

# NEZ INFORMATION

1. Application #: ED-2025-001
2. Address: 2907 San Luis
3. Owner: Aaron Gonzalez
4. Email: agonzalezeng22@gmail.com
5. Phone Number: 956-775-8506
6. Application Submittal Date: June 27, 2025
7. Legal Description: E1/3-3 & W1/3-4 BLK 1760 ED
8. Geo-ID: 559-01760-030
9. Property ID: 180137
10. Zoning: R-3
11. City Council District: 2
12. NEZ District: 2
13. NEZ Type: New Construction
14. NEZ Project: Multi-Family
15. Property Use: Apartments – 10 Units
16. Square Footage: 6300
17. Number of years abated: 10 (Complies with Section B.2a for 100%, 10 Year Abatement)
18. Current Property value: \$52,500
19. Email Sent to Tax Department: July 11, 2025
20. Property Liens: NONE
21. Capital Investment: \$650,000
22. Estimated Total Permits Fees: \$6,701
23. Estimated Annual Tax Abatement: \$3,299.55
24. **Estimated Total Tax Abatement: \$32,995.20**
25. Resolution Number: 2025-R-178
26. City Council Meeting Date: August 4, 2025



CITY OF LAREDO  
NEIGHBORHOOD EMPOWERMENT ZONE (NEZ) PROGRAM



**PROJECT CERTIFICATION APPLICATION**

**I. Application Checklist – please submit the following documentation**

- ☒ A completed application form
- ☒ **Non Refundable Application fee** – For basic incentives application **excluding** Tax Abatement, the application fee is \$100.00. For multi-family, commercial, industrial, commercial facilities, and mixed-use tax abatement application; 0.5% of the total Capital Investment of the project, with a \$150.00 minimum and not to exceed \$1,000.00; for residential **tax abatement** applications: \$100.00 per house.
- ☒ Proof of ownership, such as a warranty deed, affidavit of heirship, or a probated will **OR** evidence of site control, such as option to buy (**A registered warranty deed is required for a tax abatement application**)
- ☒ A reduced 11 x 17 floor plan, site plan, and site elevation with a written detailed project description that includes a baseline performance standard and a construction time
- ☒ A detailed line item budget showing the cost breakdown for the project
- ☐ Appraisal Card from Webb County Appraisal District

**The City Ethics Code prohibits certain city officials and employees, as well as their close family members and any businesses they or their families hold a 10% or greater ownership interest from having a financial interest in a contract, purchase or sale with the City. Please refer to Section 2.09 of the City Ethics Code (Prohibited Interest in Contracts) for complete information. If you have any questions, please contact the City Attorney's Office to request to speak with the Ethics Compliance Officer at (956) 791-7319.**

Currently, or within the past twelve (12) months, have you, your spouse, sibling, parent, child or other family member within the third degree of consanguinity or second degree of affinity served as a City of Laredo official or employee? If so, please provide the name of the official or employee, dates of service, and relationship to the official or employee.

I, Aaron Oscar Gonzalez, am currently employed by the city of Laredo. I was hired March 13th 2024.

Currently, or within the past twelve (12) months, has an owner, partner, or employee of a business entity in which you, your spouse, parent, child own 10% or more of the voting stocks or shares, or 10% or more of the fair market value served as a city official or employee? If so, please provide the name of the official or employee, dates of service, and relationship to the official or employee.

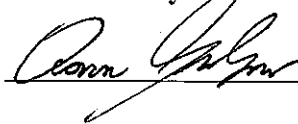
No.

- ☒ Are you aware of any fact(s) with regard to this application that would raise a "conflict of interest" issue under Section 2.01 of the City Ethics Code for any city official or employee. If so, please explain.

I am aware and I don't believe this application would raise a conflict of interest.

Answering in the affirmative to any of the questions above will require this application be referred to the City Attorney's Office for review and determination on whether your project would violate any of the applicable provisions of the City of Laredo Code of Ethics.

Applicant's Signature:



Date: June 27th 2025

WARNING: THIS IS A GOVERNMENT DOCUMENT TEXAS PENAL CODE, SECTION 37.10 SPECIFIES PENALTIES FOR MAKING FALSE ENTRIES OR PROVIDING FALSE INFORMATION IN THIS DOCUMENT

Incomplete applications will not be processed for certification until all required documents shown in the above checklist are submitted within 30 days after the application is received.

You must apply for tax abatement before any building permits are issued for your property and before any improvements are made to your property. It takes 30-60 business days to complete the Tax Abatement Agreement approval process after the issuance of the NEZ Certification depending on the complexity of your project. All building permits must be pulled within the 12 month period that certification was approved, or within 12 month period that the tax abatement was approved or you will be required to re-apply for NEZ incentives.

## II. Applicant/Agent Information

1. Applicant: Aaron Oscar Gonzalez & Clarissa Analy Gonzalez

2. Contact Person: Aaron Oscar Gonzalez

3. Address: 334 Lake Carnegie Ct. Laredo TX 78045

Street

City

State

Zip

4. Phone Number: (956)-775-8506

5. Fax No.:

6. E-Mail: agonzalezeng22@gmail.com

7. Agent (if any):

8. Project Address: 2907-2909 San Luis St. Laredo TX 78046

Street	City	State	Zip
<u>(956)-775-8506</u>			

9. Phone No.: \_\_\_\_\_

10. E-Mail: agonzalezeng22@gmail.com

## PROJECT ELIGIBILITY

- 1. Please list down the addresses and legal descriptions of the project. Attach metes and bounds description if no address or legal description is available. Attach a map showing the location of the project.**

**Table 1**      **Property Ownership**

Address (Project Location)	Zip Code	Subdivision Name	Lot No.	Block No.	Base Year Valuation	Tax Year
2907 San Luis	78046	Eastern13	E1/3-3	1760	\$52,500	2025
2909 San Luis	78046	Eastern13	W2/3-3	1760	\$52,500	2025

- 2. For each property listed in Table 1, please check the boxes below to indicate if:**

There are taxes past due ☐ Yes ☒ No

There are City liens ☐ Yes ☒ No

You (meaning the applicant, developer, associates, agents, principals) have been subject to an Order of Demolition where the property was demolished within the last 5 years. ☐ Yes ☒ No

**Table 2**      **Property Taxes and Liens**[illegible]

(Please see attached sheets of paper as needed.)

If there are taxes due or liens against any property in the City of Laredo you may not be eligible for NEZ incentives.

3. Does the proposed project conform to the City of Laredo zoning? ☒ Yes ☐ No

If no, what steps are being taken to ensure compliance?

4. Project Type:	<input type="checkbox"/> Single Family	<input checked="" type="checkbox"/> Multi- Family	<input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial	<input type="checkbox"/> Community Facilities	<input type="checkbox"/> Mixed-Use
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☐ Owner Occupied

☒ Rental Property

5. Please describe the proposed residential or commercial project and provide 11 x 17 drawing: \_\_\_\_\_  
10 Unit apartment Complex, 2-story building, all one bedroom one bath units

6. If your project is commercial, industrial, or mixed-use project, please describe the types of business that is being proposed: N/A

7. Is this new construction or rehabilitation project? ☒ New Construction ☐ Rehabilitation

8. How much is the total development cost of your project? \$650,000

9. Will the eligible rehabilitation work equal to at least 20% of the Webb County Appraisal District (WEEBCAD) assessed value of the structure during the year rehabilitation occurs? ☐ Yes ☒ No

- Eligible rehabilitation includes only physical improvements to real property. It does NOT include: Front yard fencing consisting of chain-link or solid material construction; personal property such as furniture, equipment, and/or supplies. Total eligible rehabilitation costs shall equal to 20% of WEEBCAD appraised value of the structure during the year rehabilitation occurs.

10. How much is the total square footage of your project? 6300 sq. ft.

11. For a single family homeownership, mixed-use, or multi-family development project, please fill out the number of residential units.

**Table 3      Number of Residential Units**

Number of Unites	Percentage
10	100%

12. **For a commercial, industrial, or community facilities project, indicate square footage of non-residential space.**

Commercial	Industrial	Community Facilities

13. **What is your Capital Investment\*\*\*for this project? Please use the following table to provide the detail and amount of your Capital Investment (Attached additional sheets if necessary).**

**Table 4      Itemized Budget of the Project**

Item	Amount	Notes
Construction Cost	\$650,000	Please see cost Breakdown
<b>TOTAL</b>	\$650,000	

\*\*\*Capital investment includes only real property improvements such as new facilities and structures, site improvements, facility expansion, and facility modernization. Capital Investment DOES NOT include land acquisition costs and/or any existing improvements, or personal property (such as machinery, equipment, and/or supplies or inventory).

14. **For a mixed-use project, please indicate the percentage of all uses in the project in the following table.**

**Table 5      Percentages of uses in a Mixed Use Project**

Type	Square Footage	Percentage
<b>TOTAL</b>		

**III. INCENTIVES - What incentives are you applying for?**

**Municipal Property Tax Abatements**

- |   |  |  |
|---|--|--|
| <input checked="" type="checkbox"/> 5 years         | <input type="checkbox"/> More than 5 years           | <input checked="" type="checkbox"/> Apartments |
| <input type="checkbox"/> Residential Owner Occupied | <input type="checkbox"/> Residential Rental Property | <input type="checkbox"/> Commercial            |

**Development Fee Waivers**

Select all that applies

- ☒ All building permit related fees (including Plans Review and Inspection)
- ☐ Plat application fee (including concept plan, preliminary plat, final plat, short form replat)
- ☐ Zoning application fee
- ☐ Board of Adjustment Application Fee
- ☐ Demolition Fee
- ☐ Structure Moving Fee
- ☐ Street Utility Easement vacation application fee

**Impact Fee Waivers**

- ☐ Water (Meter Size \_\_\_\_\_) (No. of meters \_\_\_\_\_) ☐ Transportation

**IV. Release of City Liens**

Are there any outstanding city liens pending

- |                                     |  |  |   |
|-------------------------------------|--|--|---|
| <input type="checkbox"/> Weed Liens | <input type="checkbox"/> Paving Liens  | <input type="checkbox"/> Board up-open structure Liens | <input type="checkbox"/> Demolition Liens |
| <input type="checkbox"/> NONE       | <input type="checkbox"/> I do not know |  |   |

**V. ACKNOWLEDGMENTS**

I hereby certify that the information provided is true and accurate to the best of my knowledge.

I understand that the approval of fee waivers included those waived under expedited fee waiver process, and other incentives shall not be deemed approved of any aspect of the project and that the application must be ratified by the City Council. I understand that I am responsible in obtaining required permits and inspections from the City and in ensuring the project is located in the correct zoning district. If denied by City Council I understand that I am responsible for all fees previously waived.

City Council retains sole authority to approve or deny any tax abatement agreement, permit fees waivers all applications certified under the expedited Building Permit fee waiver

**AARON O. GONZALEZ**



**6/27/2025**

PRINTED OR TYPED NAME

AUTHORIZED SIGNATURE

DATE

G# 2407643

**NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OR ALL OF THE FOLLOWING INFORMATION FROM ANY INSTRUMENT THAT TRANSFERS AN INTEREST IN REAL PROPERTY BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.**

**Warranty Deed with Vendor's Lien**

**Date:** November 15, 2024

**Grantor:** Juan Martinez, Jr.

**Grantor's Mailing Address:**

915 Sutherland Dr.  
Stockton, CA. 95210  
San Joaquin County

**Grantee:** Aaron Gonzalez

**Grantee's Mailing Address:**

334 Lake Carnegie Ct.  
Laredo, Texas 78041  
Webb County

**Consideration:** Cash and a note of even date executed by Grantee and payable to the order of Falcon International Bank in the principal amount of **EIGHTY THREE THOUSAND FOUR HUNDRED SEVENTY FIVE AND NO/HUNDREDTHS DOLLARS (\$83,475.00)**. The note is secured by a first and superior vendor's lien and superior title retained in this deed in favor of Falcon International Bank and by a first-lien deed of trust of even date from Grantee to Ray A. Gonzales, Trustee.

**Property (including any improvements):**

The West 2/3 of Lot 3, the East 1/3 of Lot 3 and the West 1/3 of Lot 4, in Block 1760, of EASTERN DIVISION, an addition to the City of Laredo, Webb County, Texas.

**Reservations from and Exceptions to Conveyance and Warranty:**

1. All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records.



2. All leases, grants, exceptions or reservations of the geothermal energy and associated resources below the surface of the land, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records.

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors, and assigns against every person whomsoever lawfully claiming or to claim the same or any part thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

The vendor's lien against and superior title to the Property are retained until the note described is fully paid according to its terms, at which time this deed will become absolute.

Falcon International Bank at Grantee's request, has paid in cash to Grantor that portion of the purchase price of the Property that is evidenced by the note. The first and superior vendor's lien against and superior title to the Property are retained for the benefit of Falcon International Bank and are transferred to Falcon International Bank without recourse against Grantor.

When the context requires, singular nouns and pronouns include the plural.

*Juan Martinez, Jr.*

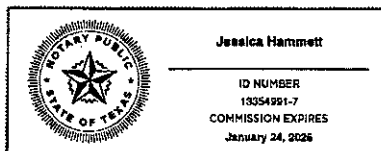
Juan Martinez, Jr.

(Acknowledgment)

STATE OF Texas §

COUNTY OF Bell §

This instrument was acknowledged before me on this the 15th day of November, 2024, by Juan Martinez, Jr.



*Jessica Hammett*  
Notary Public, State of Texas  
My commission expires: 01/24/2026

Electronically signed and notarized online using the Proof platform.

GF No. 2407643

AFTER RECORDING RETURN TO:

STEWART TITLE COMPANY  
1016 MONACO BLVD.  
LAREDO, TX 78045

PREPARED IN THE LAW OFFICE OF:

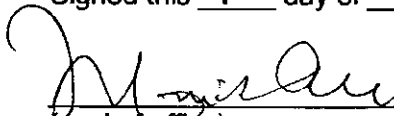
RITCHIE LAW GROUP PLLC  
493 MADISON STREET  
EAGLE PASS, TX 78852

**DECLARATION OF AUTHENTICITY**

State of Texas  
County of Webb

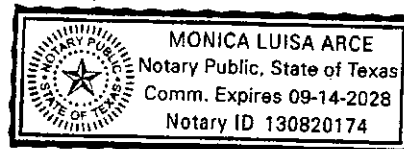
The attached document, Warranty Deed with Vendor's Lien,  
dated November 15, 2024 and containing 3 pages, is a true and correct copy  
of an electronic record printed by me or under my supervision. At the time of printing, no  
security features present on the electronic record indicated any changes or errors in an  
electronic signature or other information in the electronic record after the electronic record's  
creation or execution. This declaration is made under penalty of perjury.

Signed this 15<sup>th</sup> day of November, 2024.

  
(seal of office) \_\_\_\_\_ (signature of notary public or other officer)

Monica L Arce (printed name of notary public or other officer)

My commission expires: 09/14/2028



DOC #1544617  
Recorded 11/27/2024 08:17:23 AM

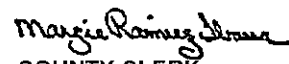


By: Maria Guadalupe Vara, DEPUTY  
MARGIE RAMIREZ IBARRA, COUNTY CLERK  
Fees: \$37.00

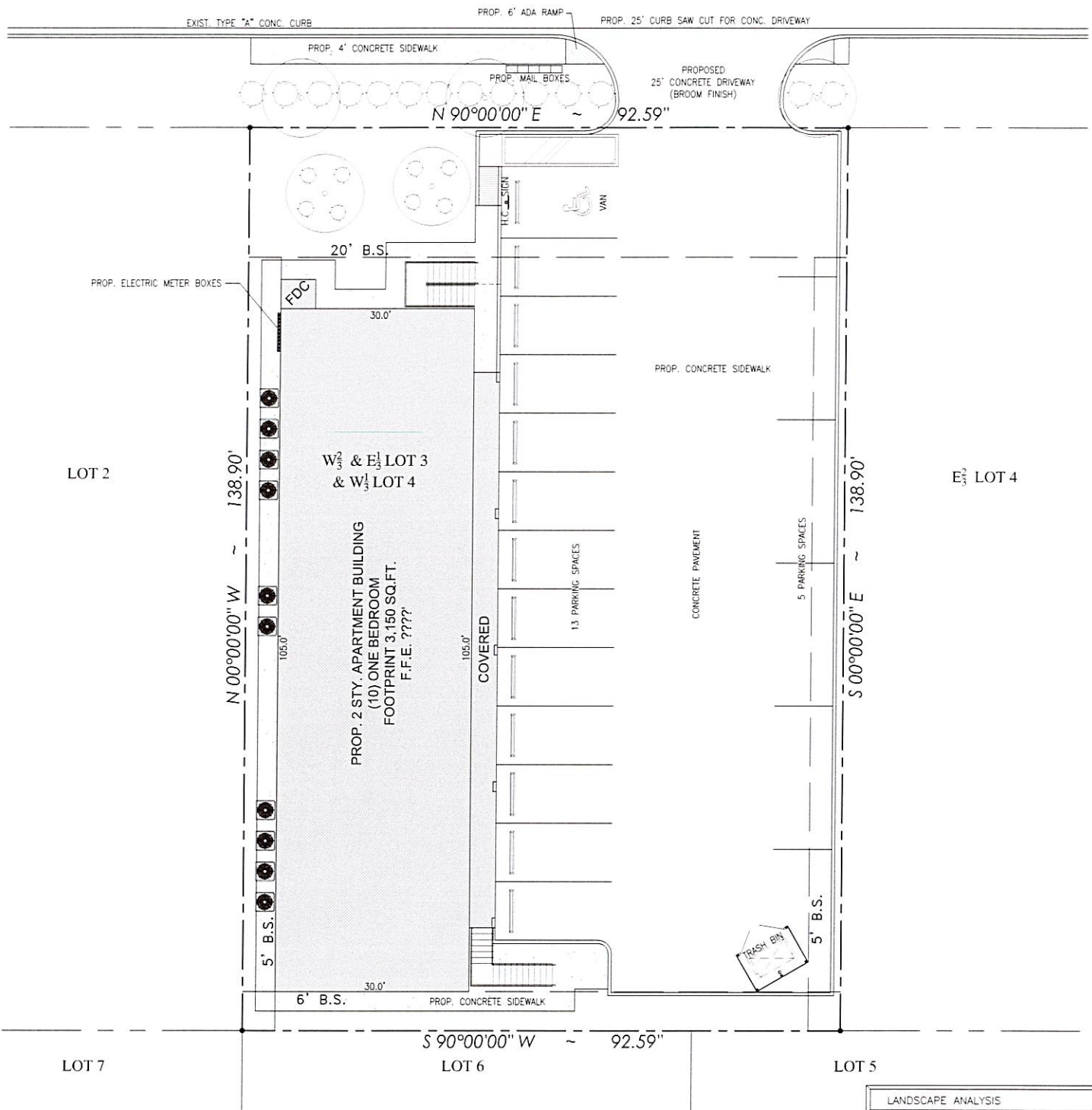
STATE OF TEXAS  
COUNTY OF WEBB

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS  
FILED ON THE DATE AND AT THE TIME STAMPED  
HEREON BY ME AND WAS DULY RECORDED IN THE  
VOLUME AND PAGE OF THE OFFICIAL PUBLIC  
RECORDS OF WEBB COUNTY TEXAS AS STAMPED  
HEREON BY ME



  
COUNTY CLERK  
WEBB COUNTY, TEXAS

SAN LUIS STREET  
(55.56 R.O.W.)



SITE ANALYSIS	
PROPOSED BUILDING FOOTPRINT	3,150 sq.ft.
PROPOSED CONCRETE SIDEWALK	1,204 sq.ft.
PROPOSED CONCRETE PARKING LOT	6,769 sq.ft.
LANDSCAPE AREA	1,738 sq.ft.
TOTAL LAND AREA	12,861 sq.ft.

SITE LAYOUT NOTES

- THE HORIZONTAL AND VERTICAL LOCATION OF EXISTING SUBSURFACE UTILITIES HAVE BEEN DETERMINED FROM DATA PROVIDED BY OTHERS. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES WITHIN THE AREA OF CONSTRUCTION THAT ARE TO REMAIN IN SERVICE. CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF BUILDING. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

- REFER TO SHEET C-01 FOR DETAILS AND DIMENSIONS OF HC CURB RAMP, SIDEWALK/RAMP, SIDEWALK EDGE, SIDEWALK TOOLED JOINT, SIDEWALK EXPANSION JOINT, HC PARKING STOP, FIVE BILLIARDS, HC PARKING STRIP, AND DUMPSTER ENCLOSURE.
- REFER TO LANDSCAPE PLANS FOR DETAILS AND DIMENSIONS OF LANDSCAPE AND HARDSCAPE AREAS.

SITE PLAN GENERAL NOTES:

- THE CONTRACTOR SHALL SECURE ALL PERMITS AND PAY ALL FEES.
- DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR CONDITIONS AT THE SITE AND REPORT TO DISCREPANCIES TO THE DESIGNER PRIOR TO PROCEEDING WITH WORK.
- ALL HAZARDOUS MATERIAL IDENTIFICATION, HANDLING AND REMOVAL SHALL BE DIRECTED AND EXECUTED BY A LICENSED CONTRACTOR LEGALLY AUTHORIZED TO PERFORM SUCH WORK.
- IDENTIFY AND PROTECT KNOWN UTILITIES (ABOVE AND BELOW GROUND) FROM DAMAGE, STAKE AND FLAG LOCATIONS OR CALL UTILITY COMPANY TO MARK LOCATIONS.
- IDENTIFY AND PROTECT ALL EASEMENT, STAKE AND FLAG LOCATIONS.
- CONTRIM SURVEY BENCHMARKS AND INTENDED ELEVATIONS.
- PROTECT ALL TREES WITH PROTECTIVE NETTING 24" MIN. DIA.
- PROVIDE DESIGNATED TRASH WASH ZONE 15' FROM ANY TREE. ALL TOOL CLEANUP SHALL BE PERFORMED IN DESIGNATED AREA.

PARKING LOT ANALYSIS

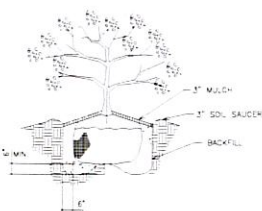
PROPOSED LAND USE	APARTMENT COMPLEX
PREVIOUS LAND USE	VACANT
APARTMENT DWELLINGS	(10) 1 BEDROOM
NUMBER OF PARKING SPACES REQUIRED FOR PROPOSED DEVELOPMENT	(24-78.3 PARKING SPACE FORMULAS)
APARTMENT DWELLINGS	(10 one bedroom x 1.5 spaces) = 15 spaces (10 units/4) x 1 spaces = 3 spaces TOTAL = 18 spaces
NUMBER PARKING SPACES PROVIDED	18 PARKING SPACES

LANDSCAPE ANALYSIS

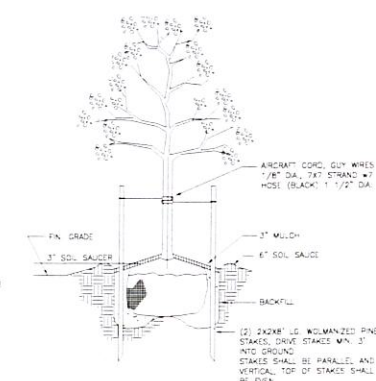
LENGTH OF PROPERTY LINE (ARKANSAS AVE)	92.59' IN. / 30' = 3 STREET TREES
PARKING LOT TREES	18 STALLS/18' = 2 PARKING LOT TREES
TOTAL TREE REQUIREMENT	5 TREES
TOTAL SHRUB REQUIREMENT	5 TREES x 4 = 20 SHRUBS

PLANT SCHEDULE

SYMBOL	KEY	QTY.	SCIENTIFIC NAME	COMMON NAME	SIZE	CHARACTERISTICS
LO	5		QUERCUS VIRGINIANA	LIVE OAK	1.25' CALIPER	EVERGREEN SHADE TREE
RM	20		ROSMARINUS OFFICINALIS	ROSEMARY	1 GAL.	FRAGRANT BLUE-GREEN FOLIAGE, BLUE FLOWERS, HERB



SHRUB PLANTING



TREE PLANTING

SITE PLAN

SCALE: 1" = 10'-0"  
GRAPHIC SCALE  
SCALE: 1" = 10 FEET

- IRRIGATION REQUIREMENTS (24.83 10.3-15)
- THE INSTALLATION OF A SUPPLEMENTAL IRRIGATION SYSTEM IS REQUIRED TO GIVE THE TREES AND SHRUBS AN ADEQUATE AMOUNT OF WATER WITHOUT WASTE. ALL REQUIRED LANDSCAPING SHALL BE IRRIGATED BY EITHER AN UNDERGROUND SPRINKLING SYSTEM, DROPPED IRRIGATION SYSTEM OR A HOSE ATTACHMENT WITHIN 100 FEET (100'-0") OF THE LANDSCAPED AREA.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED AND CALIBRATED IN ORDER TO THOROUGHLY SOAK THE ROOT AREA OF THE PLANT AREA WITH THE FREQUENCY NECESSARY TO ESTABLISH MOIST PLANTED TREES AND SHRUBS AND TO SUSTAIN THEIR HEALTHY GROWTH.
- THE SYSTEM USED SHALL BE DESIGNED TO MINIMIZE THE AMOUNT OF SPRAY THAT WILL FALL ON SIDEWALKS, NEIGHBORING PROPERTIES AND ADJACENT BUILDINGS IN ORDER TO ACHIEVE WATER CONSERVATION. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR IRRIGATION AS WELL AS REGULAR MAINTENANCE OF THE TREES AND SHRUBS.

ISSUE LOG 4/5/2025

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

Job No.: 011-25  
Designed by: HE  
Drawn by: HE  
Checked by: JT

THE TEN  
APARTMENTS  
2909 SAN LUIS STREET  
LAREDO, TX 78046

JL Trevino & Associates P.L.L.C.  
5450 Northwest Central Dr., Ste. 123  
Houston, Texas 77092  
(281) 433-8688/(713) 957-5105  
jitandassociates@gmail.com  
TX EIT # 150310

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INTERIM REVIEW ONLY  
THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF  
P.E. JORGE TREVINO  
P.E. # 96486  
DATE: JUL 2 2025  
IT IS NOT TO BE USED FOR CONSTRUCTION RECORDS OR PERMITTING PURPOSES.

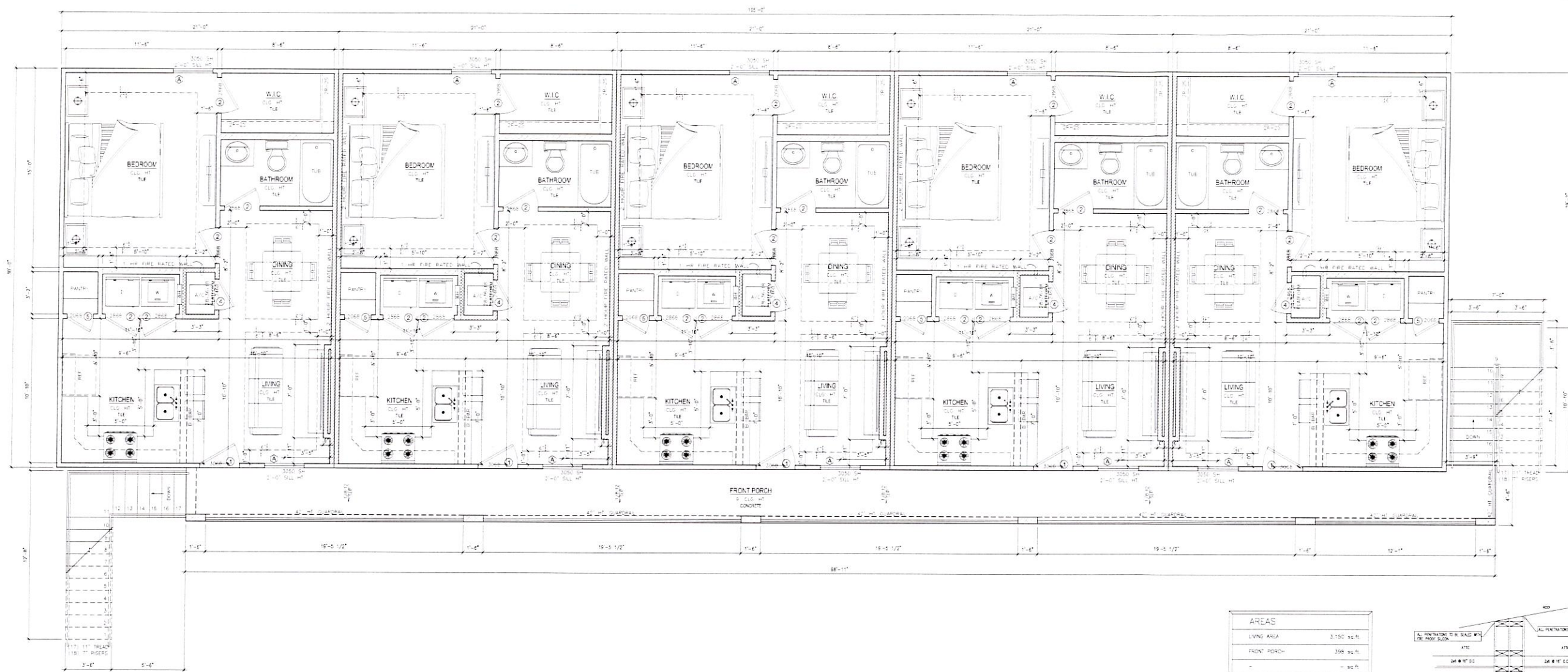
HEG  
HEG CONSTRUCTION CONCEPTS  
COMMERCIAL RESIDENTIAL DESIGNS  
P. 1.956.326.5381  
heg.concepts@gmail.com

Plot Date:  
Sheet Name:

SITE PLAN

Scale: 1" = 10'-0"  
Sheet Number:  
C-01





SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

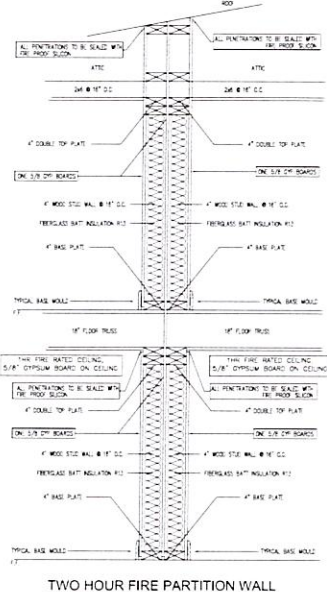
**FIRE DEPARTMENT REQUIREMENTS NOTES:**  
- FIRE SPRINKLER SYSTEM WITH FIRE ALARM SPRINKLER CONNECTION WILL BE INSTALLED.  
- A 2.5 LB. TAGGED PORTABLE FIRE EXTINGUISHER IS REQUIRED IN EVERY UNIT.  
- CONTRACTOR PLANS FOR THE REQ. UNDERGROUND FIRE LINE, FIRE SPRINKLER SYSTEM TO BE SUBMITTED FOR REVIEW & APPROVAL BEFORE WORKING ON THESE FIRE SYSTEMS.

AREAS	
LIVING AREA	3,150 sq.ft.
FRONT PORCH	398 sq.ft.
-	- sq.ft.
-	- sq.ft.
TOTAL AREA	3,548 sq.ft.

WALL SCHEDULE	
1" WOOD STUD WALL @ 16" O.C.	
1/2" WOOD STUD WALL @ 16" O.C.	
DOUBLE 1" WOOD STUD WALL @ 16" O.C.	
1" HOUR FIRE RESISTANCE RATED WALL	

**FLOOR PLAN NOTES**

- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 IRC, LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
- BATHROOMS MUST HAVE DRAINAGE PAN OF MINIMUM 1/4" WITH A MINIMUM DRAINAGE AREA OF 30 SQ. FT.
- DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED 4" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
- CLADDING ON EXTERIOR DOORS ON WITHIN 4" OF ANY DOOR, WINDOW SHALL BE TYPED.
- CROWN MOULDING BACKING FOR CERAMIC TILE INSTALLED IN TUBS SHALL BE 1/2" WOOD (WATER RESISTANT) PANELS OF 12 GA.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS. THE NEW BUILDING EXPANSION SHOULD FLOOR SHALL ALSO IN ELEVATION WITH RESPECTING FLOOR IN EXISTING BUILDING.
- ANY WORK INSTALLED IN CONFLICT SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.



ISSUE LOG 4/5/2025	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
JOB NO.: 011-25	
DESIGNED BY: HE	
DRAWN BY: HE	
CHECKED BY: JT	

**THE TEN APARTMENTS**  
2909 SAN LUIS STREET  
LAREDO, TX 78046

**JL Trevino & Associates P.L.L.C.**  
5450 Northwest Central Dr., Ste. 123  
Houston, Texas 77092  
(281) 433-8688/(713) 957-5105  
jtlandassociates@gmail.com  
TX FIRM # 10010

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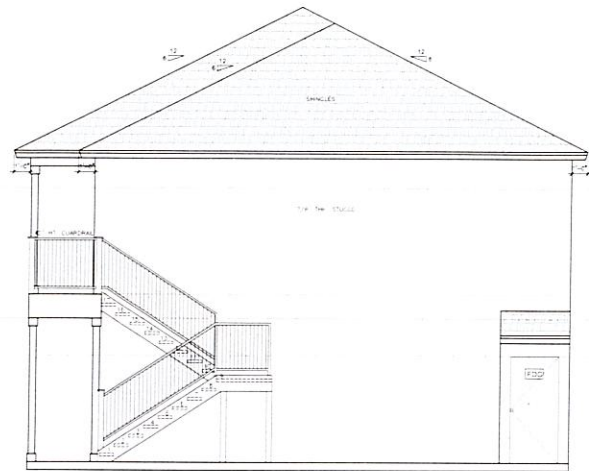
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heg.concepts@gmail.com

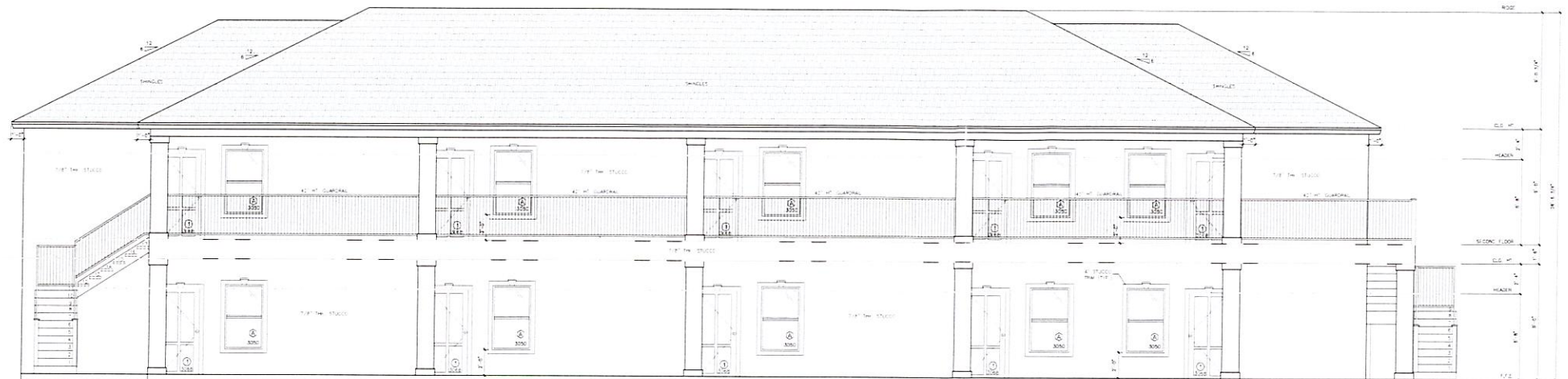
Plot Date  
Sheet Name  
**SECOND FLOOR PLAN**

Scale: 1/4" = 1'-0"  
Sheet Number  
**A-04**

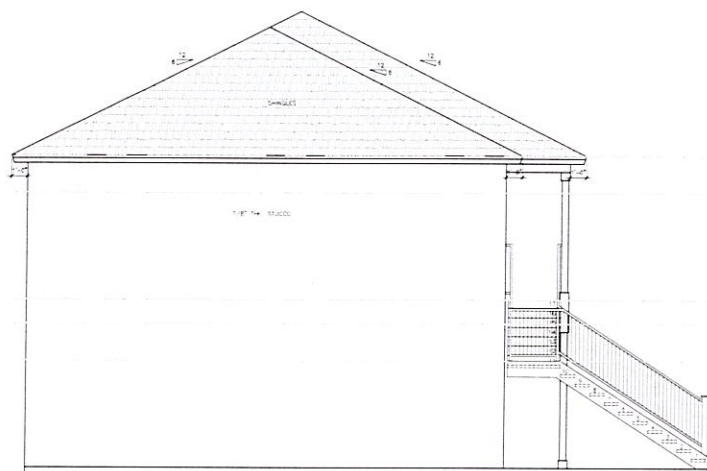




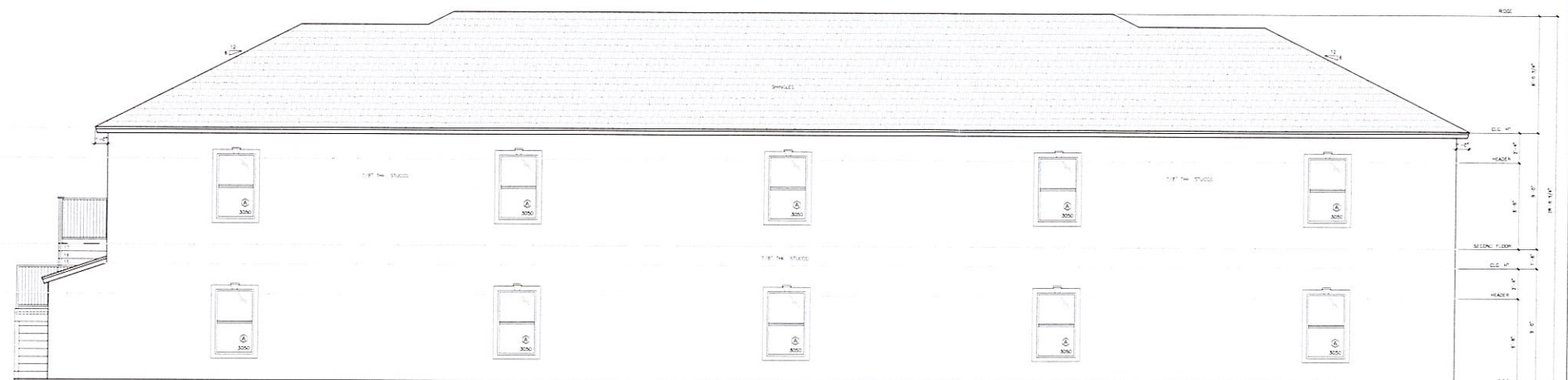
RIGHT VIEW  
SCALE: 3/16" = 1'-0"



FRONT VIEW  
SCALE: 3/16" = 1'-0"



LEFT VIEW  
SCALE: 3/16" = 1'-0"



REAR VIEW  
SCALE: 3/16" = 1'-0"

ISSUE LOG	4/5/2025
NO.	DESCRIPTION
1	
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JL Trevino & Associates P.L.L.C.  
5450 Northwest Central Dr., Ste. 123  
Houston, Texas 77092  
(281) 433-8888/(713) 957-5105  
jtandassociates@gmail.com  
TX FIRM # 10510

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Houston, Texas 77092  
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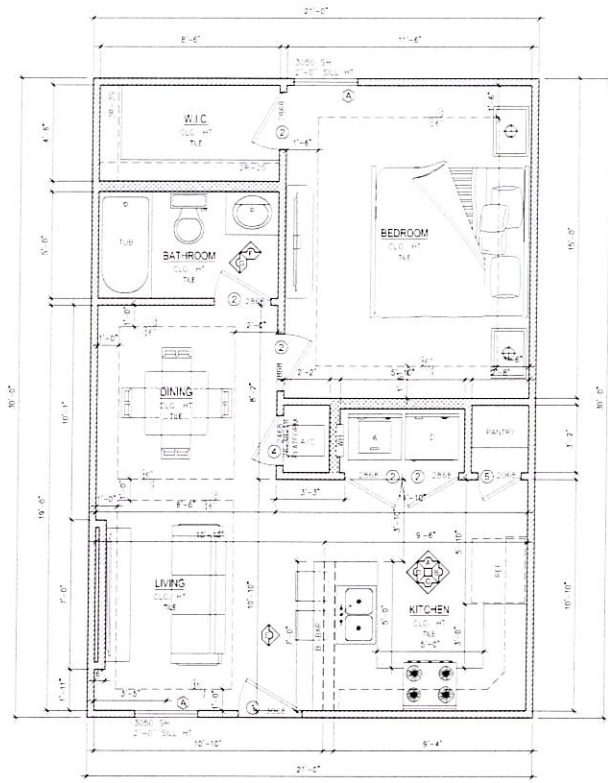
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heg.concepts@gmail.com

Plot Date:  
Sheet Name:

ELEVATION PLAN

Scale: 1/4" = 1'-0"  
Sheet Number:  
A-05





ONE BEDROOM  
UNIT 1A FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
630 sq.ft.

WALL SCHEDULE				
1	WOOD STUD WALL @ 16" O.C.			
2	6" WOOD STUD WALL @ 16" O.C.			

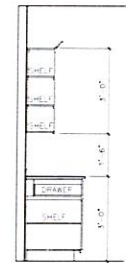
REF. SHEET S-04 FOR TYPICAL WALL DETAIL

MARK	TYPE	SIZE	DESCRIPTION	QTY
W1	SINGLE HUNG	3000	ALUM. FRAME, DBL. PANE, SHGC 0.22, U-FACTOR 0.30	2

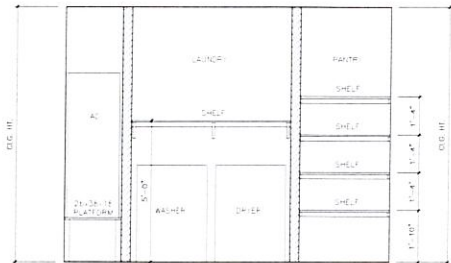
MARK	TYPE	SIZE	DESCRIPTION	QTY
D1	FRONT DOOR	3068	WOOD BY OWNER	1
D2	INTERIOR DOOR	2868	1 3/8" HOLLOW CORE	4
D3	INTERIOR DOOR	2668	1 3/8" HOLLOW CORE	1
D4	INTERIOR DOOR	2468	1 3/8" HOLLOW CORE	1
D5	INTERIOR DOOR	2068	1 3/8" HOLLOW CORE	1

ROOM SCHEDULE									
ROOM	FLOOR	BASE	WALLS	CEILING	HGT	REMARKS			
LIVING, DINING & KITCHEN		CONCRETE	4" WOOD STUD	5" WOOD STUD	8'-0"	AS SHOWN			
BEDROOM & WALK-IN CLOSET		CONCRETE	4" WOOD STUD	5" WOOD STUD	8'-0"	AS SHOWN			
BATHROOM		CONCRETE	4" WOOD STUD	5" WOOD STUD	8'-0"	AS SHOWN			
KITCHEN & PANTRY		CONCRETE	4" WOOD STUD	5" WOOD STUD	8'-0"	AS SHOWN			

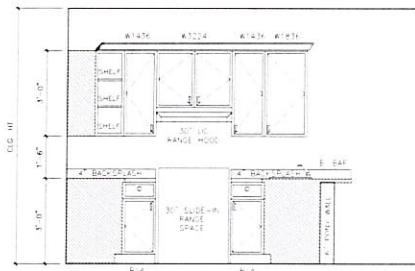
- FLOOR PLAN NOTES**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 IRC LATEST EDITION OR LOCAL BUILDING CODES WHERE APPLICABLE.
  - BATHROOMS MUST HAVE EXHAUST FAN OR WINDOW WITH A MINIMUM OPENING AREA OF 3.1 SF.
  - DOOR OPENINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALL AS SHOWN OR LOCATED 4" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
  - GLAZING IN EXTERIOR DOORS OR WITHIN 4" OF ANY DOORING MECHANISM SHALL BE TEMPERED.
  - OPTIONAL BOARD OPTIONAL SHOWN FOR CEILING TILE INSTALLED IN TOILET ROOM SHALL BE USED WITH WATER-RESISTANT PANELS OF EQUAL.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS. THE NEW BUILDING DIMENSIONS SHOWN ON FLOOR SHALL ALSO IN ELEVATION WITH RESPECTIVE FLOOR IN EXISTING BLDG.
  - ANY WORK INSTALLED IN CONFLICT SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.



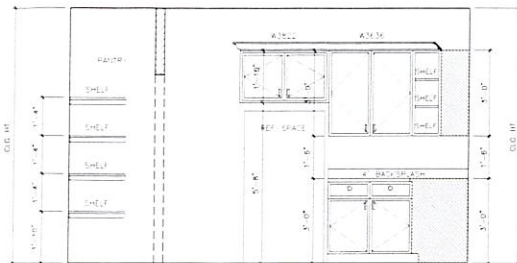
NOTE:  
1. PROVIDE 1/2" WOOD BLOCKING REINFORCEMENT FOR ALL SHELVES AND CABINETS AS REQUIRED.



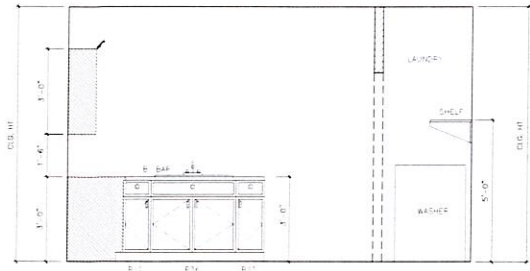
SECTION "A" DETAIL



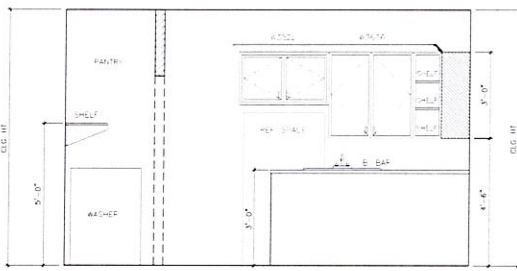
SECTION "C" DETAIL



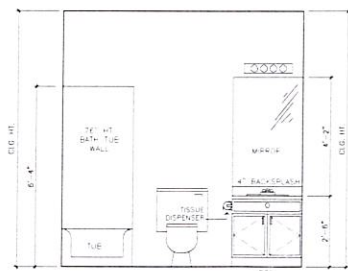
SECTION "B" DETAIL



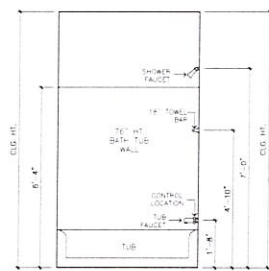
SECTION "D" DETAIL



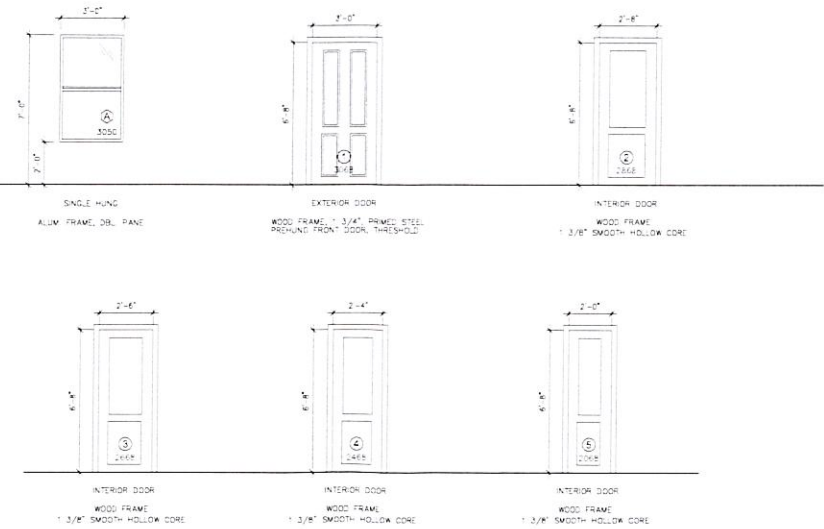
SECTION "E" DETAIL



SECTION "F" DETAIL



SECTION "G" DETAIL



ISSUE LOG 4/5/2025	
NO.	DESCRIPTION
1	
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JOB NO. 011-25  
Designed by: HE  
Drawn by: HE  
Checked by: JT

THE TEN  
APARTMENTS  
2909 SAN LUIS STREET  
LAREDO, TX 78046

Project Name

JL Trevino & Associates P.L.L.C.  
5450 Northwest Central Dr., Ste. 123  
Houston, Texas 77092  
(281) 433-8688/(713) 957-5105  
jtlandassociates@gmail.com  
TX FIRM # 16314

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Part Date

Sheet Name

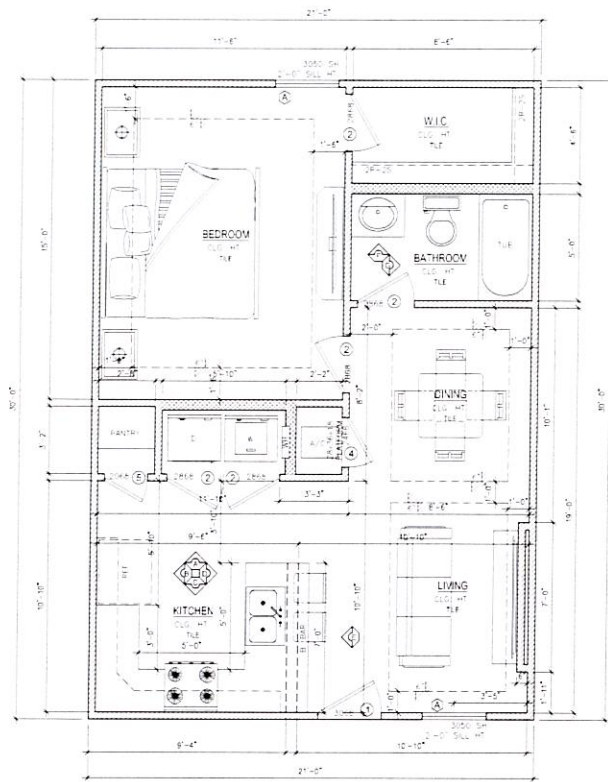
ONE BEDROOM  
UNIT A1  
FLOOR PLAN

Scale 1/4" = 1'-0"

Sheet Number

A-01





ONE BEDROOM  
UNIT A2 FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
630 sq.ft.

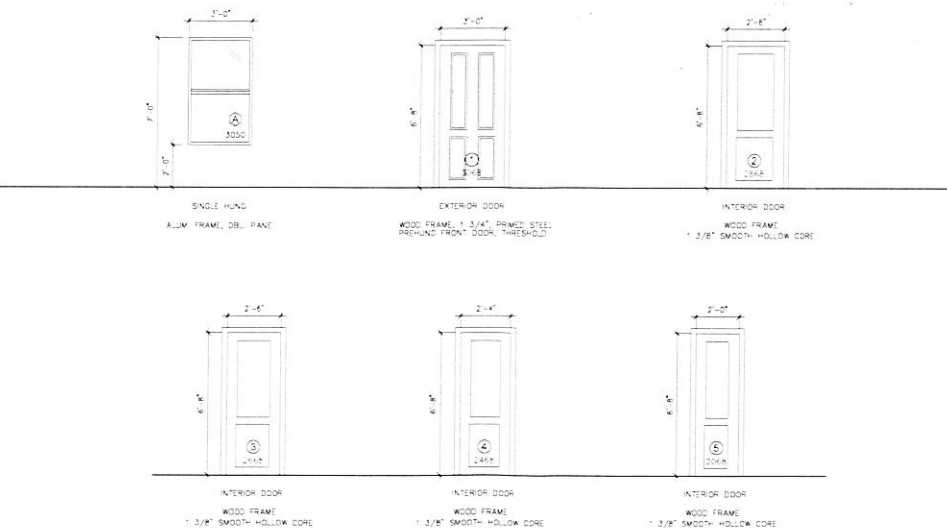
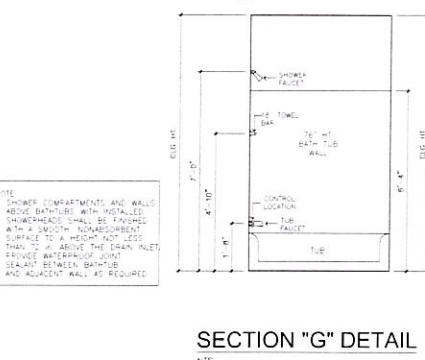
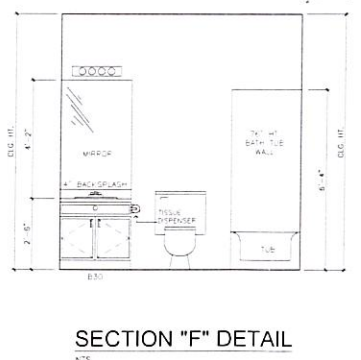
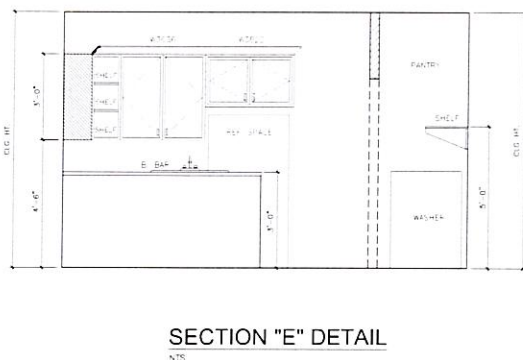
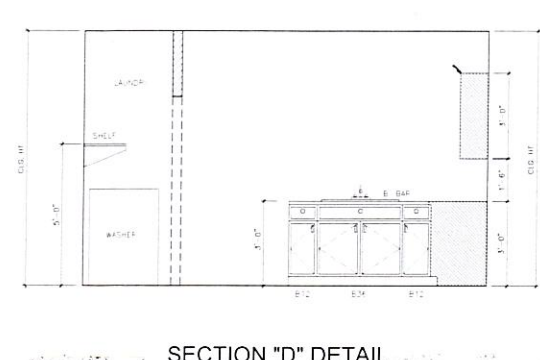
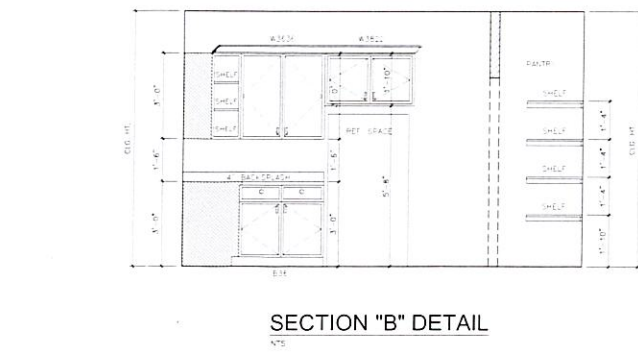
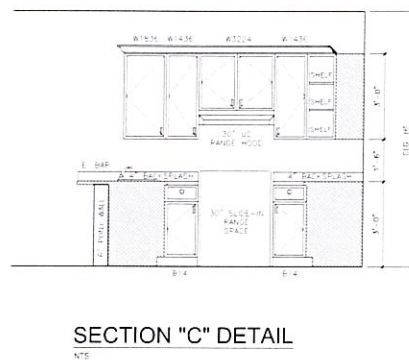
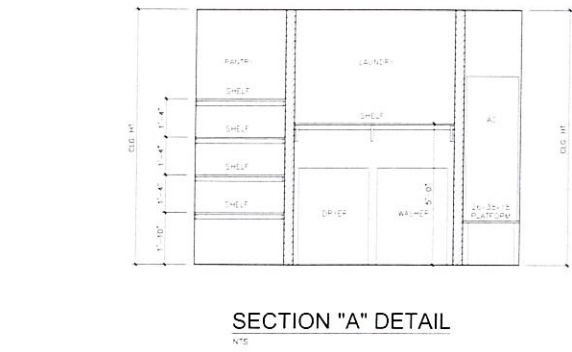
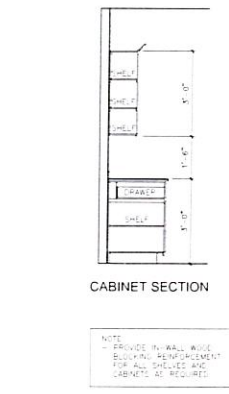
WALL SCHEDULE	
1	4" WOOD STUD WALL @ 16" O.C.
2	6" WOOD STUD WALL @ 16" O.C.

MARK	TYPE	SIZE	DESCRIPTION	QUANTITY
W1	SINGLE HUNG	3058	ALUM. FRAME, DBL. PANE, SHOR. 0.22, U-FRACION 0.30	2

MARK	TYPE	SIZE	DESCRIPTION	QUANTITY
D1	FRONT DOOR	3058	WOOD BY OWNER	1
D2	INTERIOR DOOR	2658	1 3/8" HOLLOW CORE	4
D3	INTERIOR DOOR	2658	1 3/8" HOLLOW CORE	1
D4	INTERIOR DOOR	2458	1 3/8" HOLLOW CORE	1
D5	INTERIOR DOOR	2058	1 3/8" HOLLOW CORE	1

ROOM	FLOOR	BASE	WALLS	CEILING	HOT	REMARKS
LIVING, DINING & KITCHEN	1	4" WOOD	4" WOOD	6" WOOD	AS SHOWN	
BEDROOM & BATH IN CLOSET	1	4" WOOD	4" WOOD	6" WOOD	AS SHOWN	
BATHROOM	1	4" WOOD	4" WOOD	6" WOOD	AS SHOWN	
LAUNDRY & PANTRY	1	4" WOOD	4" WOOD	6" WOOD	AS SHOWN	

- FLOOR PLAN NOTES**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 IBC LATEST EDITION BY LOCAL BUILDING CODES WHERE APPLICABLE.
  - BATHROOM MUST HAVE EXHAUST FAN OR WINDOW WITH A MINIMUM OPENING AREA OF 31.5 S.F.
  - DOOR OPENING NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AS SHOWN OR LOCATED AT FLOOR FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
  - CLADDING IN EXTERIOR DOORS OF WITHIN 4" OF ANY LOCKING MECHANISM SHALL BE COMPLETED.
  - OPTIONAL BOARD OR PLYWOOD BACKING FOR DOORING TILE INSTALLED IN TOILET ROOM SHALL BE USED WITH WATER RESISTANT PANELS OF EQUAL.
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS, THE NEW BUILDING EXISTING DOORING FLOOR SHALL ALSO IN ELEVATION WITH RESPECTIVE FLOOR IN EXISTING BLDG.
  - ANY WORK INSTALLED IN CONFLICT SHALL BE CORRECTED BY THE CONTRACTOR AT HIS EXPENSE AND AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.



ISSUE LOG 4/5/2025

NO.	DESCRIPTION
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Job No. 011-25  
Designed by HE  
Drawn by HE  
Checked by JT

**THE TEN  
APARTMENTS**  
2909 SAN LUIS STREET  
LAREDO, TX 78046

**JL Trevino & Associates P.L.L.C.**  
5450 Northwest Central Dr., Ste. 123  
Houston, Texas 77092  
(281) 433-8688/(713) 957-5105  
jltandassociates@gmail.com  
TX FIRM # 18010

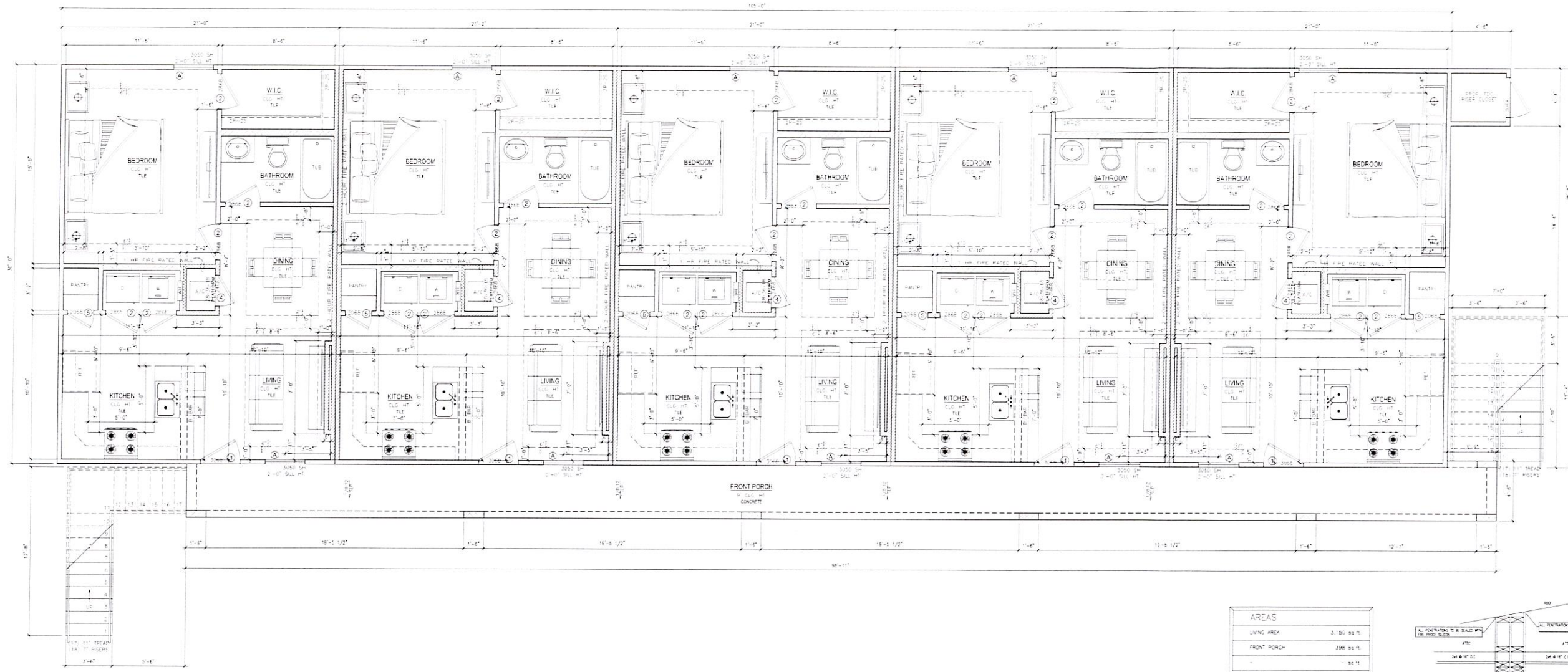
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hegconcepts@gmail.com

Plot Date:  
Sheet Name:  
**ONE BEDROOM  
UNIT A2  
FLOOR PLAN**  
Scale: 1/4" = 1'-0"  
Sheet Number:  
**A-02**





FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

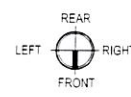
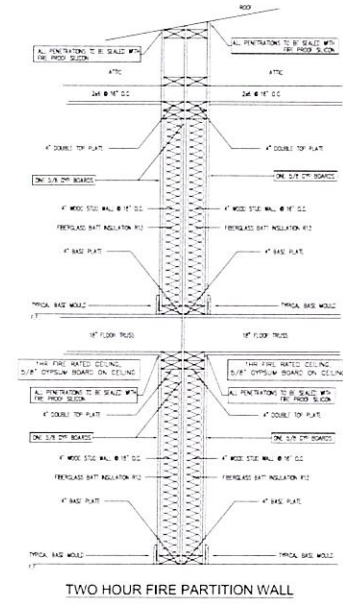
AREAS	
LIVING AREA	3,150 sq. ft.
FRONT PORCH	398 sq. ft.
-	- sq. ft.
-	- sq. ft.
TOTAL AREA	3,548 sq. ft.

WALL SCHEDULE	
1	4" WOOD STUD WALL @ 16" O.C.
2	4" WOOD STUD WALL @ 16" O.C. WITH 5/8" GYPSUM BOARD ON CEILING
3	4" WOOD STUD WALL @ 16" O.C. WITH 5/8" GYPSUM BOARD ON CEILING AND 1/2" WOOD STUD WALL @ 16" O.C.
4	4" WOOD STUD WALL @ 16" O.C. WITH 5/8" GYPSUM BOARD ON CEILING AND 1/2" WOOD STUD WALL @ 16" O.C. WITH 1/2" WOOD STUD WALL @ 16" O.C.

- FLOOR PLAN NOTES**
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2018 IRC LATEST EDITION OF LOCAL BUILDING CODES WHERE APPLICABLE.
  - BATHROOMS MUST HAVE EXHAUST FAN OR MECHANICAL EXHAUST FAN WITH A MINIMUM EXHAUST AREA OF 3.0 CFM.
  - DOOR SPRINGS NOT LOCATED BY DIMENSION SHALL BE CENTERED IN WALLS AT SHOW OR LOCATED 4" FROM FINISH WALL TO FINISH JAMB UNLESS OTHERWISE NOTED.
  - CLADDING EXTERIOR DOORS OR WINDOWS NOT OF ANY LOCAL MECHANICAL SHALL BE TYPED.
  - GYPSUM BOARD OPTIONAL BACKING FOR CERAMIC TILE INSTALLED IN BATH ROOM SHALL BE USED WITH WATER RESISTANT PANELS OR GYPSUM BOARD.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING FLOOR TO FLOOR ELEVATIONS. THE NEW BUILDING EXPANSION GROUND FLOOR SHALL ALSO IN ELEVATION WITH RESPECTIVE FLOOR IN EXISTING BLDG.
  - ANY WORK REQUIRES A CONCEPT SHALL BE COMPLETED BY THE CONTRACTOR AT HIS OWNERS RISK AT NO ADDITIONAL EXPENSE TO THE OWNER, ARCHITECT OR CONSULTANTS.

**FIRE DEPARTMENT REQUIREMENTS NOTES:**

- FIRE SPRINKLER SYSTEM WITH FIRE ALARM SPRINKLER CONNECTION WILL BE INSTALLED.
- A 2.5 LB., TAGGED PORTABLE FIRE EXTINGUISHER IS REQUIRED IN EVERY UNIT.
- CONTRACTOR PLANS FOR THE REQ. UNDERGROUND FIRE LINE, FIRE SPRINKLER SYSTEM TO BE SUBMITTED FOR REVIEW & APPROVAL BEFORE WORKING ON THESE FIRE SYSTEMS.



ISSUE LOG 4/5/2025

N.O.	DESCRIPTION
1	
2	
3	
4	
5	
6	

Job No. 011-25  
Designed by HE  
Drawn by HE  
Checked by JT

**THE TEN APARTMENTS**  
2909 SAN LUIS STREET  
LAREDO, TX 78046

**JL Trevino & Associates P.L.L.C.**  
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P.E. JORGE TREVINO  
P.E. # 96485  
DATE: July 2, 2025

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P. 1.356.326.5381  
hegconcepts@gmail.com

Post Date:  
Sheet Name:  
**FIRST FLOOR PLAN**  
Scale 1/4" = 1'-0"  
Sheet Number:  
**A-03**

Apac Construction LLC

7/3/2025

Owners: Aaron & Clarissa Gonzalez

Location: 2907 San Luis St. Laredo TX

## Projected Construction Budget

\$651,840.00

Line Item	\$97.00 Cost Per Item	Draw Amount
Master plans/City fees/Survey	\$26,073.60	\$0.00
Plumbing within foundation	\$19,555.20	\$0.00
Excavation/ concrete foundation	\$52,147.20	\$0.00
1st floor 2x4 Timber framing and plating	\$45,628.80	\$0.00
2nd floor 2x4 Timber framing and plating	\$39,110.40	\$0.00
Ceiling joists/Rafters	\$19,555.20	\$0.00
Exterior Staircase	\$13,036.80	\$0.00
Roof sheathings	\$13,036.80	\$0.00
Windows & Exterior doors	\$6,518.40	\$0.00
Plumbing above foundation	\$13,036.80	\$0.00
Bath Tubs including fixtures	\$6,518.40	\$0.00
Electrical rough in	\$16,296.00	\$0.00
Roofing shingles	\$13,036.80	\$0.00
AC "cold side" Duct rough in	\$9,777.60	\$0.00
Insulation and sheetrock	\$26,073.60	\$0.00
Tape/Float/Texture	\$6,518.40	\$0.00
Trim/Closet shelving	\$13,036.80	\$0.00
Stucco / Exterior paint	\$19,555.20	\$0.00
Cement on second floor	\$26,073.60	\$0.00
Interior doors	\$13,036.80	\$0.00
Electrical Secondary	\$13,036.80	\$0.00
Paint Interior	\$6,518.40	\$0.00
Kithen and bath cabinets	\$19,555.20	\$0.00
AC unit "cold side"	\$9,777.60	\$0.00
Refrigerators and stoves	\$9,777.60	\$0.00
Tile with labor	\$19,555.20	\$0.00
cement for parking Lot	\$26,073.60	\$0.00
Hardware and mirrors	\$3,259.20	\$0.00
Water Fixtures	\$6,518.40	\$0.00
Kithen and bathroom Light Fixtures	\$6,518.40	\$0.00
Ac unit "hot side"	\$13,036.80	\$0.00
Fire sprinkler	\$16,296.00	\$0.00
Fire Alarm	\$16,296.00	\$0.00
Domestic lines /Meters	\$17,925.60	\$0.00
Landscapping	\$1,629.60	\$0.00
Steel fence/ Gate	\$16,296.00	\$0.00
Contractor Fee	\$52,147.20	\$0.00
Total	\$651,840.00	\$0.00

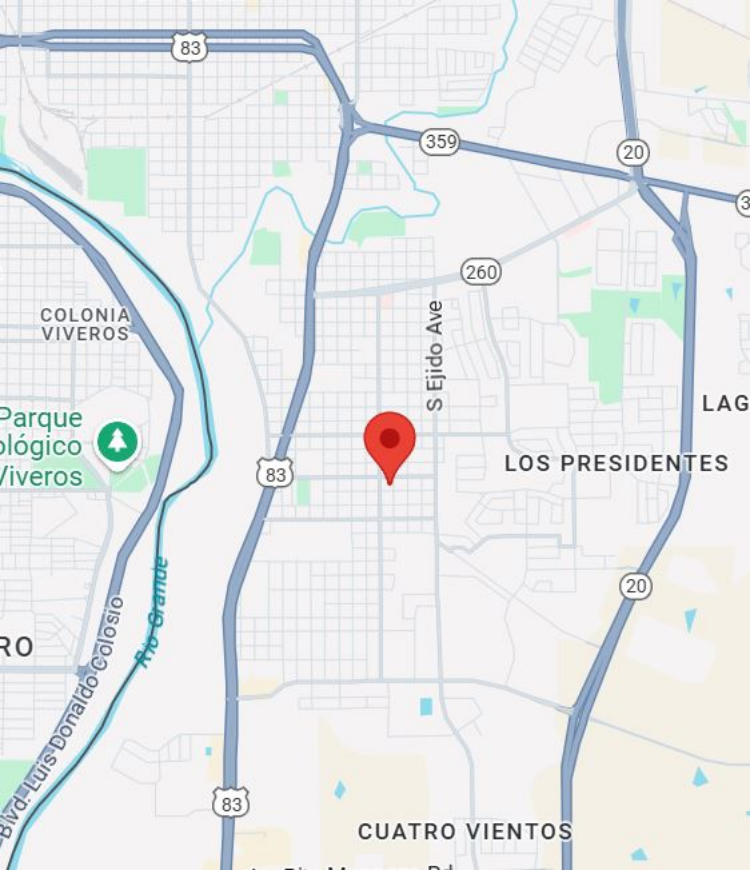
## NEW CONSTRUCTION

## NEZ TAX ABATEMENT AND PERMIT FEE CALCULATIONS

2907 San Luis

CAPITAL INVESTMENT	\$650,000.00
CURRENT PROPERTY VALUE	\$52,500.00
CURRENT ANNUAL CITY TAX	\$266.50
SQUARE FOOTAGE	6,300
BUILDING PERMIT	\$1,701.00
ELECTRICAL PERMIT	\$1,800.00
MECHANICAL PERMIT	\$1,300.00
PLUMBING PERMIT	\$1,850.00
DEMO PERMIT	\$0.00
ROW PERMIT	\$50.00
PROPOSED NEW PROPERTY VALUE	\$702,500.00
PROPOSED NEW ANNUAL CITY TAX	\$3,566.05
TOTAL PERMIT FEES	\$6,701.00
NUMBER OF YEARS TAX ABATEMENT	10
CITY TAX RATE	0.507623%
RESIDENTIAL	\$0.00
ANNUAL TAX ABATEMENT	\$3,299.55
TOTAL TAX ABATEMENT	\$32,995.50





83

359

20

3

260

S Ejido Ave

COLONIA  
VIVEROS

Parque  
biológico  
Viveros



LAG

LOS PRESIDENTES

83

20

RO

Bvd. Luis Donaldo Colosio

Rio Grande

83

CUATRO VIENTOS







## NEZ District 2

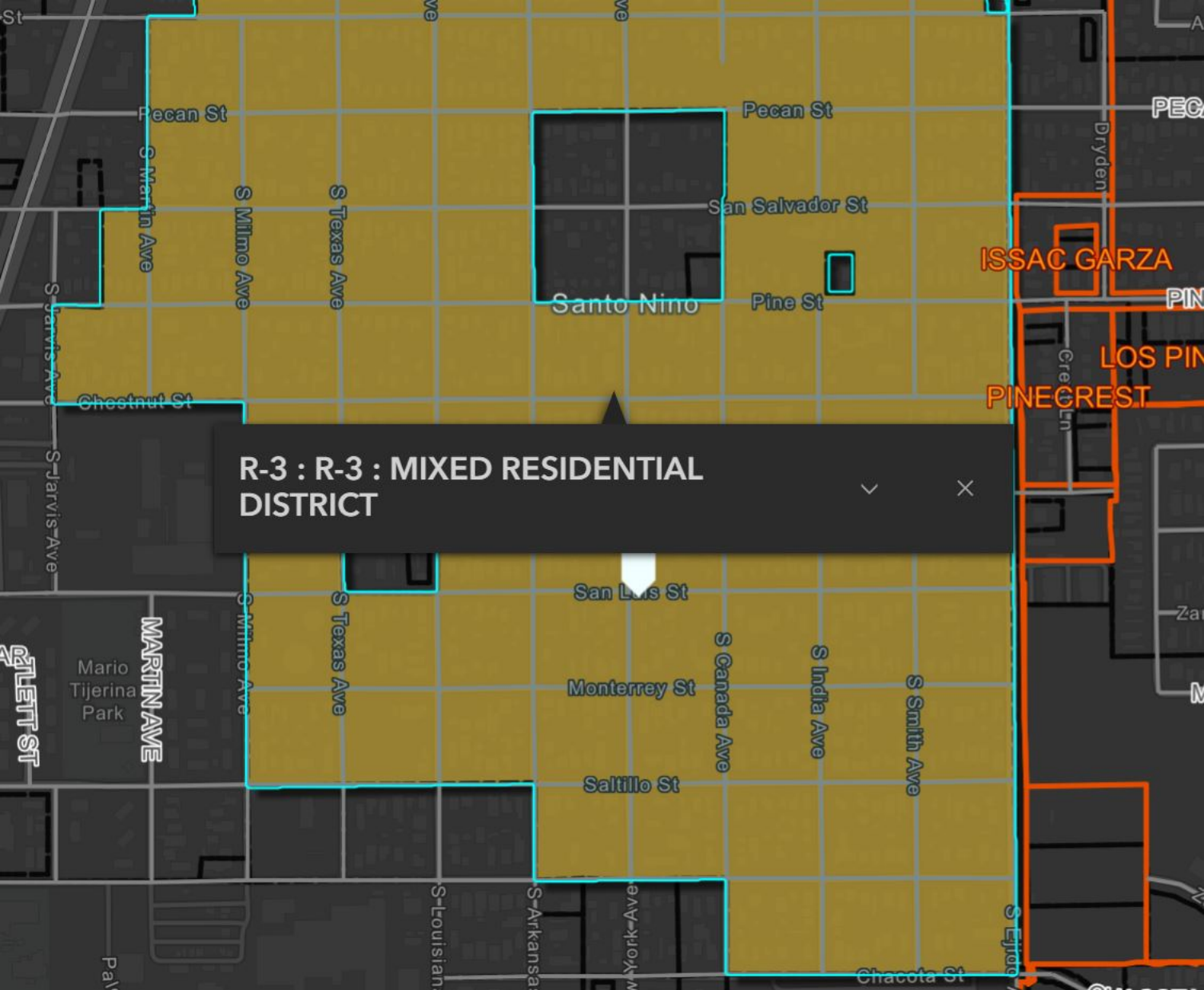
Search result



2907 San Luis St, Laredo, TX, 78046, USA

[Zoom to](#)





R-3 : R-3 : MIXED RESIDENTIAL DISTRICT



0129

Santo Niño

Santa Clara Street

Pecan Street

San Salvador Street

0252

Pine Street

Search result



2907 San Luis St, Laredo, TX, 78046, USA

[Zoom to](#)



0130

District 1: GILBERT

0275

District 2: RICARDO 'RICHIE' RANGEL JR

GENERAL INFO

**ACCOUNT**  
Property ID: 180137  
Geographic ID: 559-01760-030  
Type: R  
Zoning: R-3  
Agent:  
Legal Description: E1/3-3 & W1/3-4 BLK 1760 ED  
  
Property Use:

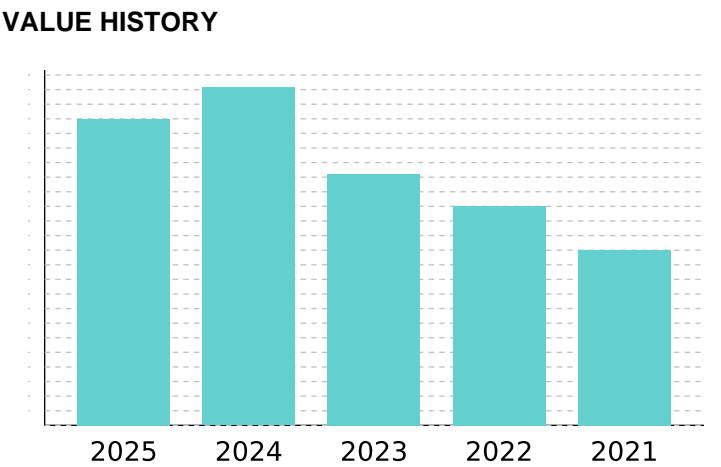
**OWNER**  
Name: MARTINEZ JUAN JR  
  
Secondary Name:  
  
Mailing Address: 915 SUTHERLAND DR STOCKTON CA US 95210-1463  
  
Owner ID: 13455  
% Ownership: 100.000000  
Exemptions:

**LOCATION**  
Address: 2907 SAN LUIS ST, LAREDO TX 78046  
  
Market Area:  
Market Area CD: EASTERN13  
Map ID: 150  
Zoning: R-3



VALUES

**CURRENT VALUES**  
Land Homesite: \$0  
Land Non-Homesite: \$57,852  
Special Use Land Market: \$0  
Total Land: \$57,852  
  
Improvement Homesite: \$0  
Improvement Non-Homesite: \$0  
Total Improvement: \$0  
  
Market: \$57,852  
Special Use Exclusion (-): \$0  
Appraised: \$57,852  
Value Limitation Adjustment (-): \$6,247  
  
Net Appraised: \$51,605



Values for the current year are preliminary and are subject to change.

VALUE HISTORY

Year	Land Market	Improvement	Special Use Exclusion	Appraised	Value Limitation Adj (-)	Net Appraised
2025	\$52,500	\$0	\$0	\$52,500	\$0	\$52,500
2024	\$57,852	\$0	\$0	\$57,852	\$6,247	\$51,605
2023	\$43,004	\$0	\$0	\$43,004	\$0	\$43,004
2022	\$37,604	\$0	\$0	\$37,604	\$0	\$37,604
2021	\$30,084	\$0	\$0	\$30,084	\$0	\$30,084

## TAXING UNITS

Unit	Description	Tax Rate	Net Appraised	Taxable Value
C1	CITY OF LAREDO	0.507623	\$51,605	\$51,605
G3	WEBB COUNTY	0.385000	\$51,605	\$51,605
J2	LAREDO COLLEGE	0.242418	\$51,605	\$51,605
S1	LAREDO ISD	1.211200	\$51,605	\$51,605

DO NOT PAY FROM THIS ESTIMATE. This is only an estimate provided for informational purposes and may not include any special assessments that may also be collected. Please contact the tax office for actual amounts.

## IMPROVEMENT

### LAND


Land	Description	Acres	SQFT	Cost per SQFT	Market Value	Special Use Value
E_REG5	EASTERN DIVISION	0.0738	3,214	\$9.00	\$28,926	\$0
E_REG5	EASTERN DIVISION	0.0738	3,214	\$9.00	\$28,926	\$0

## DEED HISTORY

Deed Date	Type	Description	Grantor/Seller	Grantee/Buyer	Book ID	Volume	Page	Instrument
11/15/24	WDVL	WARRANTY DEED/VENDE	MARTINEZ JUAN JR	GONZALEZ AARON		5750	0155	1544617

PROPERTY ID AND LEGAL DESCRIPTION		OWNER ID, NAME, AND ADDRESS		OWNER ID / %	EXEMPTIONS	VALUES		2024	2025		
180137	2907 SAN LUIS ST, LAREDO TX 78046		GONZALEZ AARON		1023246		IMPROVEMENTS	0	0		
					100.00000		LAND MARKET	+	57,852	52,500	
			334 Lake Carnegie Ct Laredo TX 78041-1984			TAXING UNITS	MARKET VALUE	=	57,852	52,500	
	E1/3-3 & W1/3-4 BLK 1760 ED					C1	100.00	G3	100.00	J2	100.00
	TYPE: R DBA:					S1	100.00				
	GEO ID: 559-01760-030		PROP USE: MAP ID: 150								
	Ref ID1: R13455		AS CODE: S5590 MAPSCO:								
	Ref ID2:		SUBTYPE RES TIF:								
MKT AREA: EASTERN13		SUB MKT: 4150 EFF SIZE:		AGENT: 10195374   GILL, DENSON & COMPANY			SPECIAL USE EXCL	-	0	0	
LEGAL ACREAGE:		APPR VAL METHOD: appeals		EFF DATE: 2025-02-28 EXP DATE:			APPRaised VALUE	=	57,852	52,500	
							HS VALUE LIMIT	-	0	0	
							CIRCUIT BRKR LIMIT	-	6,247	0	
							NET APPRAISED	=	51,605	52,500	

GENERAL	REMARKS	SKETCH
UTILITIES: CITY-FULL ZONING: R-3 Land TOPOGRAPHY: TAGS: From FYV AG Appraiser ROAD ACCESS: IMPROVED LAST APPR. DT: 2025-01-15 Field PC LAST INSP COMP DT: 2022-03-21 2025-01-15 NEXT INSP. DT: SUBSET: 4150 NEXT REASON: REASON NOTES:		VALUE SUBJECT TO CHANGE UNTIL CERTIFIED.


BUILDING PERMITS								PICTURE	
B#	ISSUE DT	PERM #	TYPE	ACTIVE	EST VAL	APPR	BUILDER	COMMENT	
									<div>2025-01-22</div> 
INCOME APPROACH DATA									
GBA: 0		UNITS: 0							
NRA: 0		RENT: 0							
APPEAL HISTORY									
YEAR	APPEAL ID	TYPE	STATUS	PROTESTER	FINL DATE				
2025	226176	ON	REC_ACCEPTED	GILL, DENSON & COMPANY	2025-06-05				
SALES HISTORY					DEED HISTORY				
DATE	TYPE/QUAL/SRC/RATIO	PRICE	BUYER	DATE	TYPE	BOOK/PG	INST #	BUYER	SELLER
2024-11-15	VRL_M/CONFIDENTIAL/	105,000	GONZALEZ	2024-11-15	WDVL	null/0155	1544617	GONZALEZ	MARTINEZ JUAN

IMPROVEMENT VALUATION					IMPROVEMENT DETAIL ADJ			IMPROVEMENT FEATURES	
	#	ADJ TYPE	ADJ AMT	ADJ %				DESC	CODE

LAND VALUATION																	LAND ADJUSTMENTS				PRODUCTIVITY VALUATION									
L#	DESCRIPTION	TYPE	SOIL	CLS	TABLE	SC	HS	METH	DIM	UNIT	PRC	ADJ	M ADJ	VAL	SRC	MKT VAL	SEQ	ADJ TYPE	ADJ AMT	ADJ %	AG	USE	TABLE	UNIT	AG VALUE					
1	EASTERN DIVISION	E_REG5		Q41	QUADS	C1	No	SF	6428.00	sf	9.00	1.000			A	57,852					No				0					
									AS Code: 100.00%		Market Area: 100.00%						57,852								0					

PROPERTY ID AND LEGAL DESCRIPTION			OWNER ID, NAME, AND ADDRESS	OWNER ID / %	EXEMPTIONS	VALUES		2024	2025
180138	2909 SAN LUIS ST, LAREDO TX 78046		GONZALEZ AARON	1023246		IMPROVEMENTS		0	0
				100.00000		LAND MARKET	+	57,852	52,500
			334 Lake Carnegie Ct Laredo TX 78041-1984			MARKET VALUE	=	57,852	52,500
						SPECIAL USE EXCL	-	0	0
	W2/3-3 BLK 1760 ED				TAXING UNITS				
	TYPE: R DBA:				C1 100.00 G3 100.00 J2 100.00	APPRaised VALUE	=	57,852	52,500
	GEO ID: 559-01760-031		PROP USE:	MAP ID: 150	S1 100.00	HS VALUE LIMIT	-	0	0
	Ref ID1: R13456		AS CODE: S5590	MAPSCO:		CIRCUIT BRKR LIMIT	-	6,248	0
Ref ID2:		SUBTYPE RES	TIF:		NET APPRAISED	=	51,604	52,500	
MKT AREA: EASTERN13		SUB MKT: 4150	EFF SIZE:	AGENT: 10195374   GILL, DENSON & COMPANY					
LEGAL ACREAGE:		APPR VAL METHOD: appeals	EFF DATE: 2025-04-25	EXP DATE:					

GENERAL	REMARKS	SKETCH
UTILITIES: CITY-FULL ZONING: R-3 Land TOPOGRAPHY: TAGS: From FYV AG Appraiser ROAD ACCESS: IMPROVED LAST APPR. DT: 2025-01-15 Field PC LAST INSP COMP DT: 2022-03-21 2025-01-15 NEXT INSP. DT: SUBSET: 4150 NEXT REASON: REASON NOTES:		VALUE SUBJECT TO CHANGE UNTIL CERTIFIED

BUILDING PERMITS								PICTURE	
B#	ISSUE DT	PERM #	TYPE	ACTIVE	EST VAL	APPR	BUILDER	COMMENT	
									<div>2025-01-22</div> 
INCOME APPROACH DATA									
GBA: 0		UNITS: 0							
NRA: 0		RENT: 0							
APPEAL HISTORY									
YEAR	APPEAL ID	TYPE	STATUS	PROTESTER	FINL DATE				
2025	226177	ON	REC_ACCEPTED	GILL, DENSON & COMPANY	2025-06-05				
SALES HISTORY					DEED HISTORY				
DATE	TYPE/QUAL/SRC/RATIO	PRICE	BUYER	DATE	TYPE	BOOK/PG	INST #	BUYER	SELLER
2024-11-15	VRL_M/CONFIDENTIAL/	105,000	GONZALEZ	2024-11-15	WDVL	null/0155	1544617	GONZALEZ	MARTINEZ JUAN

IMPROVEMENT VALUATION					IMPROVEMENT DETAIL ADJ			IMPROVEMENT FEATURES	
	#	ADJ TYPE	ADJ AMT	ADJ %				DESC	CODE

LAND VALUATION																LAND ADJUSTMENTS				PRODUCTIVITY VALUATION						
L#	DESCRIPTION	TYPE	SOIL	CLS	TABLE	SC	HS	METH	DIM	UNIT	PRC	ADJ	M ADJ	VAL	SRC	MKT VAL	SEQ	ADJ TYPE	ADJ AMT	ADJ %	AG	USE	TABLE	UNIT	AG VALUE	
1	EASTERN DIVISION	E_REG5		Q41	QUADS	C1	No	SF	6428.00	sf	9.00	1.000			A	57,852					No				0	
																				57,852						0
																										0

**From:** [Albeza Gonzalez](#)  
**To:** [Arnoldo J. Lozano](#); [Dora A. Maldonado](#)  
**Subject:** RE: NEZ Screening for 2907 & 2909 San Luis  
**Date:** Friday, July 11, 2025 2:28:58 PM  
**Attachments:** [image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)  
[image006.png](#)  
[image007.png](#)  
[image008.png](#)

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Good Afternoon!

No current Liens on those properties. Please let me know if you need additional information.

Thank You!



**Albeza Gonzalez**

Sr. Administrative Assistant

City of Laredo – Tax Department

A: 1102 Bob Bullock Loop Laredo, Texas 78043

P: (956) 727-6409

E: [agonzalez9@ci.laredo.tx.us](mailto:agonzalez9@ci.laredo.tx.us)

[www.cityoflaredo.com](http://www.cityoflaredo.com)



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**From:** Arnoldo J. Lozano <[alozano1@ci.laredo.tx.us](mailto:alozano1@ci.laredo.tx.us)>  
**Sent:** Friday, July 11, 2025 2:26 PM  
**To:** Dora A. Maldonado <[dmaldonado@ci.laredo.tx.us](mailto:dmaldonado@ci.laredo.tx.us)>  
**Cc:** Albeza Gonzalez <[agonzalez9@ci.laredo.tx.us](mailto:agonzalez9@ci.laredo.tx.us)>  
**Subject:** RE: NEZ Screening for 2907 & 2909 San Luis

Thank you Dora!!!

**Arnoldo J. Lozano**  
**Economic Development Administrator**  
**City of Laredo**

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**From:** Dora A. Maldonado <[dmaldonado@ci.laredo.tx.us](mailto:dmaldonado@ci.laredo.tx.us)>  
**Sent:** Friday, July 11, 2025 2:21 PM  
**To:** Arnoldo J. Lozano <[alozano1@ci.laredo.tx.us](mailto:alozano1@ci.laredo.tx.us)>  
**Cc:** Albeza Gonzalez <[agonzalez9@ci.laredo.tx.us](mailto:agonzalez9@ci.laredo.tx.us)>  
**Subject:** RE: NEZ Screening for 2907 & 2909 San Luis

Good Afternoon Arnoldo, taxes are paid in full. Tax statements are attached for your review.

Albeza, please assist Arnoldo with the lien information.

Respectfully,



*Dora A. Maldonado, RTA, CPM*  
*Tax Assessor-Collector*  
*1102 Bob Bullock Loop*  
*Laredo, Texas 78043*  
*956-727-6403*  
*956-727-6410 Fax*

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**From:** Arnoldo J. Lozano <[alozano1@ci.laredo.tx.us](mailto:alozano1@ci.laredo.tx.us)>  
**Sent:** Friday, July 11, 2025 10:20 AM  
**To:** Dora A. Maldonado <[dmaldonado@ci.laredo.tx.us](mailto:dmaldonado@ci.laredo.tx.us)>  
**Subject:** NEZ Screening for 2907 & 2909 San Luis

Good Morning

Can you please check the tax status for:

1. 2709 San Luis, E1/3-3 & W1/3-4 BLK 1760 ED, Property ID: 180137, Geographic ID: 559-01760-030
2. 2909 San Luis, W2/3-3 BLK 1760 ED, Property ID: 180138, Geographic ID: 559-01760-031

Can you also check if this property has any city, weed, board-up, demolition, Paving, order of Demolition Liens?

Thank You for your attention

**Arnoldo J. Lozano**

Economic Development Administrator  
City of Laredo, Economic Development Department  
956-791-7464 (D)  
956-791-7397 (O)