



July 1, 2024

Mr. Ramon E. Chavez, P.E.  
Laredo City Engineer - Director  
City of Laredo Engineering Department  
1110 Houston Street  
Laredo, Texas 78040

***Re: Architectural & Engineering  
Professional Services Fee  
City of Laredo – World Trade Bridge City  
Toll Building Enhancements***

Mr. Chavez,

***Thank you, again,*** for contacting Sepulveda Associates Architects, Inc. (SAA, Inc.) and requesting a fee proposal to provide architectural and engineering professional services to the City of Laredo on subject project. SAA, Inc. will conduct onsite detailed documentation to determine the final scope for the preparation of the final bid package to obtain formal competitive bids for the execution of the scope of work through a qualified general contractor. From our on-site walk through and meeting / tour notes taken on July 1st, 2024, 9:00 – 11:45 AM, we propose the following:

#### **ANTICIPATED SCOPE OF WORK:**

##### **SCHEMATIC DESIGN PHASE**

1. ***See Preliminary Scope of Work – Excel Sheet dated 7-1-24 Items 1 through 57, attached.***
2. Prepare floor plan basic schematics with basic suggested furniture layout for the requested remodeling and selective demolition for review and approval base on items mentioned in the Excel Sheet Items 1 -57.
3. Perform additional onsite site walkthroughs and review the Owner provided “As Built” Drawings in order to develop a final scope of work and construction documents,
4. Prepare preliminary budget for line items of the proposed preliminary scope for Owner’s review and approval to develop technical drawings,
5. Use Owner’s PDF “As Built” drawings to develop schematics, schedules, and progress set towards the final technical drawings,
6. Consult and perform site walkthrough with mechanical, electrical and plumbing engineers to develop documentation for the replacement / modifications of requested selective power, lighting, communications, audio-visual, sound, fire sprinkler, HVAC and plumbing items as documented in the preliminary scope of work,
7. Develop preliminary options for new color scheme for room / wall, floor finishes,
8. General in person and virtual meetings may be necessary for the proper review, direction, and

refinements as the work progresses,

9. Reimbursements for in-house printing expenses for the development of the work as the project scope evolves and is refined for a final product,
10. Environmental consultant will perform sample floor, ceiling, and wall material testing, and prepare asbestos report to ensure clearance and allowing contractor to secure building permit. No work plan fees are included as it is believed the building is free of asbestos materials.

### **CONSTRUCTION DOCUMENT PHASE**

1. Upon approval of the preliminary scope of work list, and floor plan layout, SAA, Inc. will commence the final development of the preliminary documents to detail for the preparation of the technical documents,
2. Option 1 - Use Owner provided "As Built" documents to allow for "redline" markups and notes to describe new scope of work – SAA, Inc. assumes Owner will allow use of documents for this purpose as Owners of the documents,
3. Option 2 – SAA, Inc. will redraw new floor plan layouts and other documents as necessary depending on extent of remodeling scope,
4. Finalize new room finish schedule, reflective ceiling plan, floor pattern plan, and necessary additional drawings, documents for the new scope of work,
5. Finalize mechanical (test and balance scope), electrical, and plumbing documents per the final scope of work; *see attached preliminary scope list*,
6. Finalize food service documents per final approval of prelim scope and budget; *see attached preliminary scope list*,
7. Develop project manual and specifications for the final scope for all team members and scope,
8. File, register, obtain plan review, and inspection with RAS for TDLR TAS HC standards.

### **BIDDING AND NEGOTIATION PHASE**

1. Assist Owner with the bidding and negotiation phase in order to obtain competitive bids for the execution of the work from qualified contractors,
2. Conduct in person Pre-Bid Conference to explain new scope of work and conduct site walk through to ensure bidders are fully aware of the scope of work,
3. Issue all necessary addendums, clarifications and review any possible product substitutions,
4. Review references of the apparent lower bidder and qualifications, with Architect to provide recommendation for awarding of the contract based on findings.

### **CONSTRUCTION ADMINISTRATION PHASE**

1. SAA, Inc. will assist the Owner in the execution of the construction administration phase overseeing the general contractor and respective subcontractors operations including onsite observation, coordination with city and public entity representatives for permitting, code compliance, field inspections, reviewing of the product submittals, shop drawings, testing and monitoring, punch lists, close out documents, and review and process monthly applications for payments as may be required being the Owner's agent and contact.

### **SERVICES:**

The professional architectural services include the services as described above.

### **CONSULTANTS:**

- SAA, INC. will include the following professional services consultants:

- **NRG Engineering, Inc. – Limited Mechanical, Electrical and Plumbing**  
Basic services for recommendations for replacement of selective lighting, power, communications, data, per new wall configurations, HVAC recommendations (testing and balancing of the A/C units and room ductwork registers) with minimal plumbing (per new public restroom reconfiguration) for the Mechanical / Electrical / Plumbing scope,
- **O'Connor Engineering and Science, Inc. – Limited Environmental Report**  
Basic services involving sample testing of the present finish wall, ceiling and floor finishes for clearance, if non-detected, of any asbestos materials allowing the City Building Development Services to issue the required building permit per ordinance. If the report identifies asbestos materials present in the building, the report will be used to include with the bidding documents to for abatement contractors to include in the scope of work. Note: No asbestos Phase II work plan fees and scope has been included as it is believed that the building is free of any asbestos materials. If required, this will be an extra fee TBD.
- **Specialties of Texas, Inc. – Rick Huegele** will be the licensed RAS (Registered Accessibility Specialist) which will file with TDLR, register, and conduct the required onsite inspection to ensure all ADA – TAS handicap requirements are in place and the building obtains the required certification.

**Note: No sound, acoustics, or audio-visual consultant services are included in this proposal.**

**COMPENSATION:**

*SAA, Inc. proposes to be compensated for the architectural, mechanical, electrical, plumbing, engineering, and environmental consultant services, with 1 set full size of hard copy production printing, 1 pin drive with pdf folder of documents, \$185,845.00 (includes a 10% contingency fee allowance to be used for unforeseen conditions or additional scope with approval from Owner reps) as herein provided (See attached breakdown – spreadsheet).* Compensation is requested at the completion of every month and/or at the conclusion of each service phase whichever comes first, plus the reimbursable expenses incurred during the billing period.

**Total A/E Compensation Pay and Task Schedule is proposed:**

Task One	Schematic Design Phase	\$ 28,475.00	3-5 Weeks
Task Two:	Construction Document Phase	\$ 82,765.00	6-8 Weeks
Task Three:	Bidding and Negotiation	\$ 9,560.00	4-5 Weeks
Task Four:	Construction Administration Phase	<u>\$ 48,150.00</u>	150-180 Calendar Days
<b>Total</b>		<b>\$168,950.00</b>	
<b>Contingency Allowance @10%</b>		<b>\$ 16,895.00</b>	
<b>Total Amount with Contingency Allowance</b>		<b>\$185,845.00</b>	

*\*Note: See attached fee breakdown – spread sheet.* We request that no retainage be placed on our services during our phased billings as this is not a standard in the professional services industry.

**SAA, Inc. will provide the required one set of record plans as provided by the general contractor (bond paper) of the plans and specs and one pin drive of the complete Acrobat**

**PDF electronic files of the final set of plans and specifications for the Owner's use at the bidding phase.**

**SERVICES NOT INCLUDED:**

- SAA, Inc. has not included any other specialized consultant. No additional fees, at this time, for *unforeseen or anticipated* services beyond items described above.
- No additional architectural fees beyond described in the fee proposal.

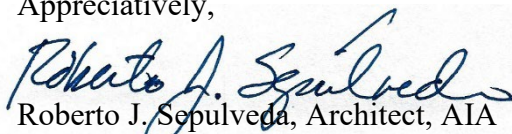
**REIMBURSABLE EXPENSES:**

We propose to be compensated for reimbursable expenses at 1.10 times the actual expense incurred by Sepulveda Associates Architects, Inc. Reimbursable expenses include, but may not be limited to the following items: (All items will require an amendment to our Formal Agreement)

- Travel expenses, food and lodging, and transportation outside a 30-mile radius of the Laredo area with advanced approval by Owner at cost plus 1.10
- Special mailing or shipping expenses of printed data, drawings, samples, etc. at cost plus 1.10
- Reproduction of printed data, plans and specs, other than inter-team consultant coordination printings
- Major progress REVIT or CAD plotting and/or printing at the end of each phase or review milestones are included in the cost of the basic services. *Major drawing changes after approvals* will be charged per architect's and respective consultant's hourly rates, additional plotting, or printing multiple sets of documents will be charged at the current commercial printing rates plus 1.10.

Again, we're **very grateful** for the opportunity. Please contact me if you require additional details or information. We look forward to working with you, your staff, and City Engineering on this important needed enhancement project for our community and Laredo Bridge Management.

Appreciatively,



Roberto J. Sepulveda, Architect, AIA  
President, Sepulveda Associates Architects, Inc.

Attachments: SAA, Inc. Fee Breakdown dated 7-1-24 and selected City Toll Building drawings and field notes.

**Copy:**

**Gloria P. Saavedra, Civil Engineer II**  
**Evelyn Gomez, Engineering Associate I**  
City of Laredo  
City Engineering Department  
1110 Houston Street  
Laredo, Texas 78040

**ARCHITECTURAL AND ENGINEERING PROFESSIONAL SERVICES  
CITY OF LAREDO  
WORLD TRADE BRIDGE - CITY TOLL BUILDING ENHANCEMENTS**

<b>SCHEMATIC DESIGN PHASE</b>					Approx.3-5 Weeks
<b>Architectural</b>					
<b>Classification</b>	<b>Rate</b>	<b>Hours</b>	<b>Cost</b>	<b>Subtotal</b>	<b>Total</b>
Architect - PM RJS	\$ 225.00	40.00	\$ 9,000.00		
Architect I RSS	\$ 175.00	60.00	\$ 10,500.00		
Architect II RDS	\$ 160.00	8.00	\$ 1,280.00		
Architect III MAS	\$ 150.00	0.00	\$ -		
Intern Architect JH	\$ 110.00	0.00	\$ -		
Cost Estimating - Principal RJS	\$ 140.00	4.00	\$ 560.00		
Clerical RCS	\$ 70.00	10.00	\$ 700.00		
Supplies, plots, printing, gas, etc.			\$ 880.00	\$ 22,920.00	
MEP Engineering Consultant	\$ 2,800.00	1.10	\$ 3,080.00	\$ 3,080.00	
Environmental Abatement Report	\$ 2,250.00	1.10	\$ 2,475.00	\$ 2,475.00	
<b>TOTAL SCHEMATIC DESIGN PHASE</b>				<b>\$ 28,475.00</b>	<b>\$ 28,475.00</b>
<b>CONSTRUCTION DOCUMENT PHASE</b>					Approx.6-8 Weeks
<b>Architectural</b>					
<b>Classification</b>	<b>Rate</b>	<b>Hours</b>	<b>Cost</b>	<b>Subtotal</b>	
Architect - PM RJS	\$ 225.00	110.00	\$ 24,750.00		
Architect I RSS	\$ 175.00	120.00	\$ 21,000.00		
Architect II RDS	\$ 160.00	40.00	\$ 6,400.00		
Architect III MAS	\$ 150.00	0.00	\$ -		
Intern Architect JH	\$ 110.00	0.00	\$ -		
Cost Estimating - Principal RJS	\$ 140.00	24.00	\$ 3,360.00		
Clerical RCS	\$ 70.00	20.00	\$ 1,400.00		
Supplies, plots, printing, gas, etc.			\$ 1,380.00	\$ 58,290.00	
MEP Engineering Consultant	\$ 18,800.00	1.10	\$ 20,680.00	\$ 20,680.00	
TDLR TAS HC Filing, Register, Insp	\$ 3,450.00	1.10	\$ 3,795.00	\$ 3,795.00	
<b>TOTAL CONSTRUCTION DOCUMENT PHASE</b>				<b>\$ 82,765.00</b>	<b>\$ 82,765.00</b>
<b>BIDDING AND NEGOTIATION PHASE</b>					Approx.4-5 Weeks
<b>Architectural</b>					
<b>Classification</b>	<b>Rate</b>	<b>Hours</b>	<b>Cost</b>	<b>Subtotal</b>	
Architect - PM RJS	\$ 225.00	24.00	\$ 5,400.00		
Architect I RSS	\$ 175.00	12.00	\$ 2,100.00		
Architect II RDS	\$ 150.00	0.00	\$ -		
Architect III MAS	\$ 150.00	0.00	\$ -		
Intern Architect JH	\$ 110.00	0.00	\$ -		
Clerical RCS	\$ 70.00	8.00	\$ 560.00		
Supplies, plots, printing, etc.			\$ 1,500.00	\$ 9,560.00	
<b>TOTAL BIDDING AND NEGOTIATION PHASE</b>				<b>\$ 9,560.00</b>	<b>\$ 9,560.00</b>
<b>CONSTRUCTION ADMINISTRATION PHASE</b>					Approx. 150-180 Calendar Days
<b>Architectural</b>					
<b>Classification</b>	<b>Rate</b>	<b>Hours</b>	<b>Cost</b>	<b>Subtotal</b>	
Architect - PM RJS	\$ 225.00	120.00	\$ 27,000.00		
Architect I RSS	\$ 175.00	60.00	\$ 10,500.00		
Architect II RDS	\$ 150.00	0.00	\$ -		
Architect III MAS	\$ 150.00	0.00	\$ -		
Intern Architect JH	\$ 110.00	0.00	\$ -		
Clerical RCS	\$ 70.00	40.00	\$ 2,800.00		
Supplies, plots, printing, etc.			\$ 1,800.00	\$ 42,100.00	
MEP Engineering Consultant	\$ 5,500.00	1.10	\$ 6,050.00	\$ 6,050.00	
<b>TOTAL CONSTRUCTION DOCUMENT PHASE</b>				<b>\$ 48,150.00</b>	<b>\$ 48,150.00</b>
<b>TOTAL A &amp; E FEES</b>					<b>\$ 168,950.00</b>
					Approx. 240-300 Calendar Days
<b>CONTINGENCY ALLOWANCE</b>	10%	\$ 168,950.00			<b>\$ 16,895.00</b>
(Unforeseen Or Additonal Scope)					
<b>TOTAL A &amp; E FEES W/ CONTINGENCY ALLOWANCE</b>					<b>\$ 185,845.00</b>

**ARCHITECTURAL AND ENGINEERING SERVICES**  
**PRELIMINARY SCOPE OF WORK**  
**CITY OF LAREDO - WORLD TRADE BRIDGE - CITY TOLL BUILDING ENHANCEMENTS**

ITEM	LOCATION OR ROOM	PROPOSED IMPROVEMENTS	NOTES
1	<b>Customer Area 1</b>	Replace ceiling lighting	LED fixtures - new energy code
2		Add counters up against windows	Counter ht. below window sills, power?
3		Reduce room size,	Allow coupon counter room to enlarge
		Replace flooring, base	Selective demo required
4		Review moisture issue abv windows	Exterior plaster issue - moisture barrier
5		Relocate Kiosk	power and data required at expansion
6		Create new door opening at RR	Rework AC diffusers, lights, fire sprinkler,
7	<b>New Vestibule</b>	Create Room at Entry	Possible Alternate
8		Add Alum storefront, doors, window	Keep existing canopy, new hardware
9		Add roof insulation, SSR panels	Rigid insulation, soffit, SSR panels
10		Add wall lights, power,	New LED light
11		Add floor tile, seal cost to stone	New finishes
12		Add HVAC mini-split - condenser	Wall mounted unit
13		Relevel floor - slab	Positive slope at new door entry
14	<b>Restroom 2</b>	Replace fixtures, lavatory, toilet	Lavatory - original hardware, review P-traps, cut off valves - reached lifespan, flush valve
		Replace all light fixtures	LED fixtures - new energy code
15		Repaint all walls	Reconfigure plumbing lines, fixtures
16		Relocate extg door/frame	Reuse hardware, new diaper changing unit
17		Review and replace wall devices	Soap, towel, and hand dryers, etc...
18		Selective demo of wall framing	Tape, float, textures, etc...
19	<b>Coupon Counter 3</b>	Selective demolition of counters	Remove - salvage millwork, safety glass
20		Reconfigure space more more stations - maximize as possible	New larger "L" shape stations with new stainless steel counters, data, power,
21		Relocate and reconfigure walls, to create large room allowing for additional stations, double if possible - TBD, keypad access	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..
22	<b>Hallway 4</b>	Reconfigure hallway per new layout of the adjacent spaces	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, window units, safety glass, etc. water fountain
23	<b>Superintendent's Office 5</b>	Reconfigure room per new layout of the adjacent spaces including the expanded Customer Stations	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..

**ARCHITECTURAL AND ENGINEERING SERVICES**  
**PRELIMINARY SCOPE OF WORK**  
**CITY OF LAREDO - WORLD TRADE BRIDGE - CITY TOLL BUILDING ENHANCEMENTS**

ITEM	LOCATION OR ROOM	PROPOSED IMPROVEMENTS	NOTES
24	<b>Supervisor's Office 6</b>	Reduce room size allowing for the expansion of the Customer Wall Stations and Lobby	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..
25		Review moisture issue abv windows	Exterior plaster issue - moisture barrier
26		Hallway window to be relocated	Relocate window unit to adjacent office
27	<b>Vault 7</b>	Complete remove room walls, vault door allowing for expansion of adjacent rooms	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..
28		Salvage vault door for Owner	Stand-alone vault by Owner
29		Relevel floor tilework	Identify area and limits for releveling and tile replacement
30	<b>Cashier's Counting 8</b>	Enlarge existing room by encompassing the adjacent rooms allowing for additional workstations	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..
31		Create a private office for supervisor within this new area	New office will require windows for clear viewing of the adjacent Coupon Counter stations
32		New studs, window frames, etc.	New suspended ceiling, floor tile, wall gyp bd, texture, painted finishes, AC, sprinkler heads, and reuse door, frame, hardware etc.
33	<b>Tech Work Room 25</b>	Create new office within space	New suspended ceiling, floor tile, wall gyp bd, texture, painted finishes, AC, sprinkler heads, and reuse of door, frame, and hardware, etc.
34		Rework extg space to create more efficiency for storage	Refinish the extg butcher block counter tops
35		Provide more metal shelving	Prepare layout for review of options
36		Replace extg plastic laminated millwork	New wall mounted millwork to be taller to allow for more storage
37		Selective demo including millwork, and new door, frame from hallway	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, sprinkler heads, fire alarm devices, AC diffusers, etc..

**ARCHITECTURAL AND ENGINEERING SERVICES**  
**PRELIMINARY SCOPE OF WORK**  
**CITY OF LAREDO - WORLD TRADE BRIDGE - CITY TOLL BUILDING ENHANCEMENTS**

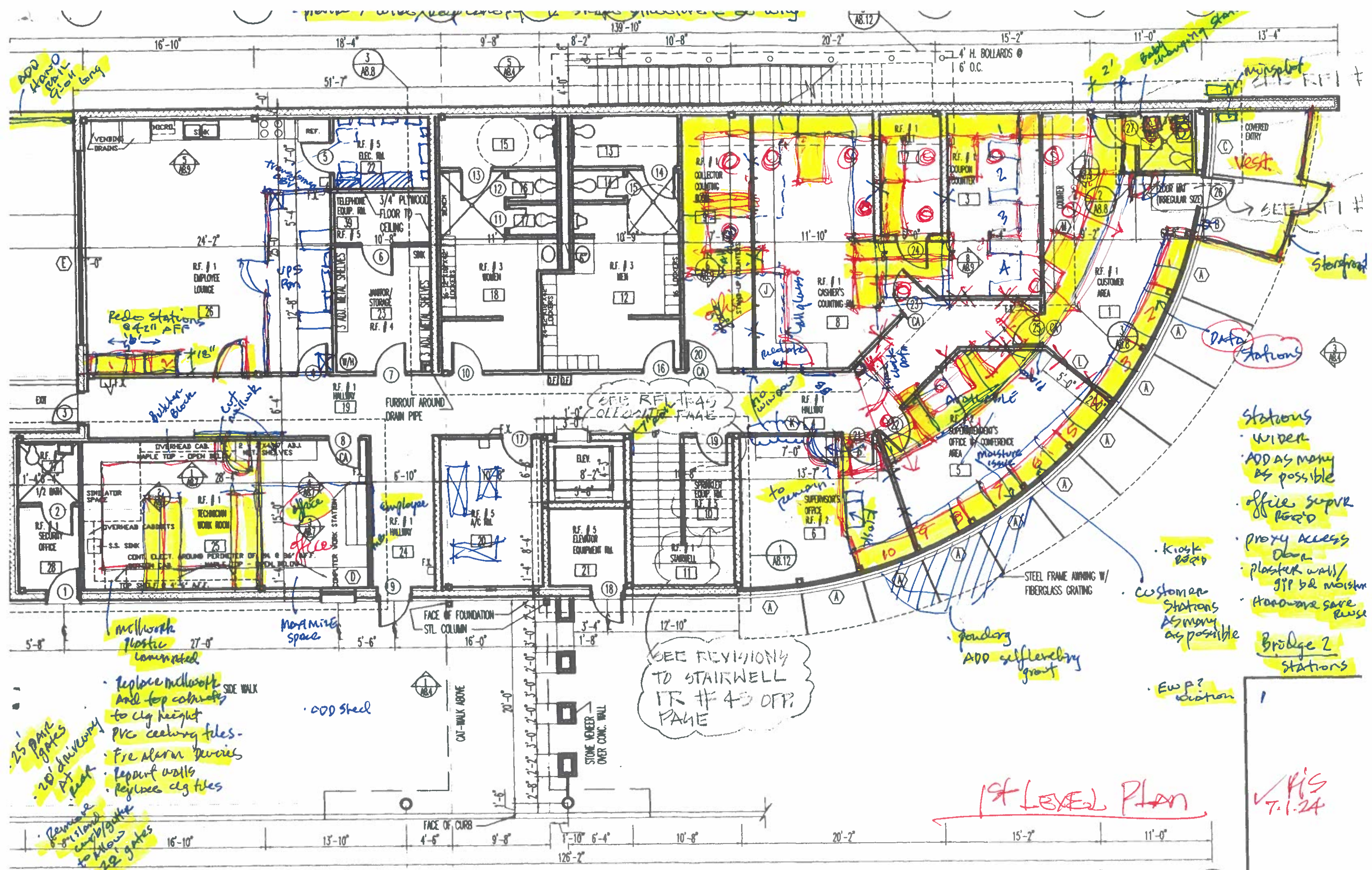
38		Relocated hallway marker boards	Required for installation of new wooden door and frame at New Office of Rm 25
39	<b>Employee Lounge 26</b>	Replace workstations	New wooden / plastic laminated employee work stations approx. 6' long at 42" AFF
40		Salvage units for owner	Touch up wall paint as required
41	<b>Conference Room 29</b>	Enlarge room by the removal of the adjacent office party wall	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, safety glass, sprinkler heads, fire alarm devices, AC diffusers, etc..
42		Prepare new conference table options for review and approval	Upon approval, include allowance for purchase in the GC contract with selection of vendor by owner reps and Architect
43		Possible replacement of the room finishes	Upgrades to suspended ceiling tiles, possible furr downs, etc...
44		Table layout options for a min of 30 persons and 20 side chairs	Table options to allow for presentations with larger TV - min 90" and AV presentations
45		Relocate AV equipment / screen	Coordinate items with the IT Dept staff
46		Ensure 2nd Emergency Exit is created	Per code requirement, exceeding 1000 SF
47		Coord floor tile replacement	Secure same tile for replacement at location where wall will be removed
48	<b>Computer Room 31</b>	Create New Office within space	New suspended ceiling, floor tile, wall gyp bd, texture, painted finishes, AC, sprinkler heads, and reuse of door, frame, and hardware, etc.
49		Selective demo including work stations - furniture, and new door, frame from hallway	Selective demo includes walls, power, lighting, ceilings, door, hardware, frame, flooring, interior wall window units, sprinkler heads, fire alarm devices, AC diffusers, etc..
50		Create New Walk in Storage Room	Access from New office with new similar finishes per office
51		Install window toward Hallway and Computer Room	Possible reuse of window units from first floor if salvagable
52	<b>Exterior Site Work</b>	Create new metal cover at pavement	New metal "L" shape open cover for the protection of the outdoor grass cutting maintenance equipment - North side pavement
53		Possible striping at pavement	Equipment spacing and fire lane
54		Possible power outlets & lights	Waterproof type, research nearest circuits



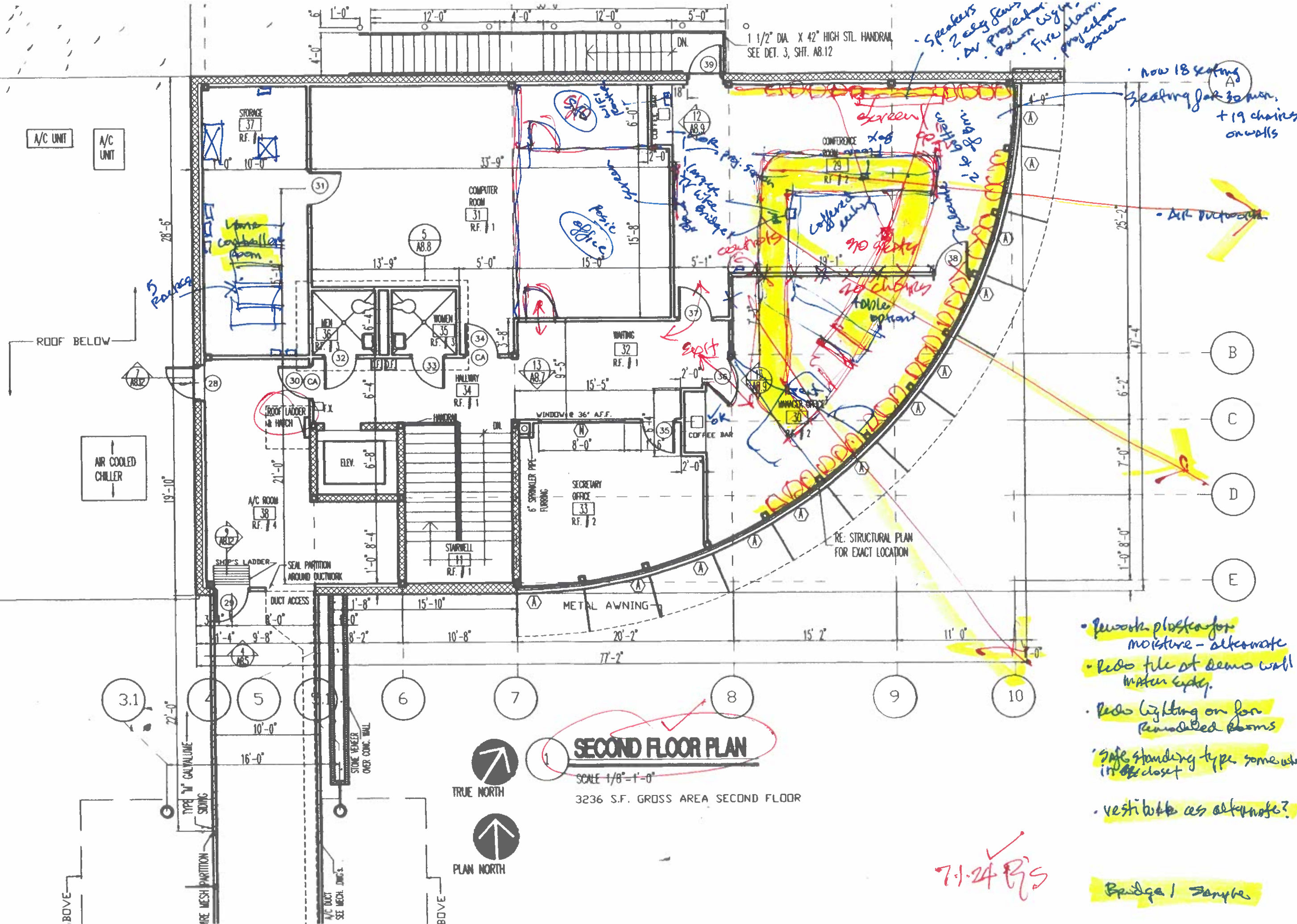
**ARCHITECTURAL AND ENGINEERING SERVICES**  
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**CITY OF LAREDO - WORLD TRADE BRIDGE - CITY TOLL BUILDING ENHANCEMENTS**

55		Existing pair chain link fence to be reworked to provide 25' opening	New or modify fence / pair gates for compliance with 20' fire lane access to toll lanes
56		Rework exisitng header curb at edge of driveway	Selective demoliton required fro new larger - wider gates
57	<b>Misc Items</b>	Minor items to be determined	Architectural, Mechanical, Electrical and Plumbing per code review and site wlakthroughs by team consultants









# SECOND FLOOR PLAN

SCALE 1/8"=1'-0"  
3236 S.F. GROSS AREA SECOND FLOOR



- new work plaster for moisture - alternate
- redo tile at demo wall water entry.
- redo lighting on for remodeled rooms
- safe standing type some where in closet
- vestibule as alternate?

7.1.24 BJS

Bridge / Sample