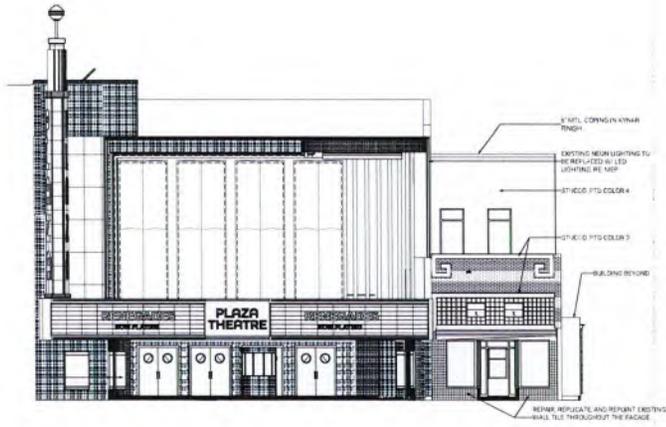
NOT FOR CONSTRUCTION
APPROVAL REQUIRED FOR
OR CONSTRUCTION

CONSTRUCTION DOCUMENT
BID SET
PUBLISHED: 4/30/2025

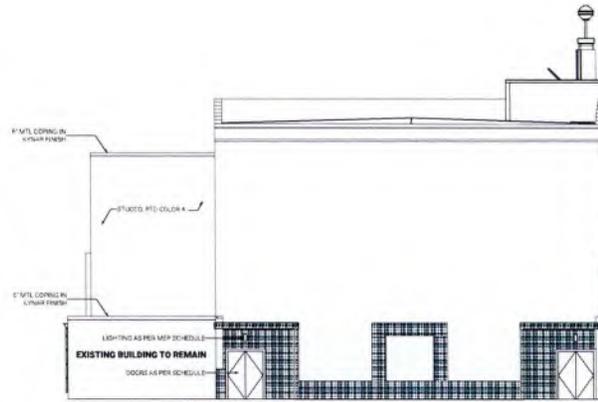
**CITY OF LAREDO
PLAZA THEATRE PRESERVATION
AND RESTORATION PROJECT**
1012 1/2 HIDALGO ST.
LAREDO, TEXAS 78640

SITE CONTEXT PLAN
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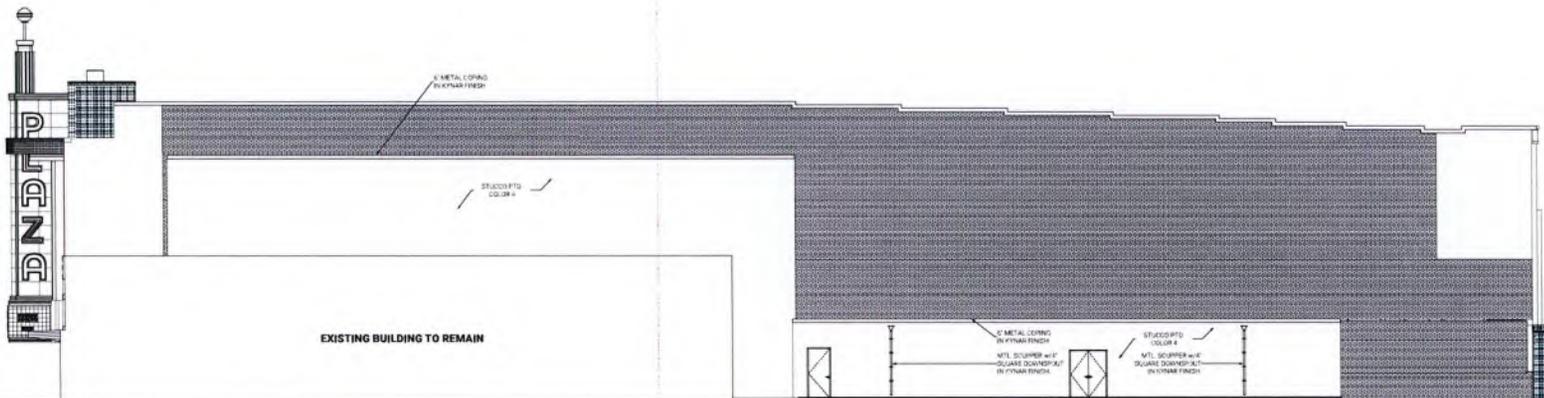
SHEET NO.
A-100
JOB NO. 202514



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 EAST ELEVATION
SCALE: 1/8" = 1'-0"


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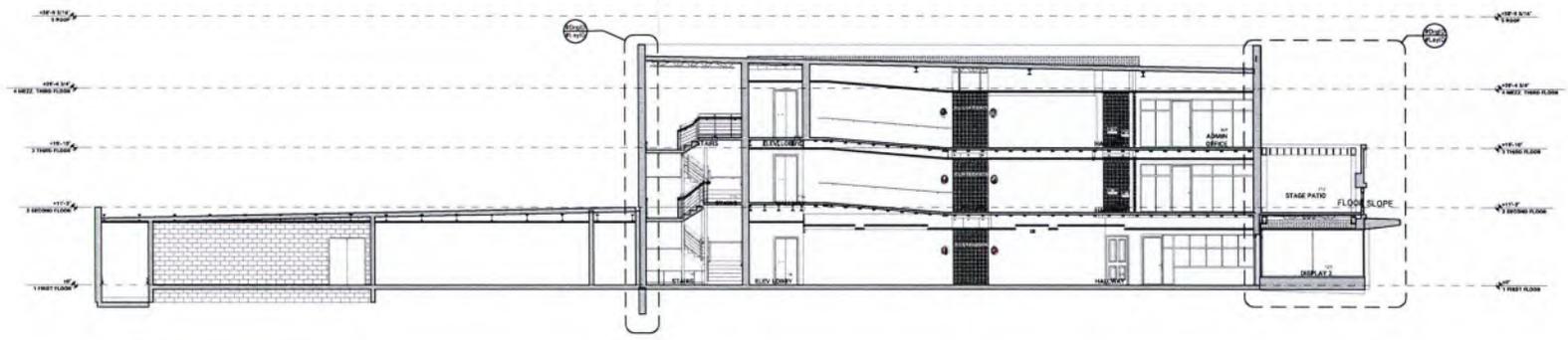

 APPROVED ARCHITECTURAL
 OR CONSTRUCTION

CONSTRUCTION DOCUMENT
 810 SET
 PUBLISHED: 10/15/2025

CITY OF LAREDO
PLAZA THEATRE PRESERVATION
AND RESTORATION PROJECT
 1012 1/2 HIDALGO ST.
 LAREDO, TEXAS 78040

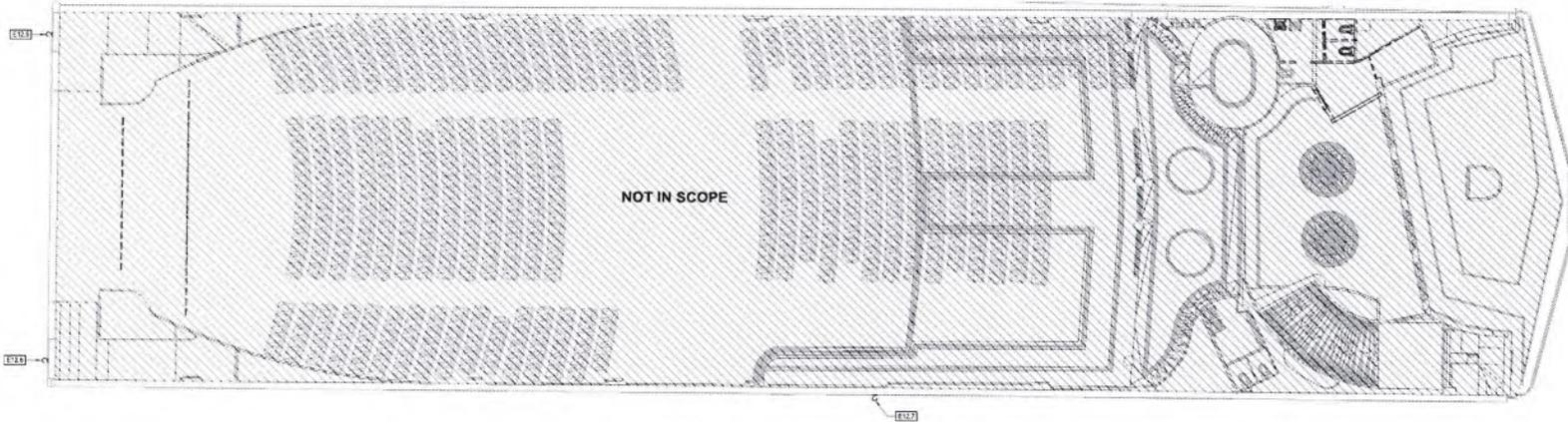
ELEVATIONS 1
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SHEET NO.
A-400
 JOB NO. 23009



1 BUILDING SECTION SLIVER BUILDING
SCALE: 1/8" = 1'-0"





1 ELECTRICAL LIGHTING DEMOLITION PLAN LEVEL 1-
 LD2.11 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E7-H-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

ELECTRICAL KEYED NOTES

- E124 EXISTING WALL PACK ABOVE DOORWAY SHALL BE DEMOLISHED BACK TO ITS SOURCE PANEL. CONTRACTOR SHALL PROVIDE NEW AS INDICATED ON NEW PLANS.
- E127 EXISTING WALL PACK ABOVE SECOND FLOOR DOORWAY SHALL BE DEMOLISHED BACK TO ITS SOURCE PANEL. CONTRACTOR SHALL PROVIDE NEW AS INDICATED ON NEW PLANS.

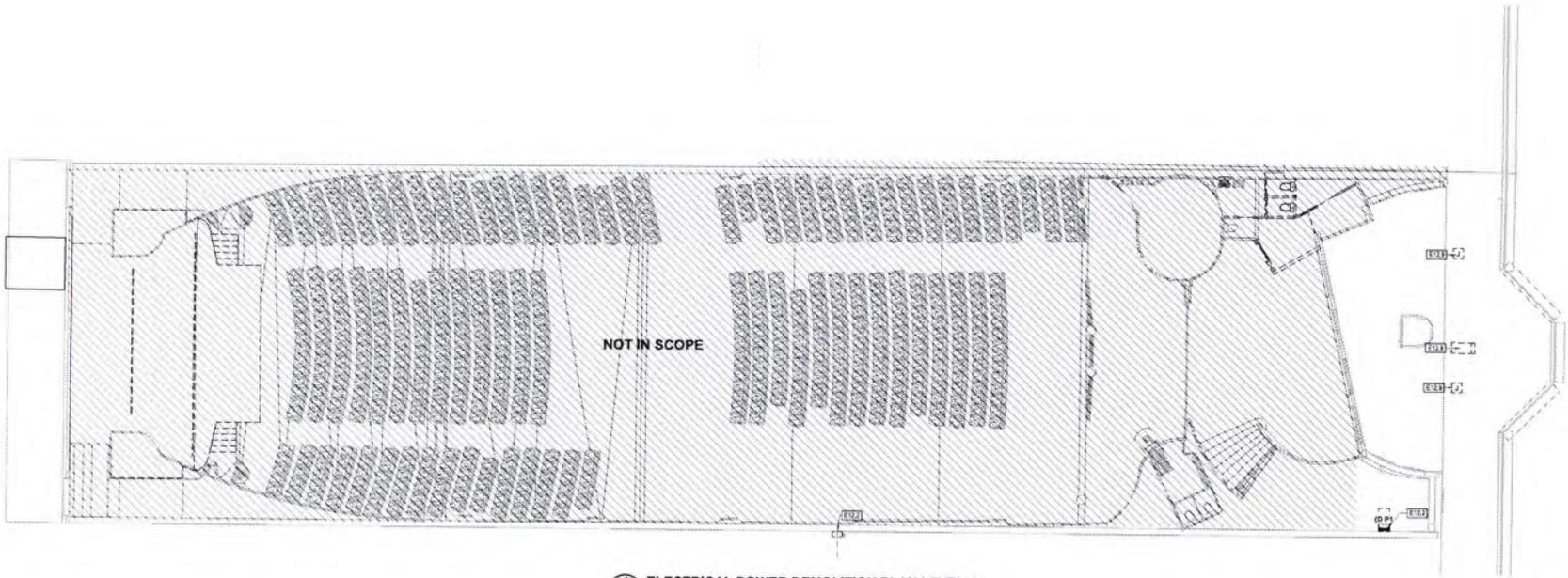


Sheet No.:

***DBRELD2.11-2**
 02/03/2017
 NETA: www.neta.org
 TSP: TSP Registration No. 224
 DBR Project # 23841-00

RT	LD	JR	CG	-
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JOB NO. 23841-00



1 ELECTRICAL POWER DEMOLITION PLAN LEVEL 1-
1/8" = 1'-0"

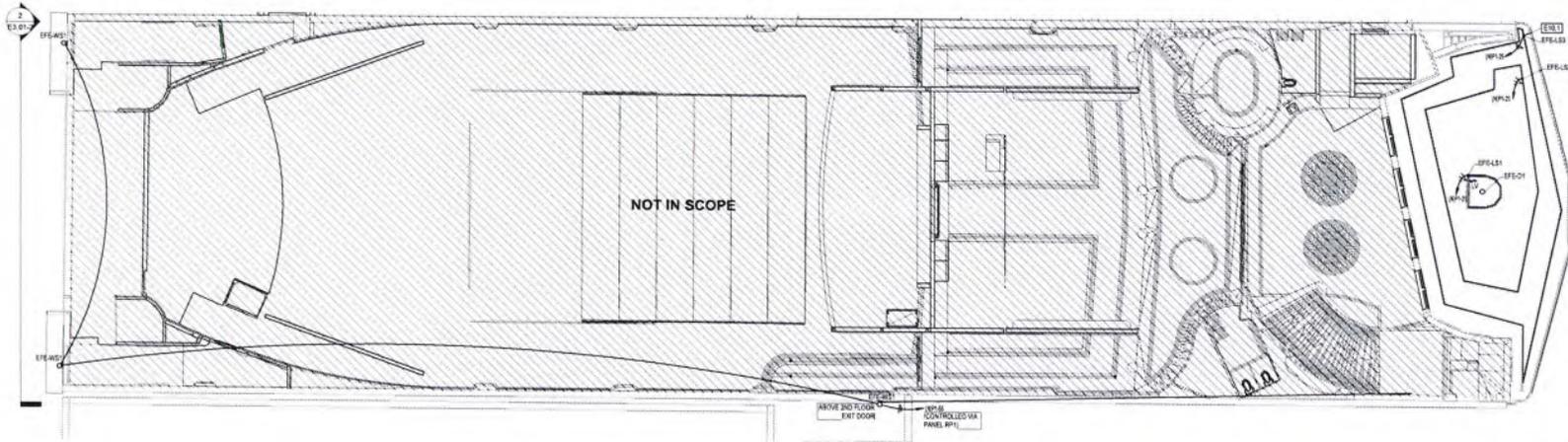
ELECTRICAL GENERAL NOTE:

A. REFER TO SHEET E11-1 FOR ADDITIONAL ELECTRICAL GENERAL NOTES.

ELECTRICAL KEYED NOTES

- E122 EXISTING ELECTRICAL PANEL, CONDUIT, AND CONDUCTORS SHALL BE DEMOLISHED BACK TO SOURCE SERVICE DISCONNECT. EXISTING 2000AF DISCONNECT SHALL BE DEMOLISHED.
- E123 EXISTING PANEL LOCATED ABOVE THE CANOPY EXISTING ELECTRICAL PANEL, CONDUIT, CONDUCTORS AND BRANCH CIRCUITS SHALL BE DEMOLISHED BACK TO SOURCE PANEL. ANY EXISTING BRANCH CIRCUITS WHICH ARE TO REMAIN SHALL BE RE-ROUTED TO NEW PANEL. PER NEW PLANS. PREPARE AREA FOR NEW WORK.
- E124 APPROXIMATE LOCATION OF EXISTING OVERHEAD DEWATERING SCREENS. CONTRACTOR SHALL FIELD EVERY EXISTING DEWATERING SCREEN CONDITIONS. CONTRACTOR SHALL INCLUDE IN THEIR BID THE LABOR AND MATERIAL REQUIRES TO REPAIR EXISTING DEWATERING SCREENS. CONTRACTOR SHALL TRACE EXISTING WIRING AND PRESERVE FOR REUSE. CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THE SCREENS ARE NOT IN WORKING CONDITIONS. PROVIDE NEW POWERDATA CONDUITS AND CIRCUITS ROUTED TO THE NEW PANEL LOCATION FOR CONNECTIVITY.

Sheet No.:

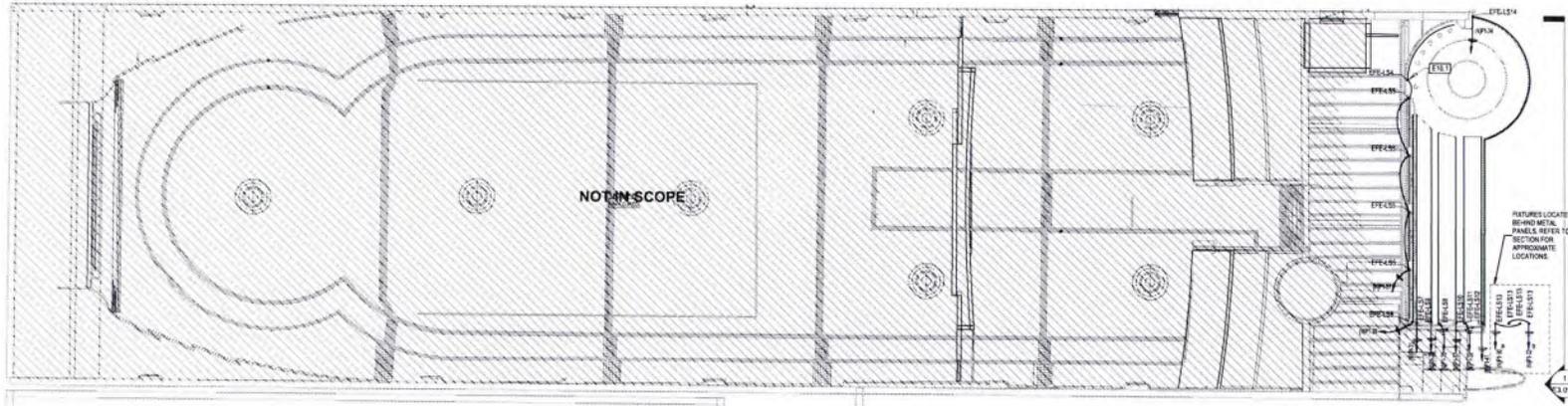


1 ELECTRICAL LIGHTING PLAN LEVEL 1-
 EL2.11-2
 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E7-11-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES.

ELECTRICAL KEYED NOTES

KEY: (TYPICAL LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL RP1 UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.)

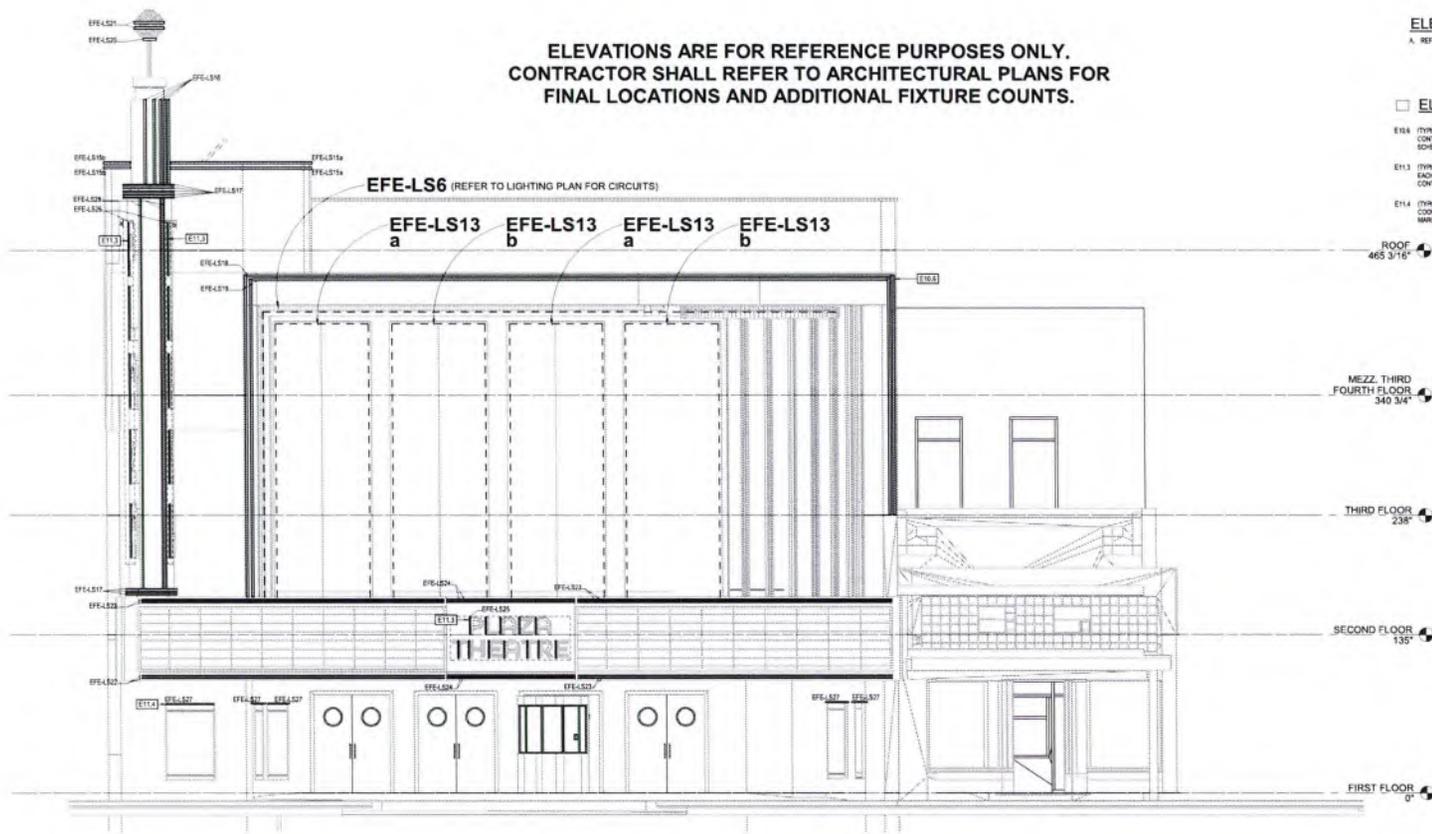


1 ELECTRICAL LIGHTING PLAN LEVEL 3-
EL2.31- 1/8" = 1'-0"

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E1-2 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

ELECTRICAL KEYED NOTES

E101 (TYPICAL) LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL, DP-1 UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.



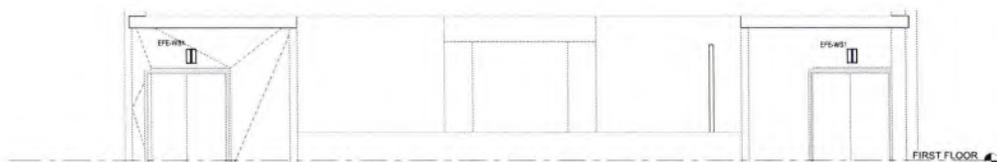
ELEVATIONS ARE FOR REFERENCE PURPOSES ONLY.
 CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR
 FINAL LOCATIONS AND ADDITIONAL FIXTURE COUNTS.

ELECTRICAL GENERAL NOTE:
 A. REFER TO SHEET E3-1 FOR ADDITIONAL ELECTRICAL GENERAL NOTES

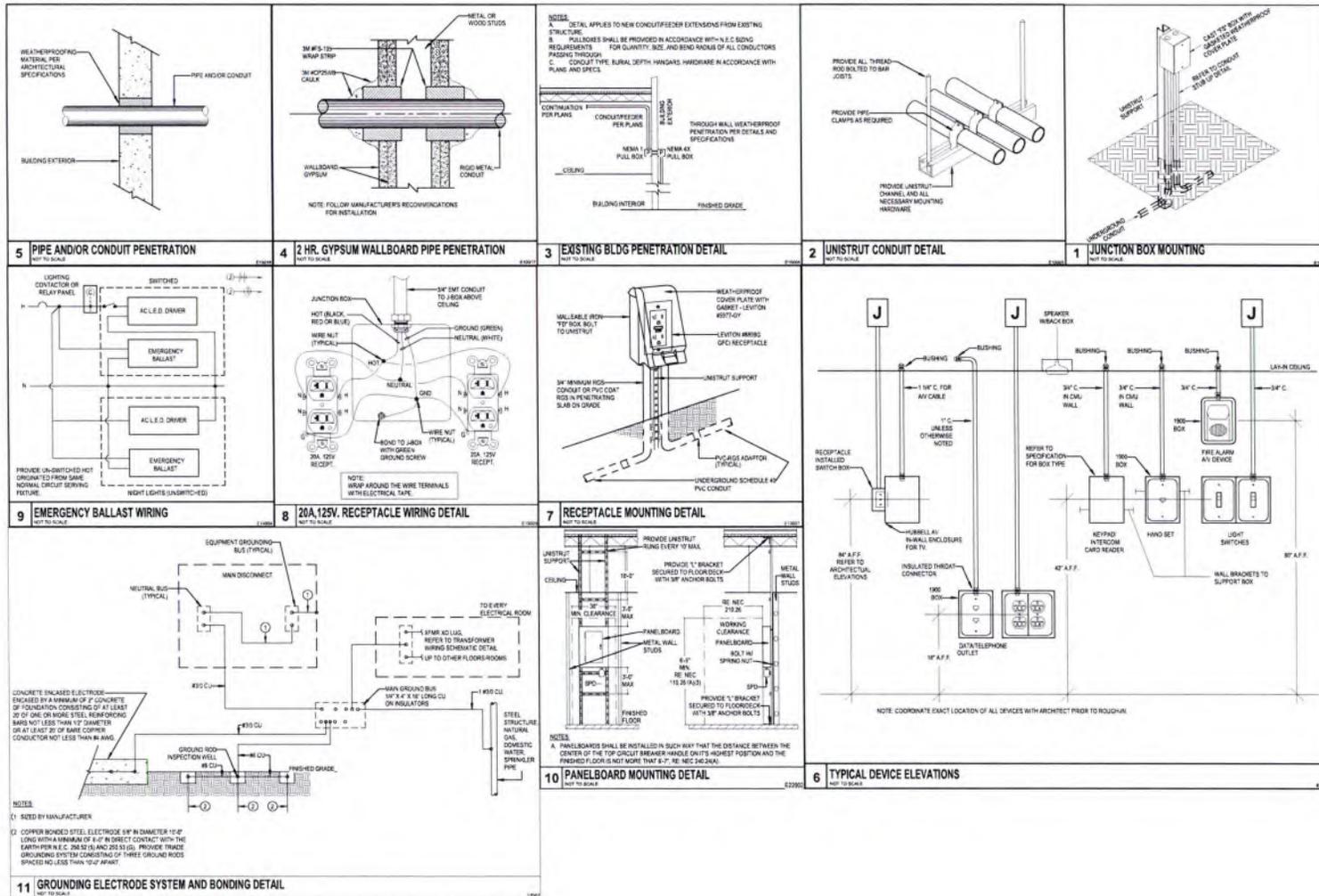
ELECTRICAL KEYED NOTES

- E108 (TYPICAL) LIGHTING FIXTURES INDICATED SHALL BE CONTROLLED VIA CONTROL PANEL, WPL, UNLESS NOTED OTHERWISE. REFER TO PANEL SCHEDULE E AND CONTROLS PANEL SCHEDULES FOR REFERENCE.
- E113 (TYPICAL) FOR LED LETTERING LED STRIP SHALL RUN THE ENTIRETY OF EACH LETTER. FIXTURE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL VERIFY LENGTHS.
- E114 (TYPICAL) FOR DIGITAL MARQUEES FIXTURES CONTRACTOR SHALL COORDINATE FIXTURE MOUNTING LOCATIONS WITH DIGITAL DISPLAY MARQUEE PRIOR TO ROUGH-IN.

1 SOUTH ELEVATION
 1/4" = 1'-0"



2 NORTH ELEVATION
 1/4" = 1'-0"



GENERAL DEMOLITION SCOPE NOTES:

- A. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRESENT ON SITE PRIOR TO BEGINNING AND SHALL BE EXPECTED TO PERFORM DEMOLITION AND INSTALL NEW AS SHOWN ON THE DOCUMENTS, INCLUDING SCOPE THAT MAY NOT CLEARLY BE INDICATED ON PLANS.
- B. CONTRACTOR SHALL VERIFY AND DOCUMENT EXISTING CONDITIONS OF ALL OUTLETS AS DEFINED BY NEC THAT ARE INDICATED OR REQUIRED TO BE REMOVED AND REINSTALLED TO FACILITATE THE WORK REQUIRED BY ALL TRADES. WHERE OUTLETS ARE REINSTALLED IN NON-OCCUPABLE CONDITION, THE CONTRACTOR SHALL REPLACE AT NO COST TO THE OWNER. DOCUMENT OUTLETS IN NON-OCCUPABLE CONDITION PRIOR TO REMOVE AND NOTIFY THE OWNER.
- C. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL TO ALL REMOVED MATERIALS. CONTRACTOR SHALL COORDINATE WITH OWNER FOR LOCATION TO RETURN ANY AND ALL MATERIAL FOR OWNER STORAGE. FAILURE TO TURN OVER REMOVED MATERIAL TO OWNER MAY REQUIRE CONTRACTOR TO PLACE EQUIPMENT PROVIDED WITH WORK.
- D. REMOVE ALL ELECTRICAL DEVICES WITH REMOVED WALLE INCLUDING RECEPTACLES, SWITCHES, DATA/PHONE DROPS, FIRE ALARM DEVICES, PWA DEVICES, CONDUIT, AND WIRING. REMOVE CONDUIT AND WIRING BACK TO PANEL OR LAST ACTIVE JUNCTION BOX. REFER TO ARCHITECTURAL/ENGINEERING PLANS. THIS SCOPE MAY NOT BE DIRECTLY IMPLIED BY NOTES ON O&M PLANS AS IT IS ASSUMED THIS SCOPE EXISTS BASED ON ARCHITECTURAL/ENGINEERING PLANS.
- E. ALL ABANDONED CONDUIT AND BOXES FOUND IN SMALL SPACES, CEILING SPACES, CHASES, OR UTILITY SPACES SHALL BE REMOVED. ANY EXISTING CONDUIT THAT IS UNDERGROUND MAY BE REINFORCED.
- F. CONTRACTOR SHALL REVIEW DEMO AND NEW WORK PLANS THOROUGHLY TO IDENTIFY SCOPE THAT IS TO BE MODIFIED FOR REUSE WITH NEW SCOPE.

GENERAL LIGHTING DEMOLITION NOTES

- A. ALL FIXTURES REMOVED AND REINSTALL SHALL BE CLEANED PRIOR TO REINSTALLATION.
- B. ALL EXISTING SWITCHING ZONES SHALL REMAIN UNCHANGED UNLESS DIRECTED OTHERWISE ON PLANS.
- C. ALL LIGHT CIRCUIT SHALL BE DEMOLISHED AS REQUIRED BY THE DEMOLITION SCOPE ON THE DOCUMENTS. REPAIR ANY CIRCUITS THAT ARE PARTIALLY DEMOLISHED AND CONTAIN OUTLETS THAT ARE NOT IN SCOPE OR OUTSIDE OF THE JURISDICTION OF CONSTRUCTION TO WORKING CONDITION. PROVIDE CONDUIT AND BOXES AS NEEDED.
- D. MODIFIED LIGHTING CIRCUITS SHALL NOT EXCEED 80% CIRCUIT LOAD BASED ON CIRCUIT AMPACITY.
- E. ALL REMOVED AND REINSTALLED LIGHT FIXTURES MUST BE CLEANED, REPAIRED AS REQUIRED AND TOUCHED UP WITH PAINT. ALL DAMAGED PARTS MUST BE REPLACED. THE FIXTURES SHALL THEN BE REINSTALLED AS REQUIRED. PROVIDE NEW DRIVERS AS REQUIRED.
- F. ALL EXISTING INTERCOMPARERS SHALL BE REMOVED AND REINSTALLED AS REQUIRED TO FACILITATE RENOVATION. SUBJECT TO EXISTING EQUIPMENT OPERATION CONDITION VERIFICATION.

GENERAL POWER DEMOLITION NOTES:

- A. GENERAL DEMOLITION NOTES APPLY TO ALL DEMOLITION/REMODELING SCOPE.
- B. WHEN OUTLETS ARE ABANDONED, WIRE MUST BE PULLED OUT OF THE CONDUIT BACK TO THE NEAREST REMAINING BOX OR CABINET. EXPOSED CONDUIT THAT HAS BEEN ABANDONED MUST BE REMOVED.
- C. RE-ESTABLISH SERVICE TO ALL OUTLETS THAT MAY BE INTERRUPTED DUE TO REMODELING WORK.
- D. PROVIDE ALL APPURTENANCES REQUIRED TO REMOVE, RELOCATE, REMOVE OR REINSTALL ALL ITEMS DESCRIBED IN THESE NOTES.
- E. EXISTING CIRCUITS MODIFIED IN FIELD SHALL NOT EXCEED 80% CAPACITY BASED ON AMP-RATING OF CIRCUIT.
- F. DO NOT LEAVE ABANDONED CONDUIT, BOXES, EQUIPMENT, OR END-DEVICES AFTER DEMOLITION. ALL ABANDONED MATERIAL MUST BE REMOVED.
- G. IDENTIFICATION AND LABELING SHALL BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS AND/OR NEW-WORK GENERAL ELECTRICAL NOTES.
- H. CIRCUIT NUMBERS ARE FOR PLAN REFERENCE ONLY. CONTRACTOR SHALL RELABEL ALL CIRCUIT DIRECTORIES WITH LEAD NAMES FOR ALL EXISTING AND NEW PANELS THAT WERE MODIFIED WITH THIS PROJECT.
- I. EXISTING CIRCUIT BREAKERS VACATED DUE TO REMODELING WORK SHALL BE REWAS AS SPARE BREAKERS AND TURNED TO THE OFF POSITION.
- J. WHERE INDICATED OR REQUIRED BY OTHER TRADES, CONTRACTOR SHALL REMOVE ALL ELECTRICAL CONNECTIONS TO EXISTING PRE-RIEVED FURNITURE. REMOVE CONDUIT AND WIRING BACK TO LAST ACTIVE JUNCTION. ALL DATA CABLING SHALL BE REMOVED BACK TO LAST ACTIVE JUNCTION AND SALVAGED FOR REINSTALLATION.

LIGHTING GENERAL NOTES:

- A. CONTROL DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH PERFORMANCE DESCRIPTION INDICATED IN THE LIGHTING CONTROL DEVICE SCHEDULE FOUND ON SCHEDULE SHEETS.
- B. MULTIPLE SWITCHES SHOWN TOGETHER SHALL BE GANGED UNDER A COMMON COVER PLATE.
- C. PROVIDE LABELING OF ALL CONTROL DEVICES, SWITCH PACKS, LIGHT FIXTURES, JUNCTION BOXES, ETC. IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
- D. LIGHTING FIXTURE LOCATIONS SHOWN THAT PRECEDENT IN CEILING LOCATION TO ALL OTHER TRADES. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR ENSURING OTHER TRADES DO NOT IMPACT BRACING AND/OR OBTAINMENT OF OTHER DEVICES WHERE LIGHT FIXTURES MUST BE INSTALLED.
- E. REFERENCE SYMBOLS/LEGEND FOR LIGHT SWITCH DEVICE NOMENCLATURE AND SWITCHES ASSOCIATIONS.
- F. ALL 120/230V FIXTURES INSTALLED IN SUSPENDED GRID CEILING SHALL BE PROVIDED WITH (2) SECONDARY SUPPORT WIRES ANCHORED DIRECTLY TO STRUCTURE.

EMER. LIGHTING GENERAL NOTES:

- A. PROVIDE ALL EMERGENCY LIGHT FIXTURES WITH UNDIMMED HOT LED AS DEFINED IN NEC 700.12
- B. ACQUIRE UNDIMMED HOT LED TO ALL LIGHT FIXTURES DESIGNATED AS EMERGENCY FIXTURES. HOT LED SHALL ORIGINATE FROM CIRCUIT SERVING NORMAL LIGHTING FIXTURES IN THAT SPACE. UNDIMMED HOT LED SHALL CONNECT TO THE NORMAL POWER SUPPLY/CELL ON THE EMERGENCY BATTERY PACK.
- C. PROVIDE UNDIMMED CIRCUIT TO ALL EXIT SIGNS.

GENERAL M.E.P. NOTES:

1. THE DESIGN AND INSTALLATION OF MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS SHALL COMPLY WITH ALL REQUIREMENTS AND STANDARDS OF ALL APPLICABLE CODES, GOVERNMENTAL REGULATIONS, ORDINANCES AND STATE AND LOCAL REQUIREMENTS.
2. PATCHING & ANY NECESSARY AREAS NEEDED TO PROVIDE CONDITIONS.

LIGHTING CONTROLS COMMISSIONING

THE CONTRACTOR SHALL INCLUDE, AS PART OF THEIR SCOPE, THE REQUIREMENTS TO COMMISSION THE LIGHTING CONTROL SYSTEM AS REQUIRED BELOW. THE LIGHTING CONTROL SYSTEM MAY BE STRANGLING NETWORK RELAY. CONTRACTOR ORIGINATED THEIR PROTOCOL ON ANY COMBINATION OF THE LISTED. FOR EACH OF THE FOLLOWING TRADES, RECORD THE DATE PERFORMED, PERSONS COMPLETING THE VERIFICATION, INITIAL, SETTING/CONDITION, ACTIONS PERFORMED, AND FINAL SETTING/CONDITION. SUBMIT DOCUMENTATION TO THE CITY HAVING JURISDICTION AT OR BEFORE SUBSTANTIATION COMPLETE. SUBMITTING AFTER SUBSTANTIATION COMPLETE WILL BE THE OBLIVION OF A CERTIFICATE OF OCCUPANCY.

- A. ENSURE ALL LIGHTING FIXTURES HAVE LAMPS THAT ARE FUNCTIONAL.
- B. TEST ALL EXIT SIGNS, EMERGENCY LIGHTING FIXTURES, AND EMERGENCY TRANSFER DEVICES OR CONTROL BATTERY SYSTEM.
- C. VERIFY THAT ALL OCCUPANCY SENSORS HAVE BEEN INSTALLED AND ARE OPERATIONAL.
- D. TEST ALL WALL-SWITCH OCCUPANCY SENSORS.
- E. TEST ALL LIGHT-LEVEL VOLTAGE SWITCHES AND THEIR PENNIPHERALS, WHERE INSTALLED, SUCH AS:
 1. CEILING MOUNTED OCCUPANCY SENSORS
 2. POWER PACKS
 3. DAYLIGHT SENSING/HARVESTING SENSORS
- F. VERIFY THE FOLLOWING FUNCTIONALITY AND/OR INSTALLATION OF ALL CONTROL DEVICES:
 1. SENSORS HAVE BEEN LOCATED AND AWAKED TO RELEVANT LOCATIONS OF OCCUPANCY, PER MANUFACTURER'S RECOMMENDATION
 2. VERIFY STATUS INDICATORS ON DEVICES ARE OPERATIONAL AND CORRECT
 3. DEVICES CONTROL LIGHTING FIXTURES AS SPECIFIED ON THE DRAWINGS
 4. ALL OCCUPANCY VACANCY MODE TIME-OUTS ARE SET TO NO GREATER THAN 30 SECONDS
 5. ALL CONTROL DEVICES ARE SET VACANCY MODE, OR NO MORE THAN 50% OF FIXTURES TURN ON AUTOMATICALLY UPON ENTERING A SPACE/ROOM
 6. MOVEMENT IN ADJACENT SPACES OR CYCLING OF HVAC SYSTEMS DOES NOT FALSELY TRIGGER SENSORS. VACANCY MODE PREFERRED TO PRESENT THIS SHOULD ADDITIONAL INFORMATION REGARDING THE TESTING REQUIREMENTS BE NEEDED. REFERENCE ICC 2011 SECTION 409.3

GENERAL ELECTRICAL NOTES:

- A. ELECTRICAL DEVICES WHEN ARE NOT EXACT. ALL DEVICE LOCATIONS SHALL BE VERIFIED WITH ARCHITECTURAL, MECHANICAL, CHASING, AND GENERAL ELEVATION VIEWS.
- B. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT, OUTLET BOXES, JUNCTION BOXES FOR ALL TECHNOLOGY LOW-VOLTAGE ACCESS CONTROL, SECURITY SURVEILLANCE, AND OTHER DIVISION 2709 SCOPE. REFER TO DIVISION 2709 DRAWINGS AND SPECIFICATIONS FOR ALL WORK REQUIRED. DIVISION OF THIS SCOPE FROM DIV 36 SCOPE OF WORK IS PROVIDED.
- C. PROVIDE LABELING OF ALL DEVICES, CONDUIT, PANELS, AND JUNCTION BOXES IN ACCORDANCE WITH ELECTRICAL SPECIFICATIONS.
- D. MINIMIZE ROOF PENETRATIONS. WHERE ABLE, ROUTE ALL CONDUIT FOR ROOF MOUNTED EQUIPMENT THROUGH ROOF CURB. CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING NECESSARY WATER PROOFING AROUND ROOF PENETRATIONS WITH ROOFING INSTALLER.
- E. ALL RECEPTACLES LOCATED IN RESTROOMS, JANITOR CLOSETS, MECHANICAL ROOMS, ELEVATOR PIT/ OR SHAFTS, ELEVATOR EQUIPMENT ROOMS, SERVING ELECTRIC DRINKING FOUNTAINS OR SERVING MACHINES, LOCATED WITHIN 4' OF A SINK LOCATED ABOVE A HOT COUNTERTOP OR IN A KITCHEN OR COFFEE BAR SHALL BE GFCI. FEED-THRU GFCIS ARE PROHIBITED. ALL GFCI DEVICES SHALL BE PROVIDED WITH INDIVIDUAL TEST/RESET FEATURES.
- F. MULTIPLE HOME RUNS SHALL NOT BE ALLOWED. PROVIDE DESIGNATED NEUTRALS FOR ALL CIRCUITS. SHARING CONDUIT IS PERMISSIBLE WHERE TOTAL CONDUIT CAPACITY DEDUCTIVE HAS BEEN PERFORMED BY ELECTRICAL CONTRACTOR. THE NEUTRAL IS CONSIDERED CURRENT-CARRYING.
- G. ALL RECEPTACLES SHALL BE TAMPER RESISTANT TYPE. CONTRACTOR MAY PROVIDE NON-TAMPER RESISTANT RECEPTACLES WHERE NOT REQUIRED PER CURRENT NEC ARTICLE 40.
- H. LABEL ALL CIRCUITS AT ALL JUNCTION BOXES AND OUTLETS WITH TYPE WRITTEN LABEL, IDENTIFYING CIRCUIT ON THE BACK OF DEVICE COVER PLATES OR ON COVER OF JUNCTION BOX. A 4" BOX HAS MULTIPLE CIRCUITS WITHIN LABEL ALL CIRCUITS.
- I. ALL NEW CIRCUITS SHALL BE RUN INSIDE IN CEILING OR WALLS.
- J. CONTRACTOR SHALL PROVIDE ALL OPENING, PATCHING, & ANY NECESSARY AREAS NEEDED TO PROVIDE CIRCUITS.
- K. LIGHTING RESTORATION: HISTORIC LIGHTING FIXTURES SHALL BE RESTORED OR REPLACED WITH LED NETWORKS FORM-FIT ONLY WHERE THEY DO NOT ALTER THE APPEARANCE OF THE ORIGINAL DESIGN AND NON-CONSPICUOUS ELEMENTS.
- L. MOCKUPS & PROTOTYPES: PROVIDE SAMPLE MOCKUPS OF NEW RESTORATION, PAINT FINISHES, AND NECESSARY REPAIRS FOR REVIEW AND APPROVAL BEFORE FULL SCALE IMPLEMENTATION.
- M. INSPECTION & APPROVAL: WORK SHALL BE SUBJECT TO REVIEW AND APPROVAL BY HISTORIC PRESERVATION AUTHORITIES AT KEY MILESTONES. FINAL INSPECTION SHALL BE CONDUCTED TO ENSURE COMPLIANCE WITH RESTORATION GUIDELINES.



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